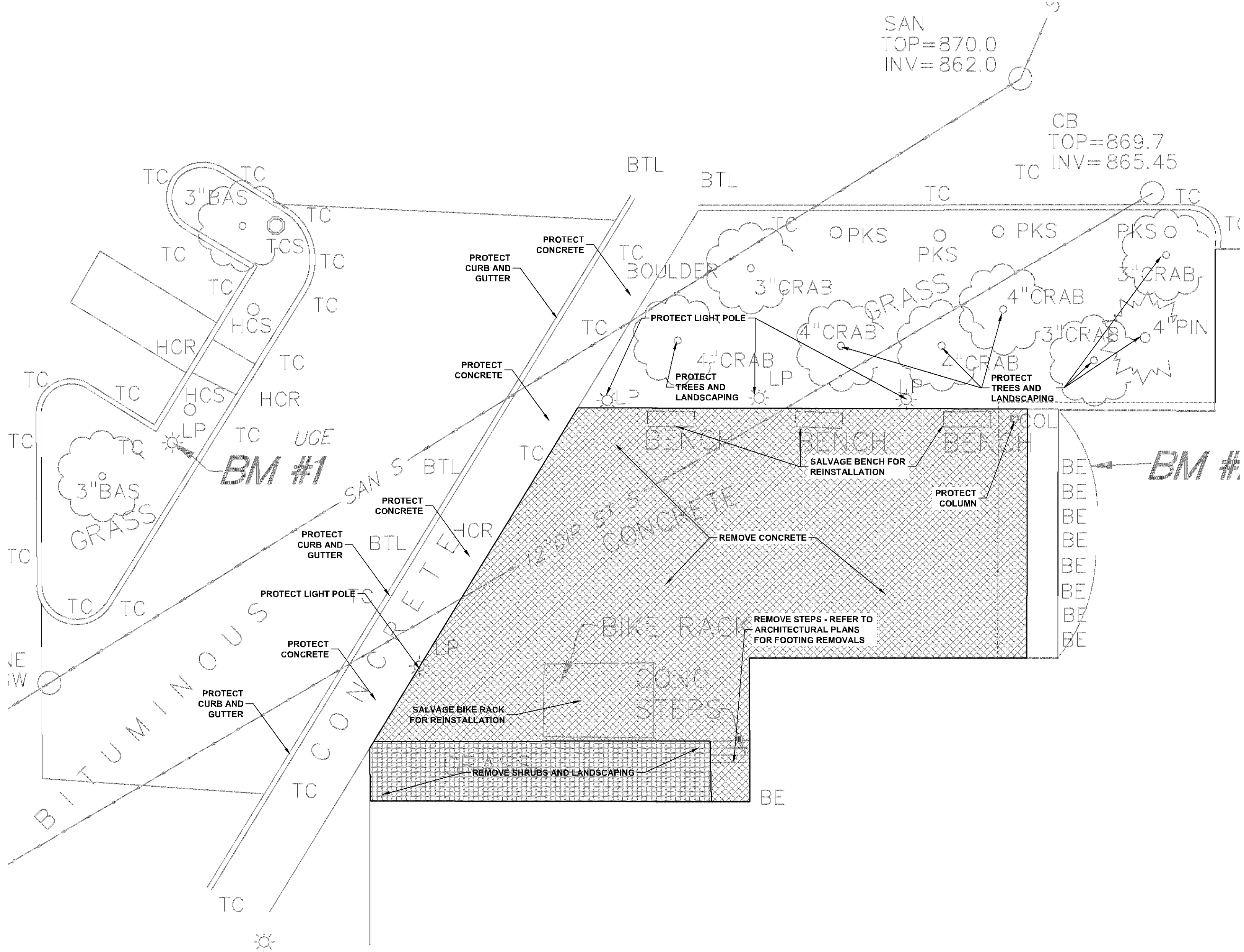


MN



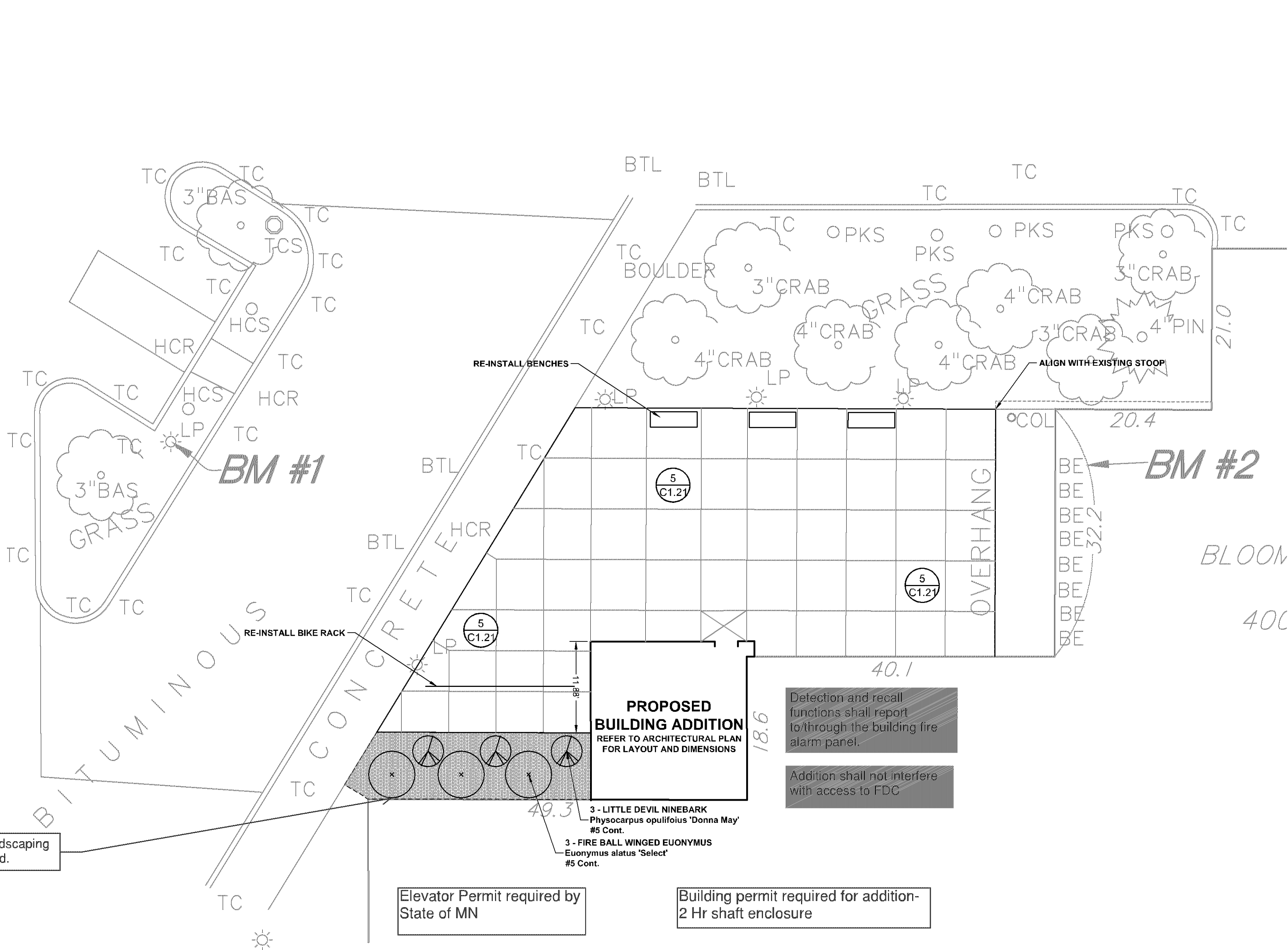
REMOVALS PLAN

LEGEND

- CONCRETE PAVEMENT REMOVALS
- MASS TREE / SHRUB REMOVALS

REMOVAL NOTES:

- REFER TO SHEET C1.21, GRADING, DRAINAGE AND EROSION CONTROL PLAN, FOR GENERAL NOTES.
- MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING VEGETATION AND SITE FEATURES (CURBS, WALKS, PAVEMENTS, OVERHEAD AND UNDERGROUND UTILITIES, SIGNAGE, FENCING, ROADWAYS, ETC.) WHICH ARE TO REMAIN.
- REPAIR OR REPLACE EXISTING PROPERTY AND SITE FEATURES, INCLUDING GRASS AND VEGETATION, WHICH IS TO REMAIN THAT IS DAMAGED BY THE WORK, TO OWNER'S SATISFACTION AND AT NO ADDITIONAL COST TO THE OWNER.
- VISIT THE SITE PRIOR TO BIDDING; BE FAMILIAR WITH ACTUAL CONDITIONS IN THE FIELD. EXTRA COMPENSATION WILL NOT BE ALLOWED FOR CONDITIONS WHICH COULD HAVE BEEN DETERMINED OR ANTICIPATED BY EXAMINATION OF THE SITE, THE CONTRACT DRAWINGS AND THE INFORMATION AVAILABLE PERTAINING TO EXISTING SOILS, UTILITIES AND OTHER SITE CHARACTERISTICS.
- THE CONTRACTOR SHALL HIRE THE SERVICES OF A UTILITY LOCATOR COMPANY TO LOCATE ALL PRIVATELY OWNED UTILITIES THAT MAY BE DISTURBED BY CONSTRUCTION OPERATIONS.



SITE PLAN

SITE PLAN NOTES:

- REFER TO SHEET C1.21, GRADING, DRAINAGE AND EROSION CONTROL PLAN, FOR GENERAL NOTES.
- ALL APPLICABLE DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDED.
- WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

LEGEND

- REFERENCE KEY TO SITE DETAILS  
DETAIL I.D NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED CONCRETE WALK
- PROPOSED SHRUB
- PROPOSED SHRUB BED
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS

Jefferson High School Renovations

4001 West 120nd Street  
Bloomington, MN 55437

Independent School District #271

1350 West 106th Street  
Bloomington, MN 55431

Wold

WOLD ARCHITECTS  
AND ENGINEERS  
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101

woldae.com | 651.227.7773

ANDERSON-JOHNSON  
ASSOCIATES,  
INC.

LANDSCAPE ARCHITECTURE  
222 SOUTH FIFTH STREET  
MINNEAPOLIS, MN 55402

AJA

STATE OF MINNESOTA  
JULY 1, 2015  
MINNESOTA BOARD OF LANDSCAPE ARCHITECTS

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Professional Engineer  
Minnesota  
David A. Ray

Registration Number: 40180 Date: 12/20/2017

Revisions

Description Date Name



MN

B

C

D

E

F

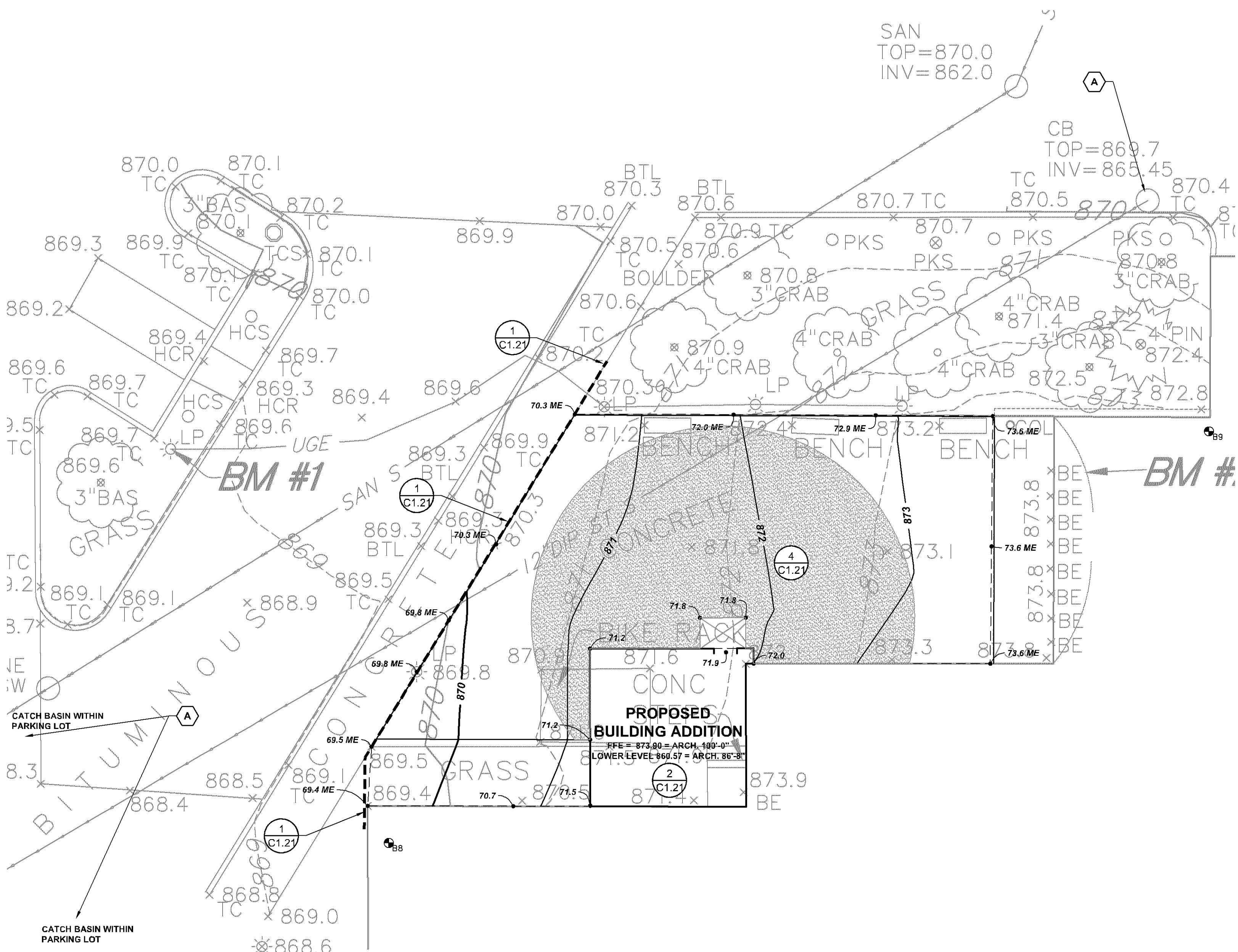
G

A

H

### GENERAL NOTES

1. ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS.
4. INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC.
5. INSPECT SITE AND REVIEW SOIL BORINGS TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
6. REFER TO SPECIFICATIONS FOR DEWATERING REQUIREMENTS.
7. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
8. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND STOOP DIMENSIONS AND LAYOUT.
9. MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
10. MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
11. ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
12. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
13. PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
14. PROPOSED ELEVATIONS SHOWN TYPICALLY AS 71.5 OR 71 SHALL BE UNDERSTOOD TO MEAN 871.5 OR 871.
15. SPOT ELEVATIONS WITH LABELS OUTSIDE THE BUILDING PERIMETER INDICATE PROPOSED GRADES OUTSIDE THE BUILDING. SPOT ELEVATIONS WITH LABELS INSIDE THE BUILDING PERIMETER INDICATE PROPOSED FINISH FLOOR ELEVATIONS.
16. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE / EXCESS / WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
17. NO FINISHED SLOPES SHALL EXCEED 4' HORIZONTAL TO 1' VERTICAL (4:1), UNLESS OTHERWISE NOTED.
18. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED, SHALL RECEIVE AT LEAST 6" OF TOPSOIL, AND SHALL BE SODDED.
19. WHERE NEW SOD MEETS EXISTING SOD, EXISTING SOD EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
20. FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
21. LOCATE ALL EXISTING UTILITIES, VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. VERIFY LOCATIONS, SIZES AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.



### LEGEND

- REFERENCE KEY TO SITE DETAILS  
DETAIL I.D NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR  
EXISTING SPOT ELEVATION  
PROPOSED CONTOUR  
PROPOSED SPOT ELEVATION  
ME = MATCH EXISTING  
APPROXIMATE SOIL BORING LOCATION  
PROPOSED SAND SUBBASE AT FROST FOOTED STOOPS  
PROPOSED SILT FENCE  
SEDIMENT CONTROL DEVICE AT STORM SEWER INLET  
PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS

### BENCHMARKS (FIELD VERIFY BEFORE USING)

- (NGVD 29)
- 1.) Top marker "X" on East side of light pole base in small island, west side of building  
Elevation = 870.99 feet
  - 2.) Top of tile, most northerly building entrance, Door 26  
Elevation = 873.82 feet

### Jefferson High School Renovations

4001 West 120nd Street  
Bloomington, MN55437

### Independant School District #271

1350 West 106th Street  
Bloomington, MN 55431

Wold

### WOLD ARCHITECTS AND ENGINEERS

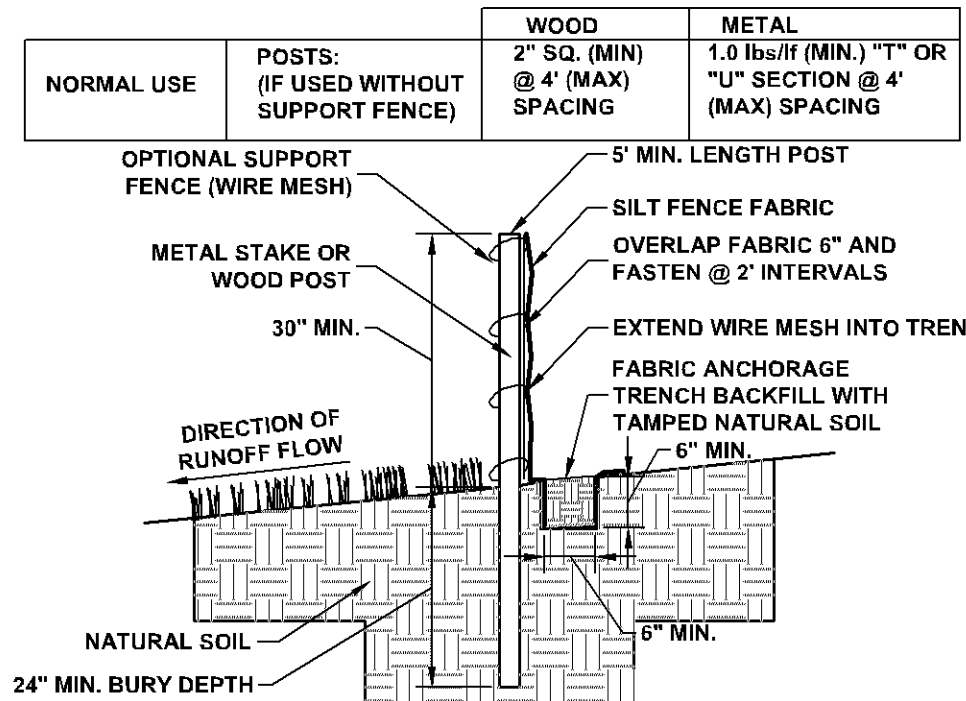
332 Minnesota Street, Suite W2000  
Saint Paul, MN 55101

woldae.com | 651.227.7773

ANDERSON-JOHNSON ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE • SITE PLANNING • CIVIL ENGINEERING  
222 SOUTH FIFTH STREET, SUITE 200 • MINNEAPOLIS, MN 55402

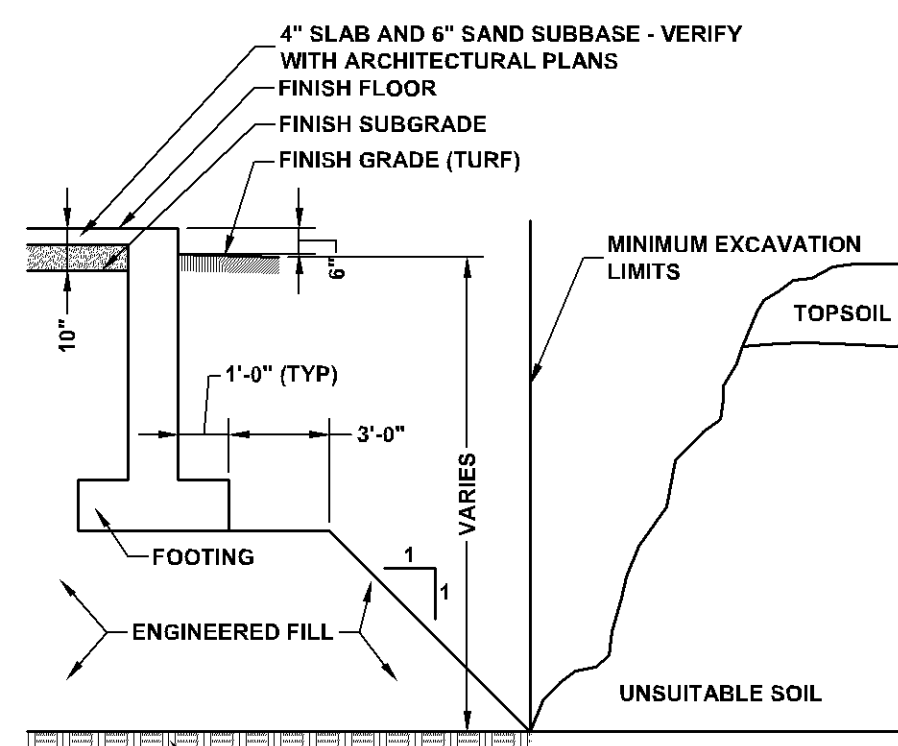
AJA



NOTE: DEPENDING UPON CONFIGURATION, ATTACH TO WIRE MESH WITH HOG RINGS, STEEL POSTS WITH TIE WIRES, OR WOOD POSTS WITH STAPLES

### 1 SILT FENCE

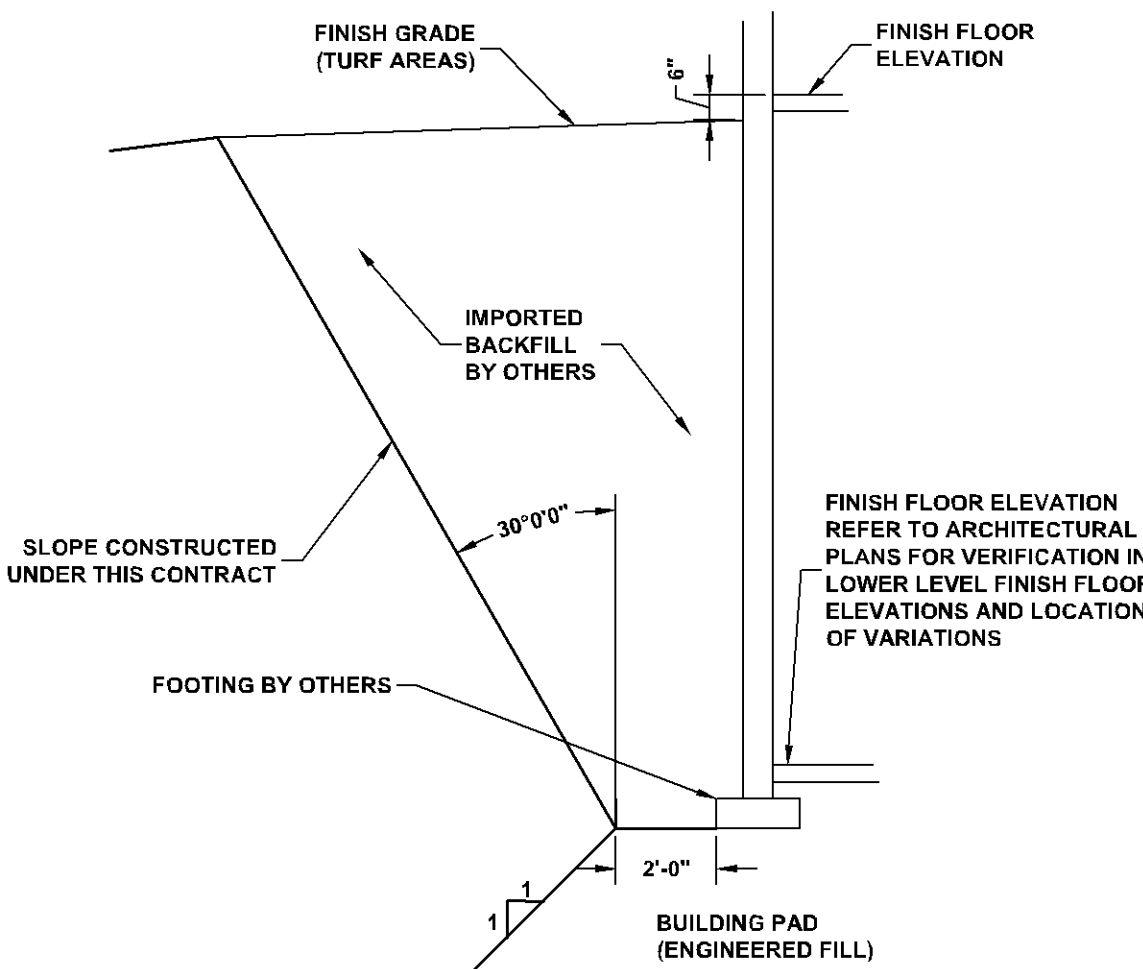
C1.21



NOTE: BOTTOM OF EXCAVATION MUST BE APPROVED BY THE SOILS ENGINEER PRIOR TO PLACEMENT OF ANY FILL.

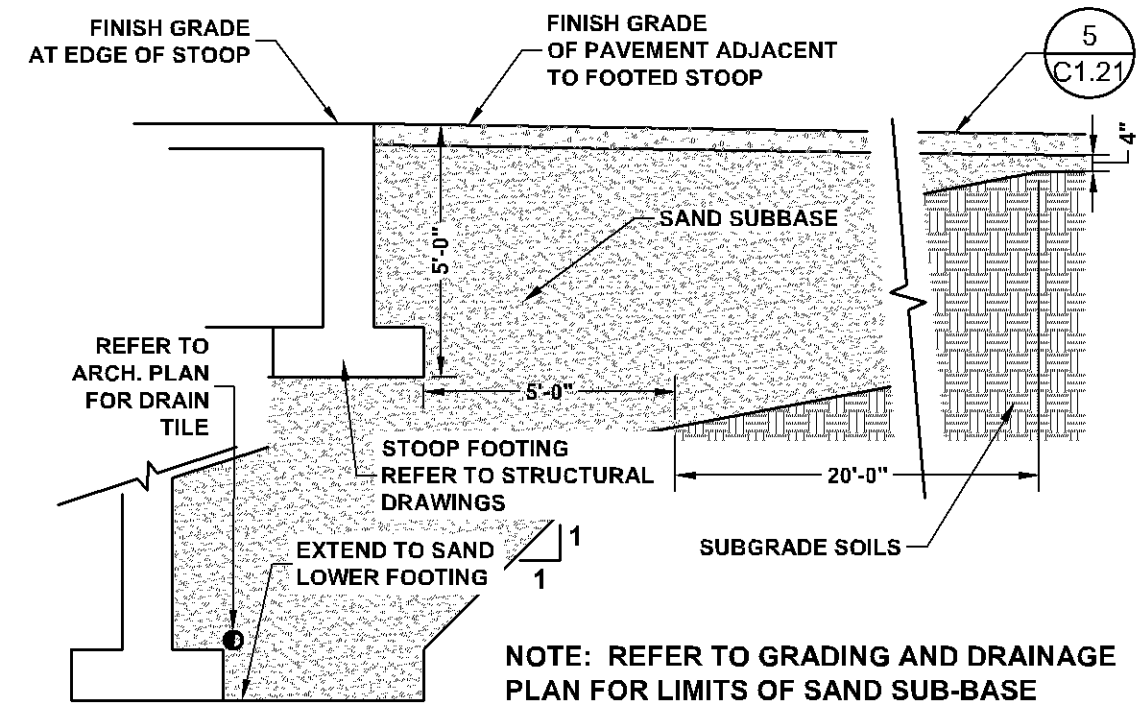
### 2 ENGINEERED FILL

C1.21



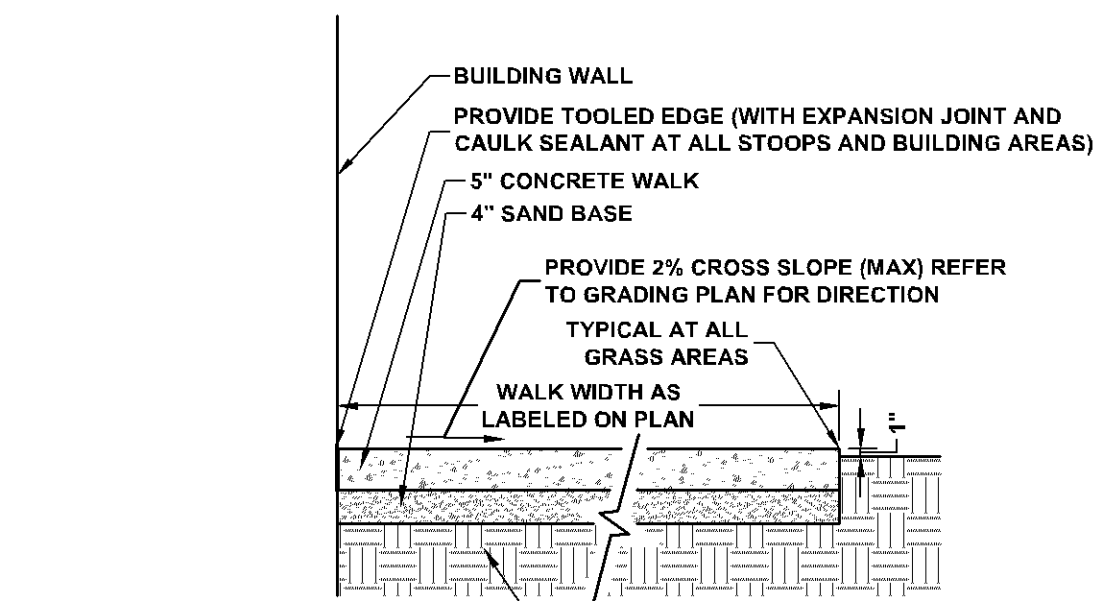
### 3 GRADING - BELOW GRADE BUILDING WALLS

C1.21



### 4 SAND SUBBASE FROST FOOTED STOOPS

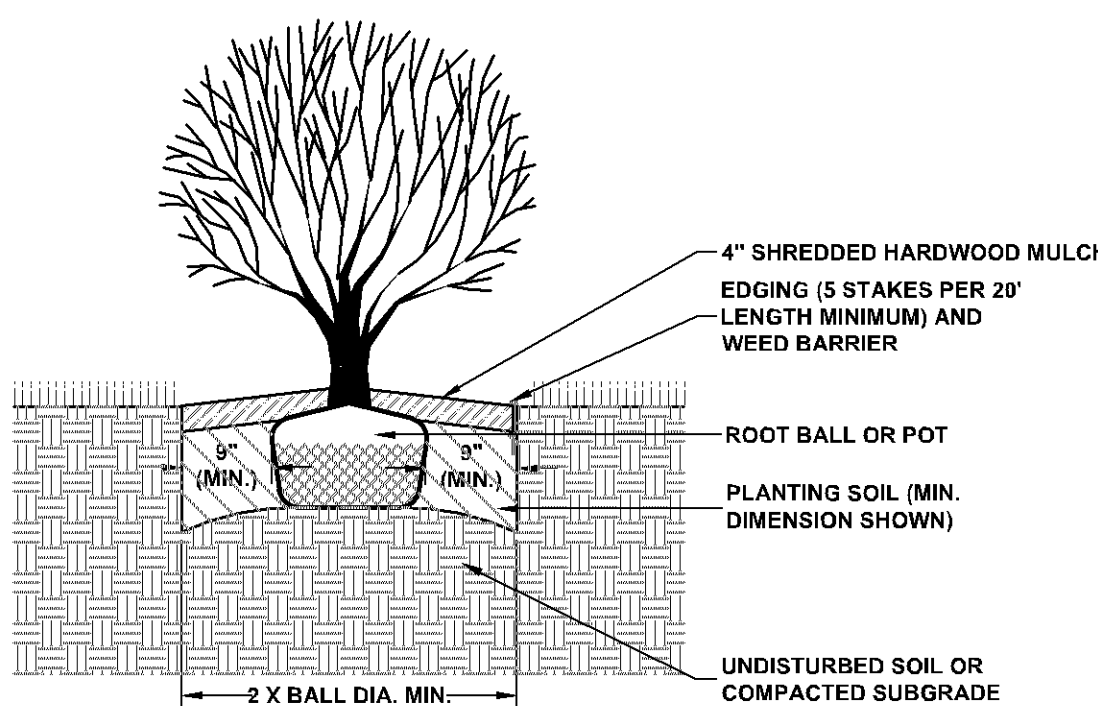
C1.21



NOTE: PROVIDE WIRE MESH REINFORCEMENT IN PANELS WITH DIMENSIONS TO JOINTS GREATER THAN 6' - REINFORCEMENT SHALL BE UNIFORMLY SUSPENDED 2" BELOW CONCRETE FINISH GRADE.

### 5 CONCRETE WALK

C1.21



### 5 SHRUB

C1.21

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

Signature: [Signature] Date: 12/20/2017

Registration Number: 40180 Date: 12/20/2017

Revisions: [Table with 3 columns: Description, Date, Name]

Comment: 172029

Date: 12/20/2017

Drawn: JCL

Check: DAR

North

### GRADING, DRAINAGE AND EROSION CONTROL PLAN

Scale: 1" = 20'

C1.21



MN

RCP GENERAL NOTES

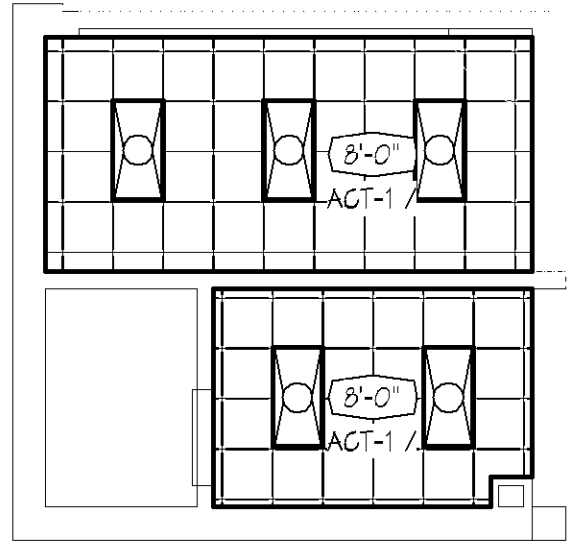
- FOR WALLS THAT PENETRATE CEILINGSS SEE WALL TYPES SHOWN ON THE FLOOR PLAN.
- SPRINKLER HEADS ARE NOT SHOWN. LOCATE ALL SPRINKLER HEADS IN THE CENTER OF CEILING TILES.
- FOR DIFFUSER AND RETURN GRILL SIZES, SEE MECHANICAL PLANS.
- FOR LIGHT FIXTURE TYPES, SEE ELECTRICAL LIGHTING PLANS.
- CEILINGSS HEIGHTS INDICATED ON PLAN (E.G. 9'-0") ARE FROM FINISHED FLOOR OR LEVEL OF PLAN SHOWN OR INDICATED AS 10'-0".
- ACOUSTICAL TILE CEILING GRID IS TO BE CENTERED IN RECTANGULAR ROOM OR CENTERED BETWEEN LONGEST WALLS OF IRREGULARLY SHAPED ROOMS UNLESS OTHERWISE NOTED.
- VERIFY GYP. BD. CONTROL JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.

RCP LEGEND

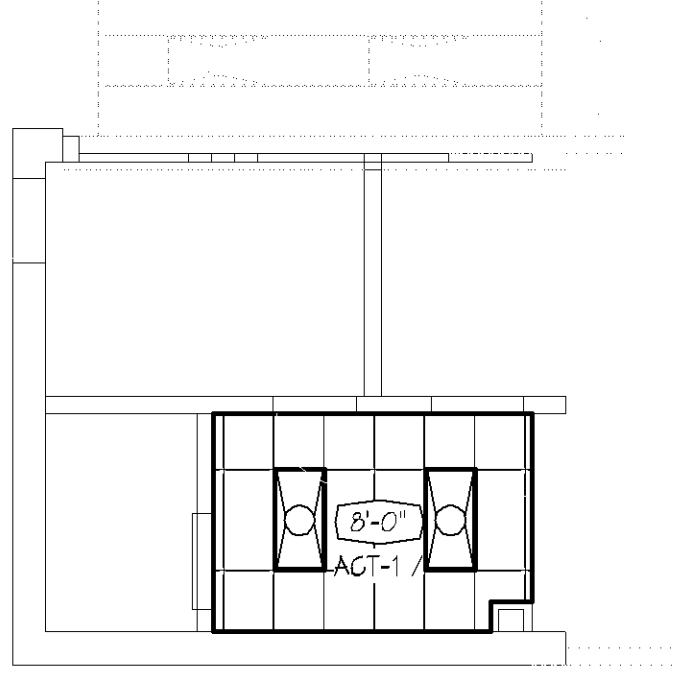
- CANLIGHT
- 1 X 4 LIGHT FIXTURE
- 4' STRIP LIGHT FIXTURE
- 8' STRIP LIGHT FIXTURE
- 2 X 2 LIGHT FIXTURE (IN CEILING GRID)
- 2 X 4 LIGHT FIXTURE (IN CEILING GRID)
- CEILING MOUNTED LIGHT FIXTURE
- SPEAKER
- AIR DIFFUSER (IN CEILING GRID)
- RETURN AIR GRILLE (IN CEILING GRID)
- AIR DIFFUSER
- EXHAUST GRILLE
- ACCESS PANEL
- LINEAR DIFFUSER (IN CEILING GRID)
- PTD GYPSUM BOARD CEILING / SOFFIT
- PENDANT LIGHT FIXTURE

RCP KEY NOTES:

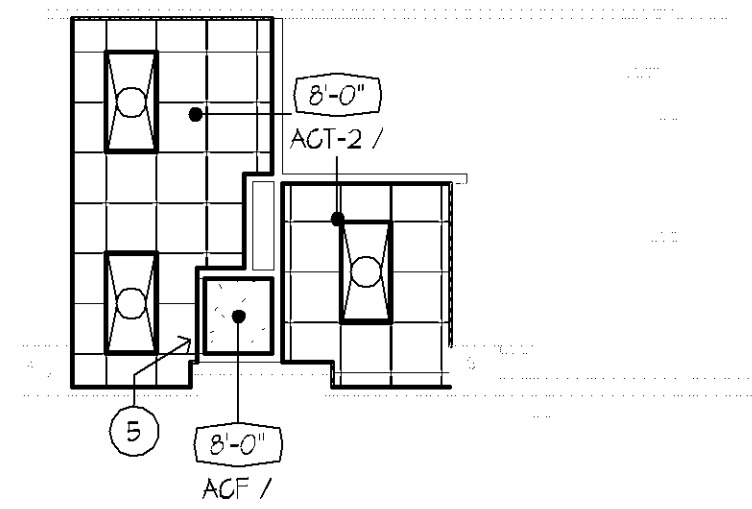
- MODIFY EXISTING GRID TO ACCOMMODATE NEW GYP SOFFIT.
- EXTEND EXISTING GRID INTO NEW ALCOVE.
- PAINTE NEW SOFFIT PT 6E.
- PATCH GRID/ PROVIDE NEW TILE TO MATCH EXISTING AT REMOVED LIGHT FIXTURE.
- GYP BD SOFFIT WALL
- PAINTE SOFFIT PT 6F.



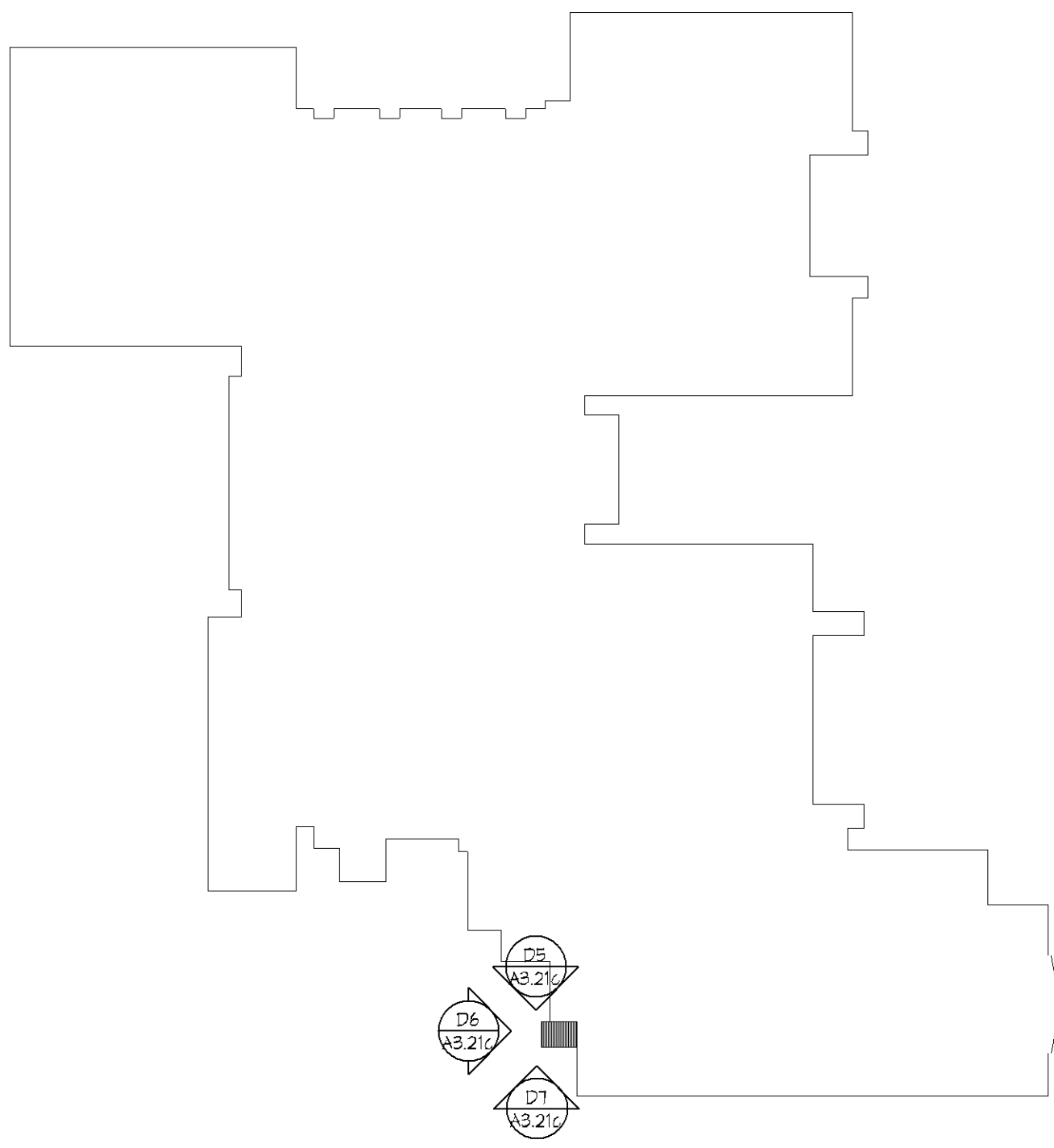
B2 MAIN LEVEL RCP - AREA 'C'  
1/8" = 1'-0"



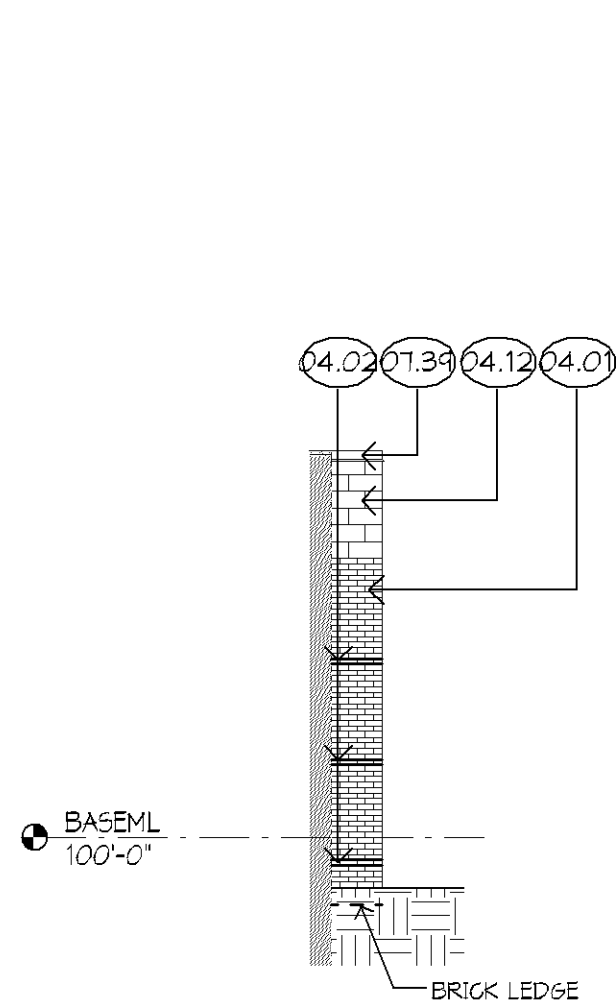
C2 LOWER LEVEL RCP - AREA 'C'  
1/8" = 1'-0"



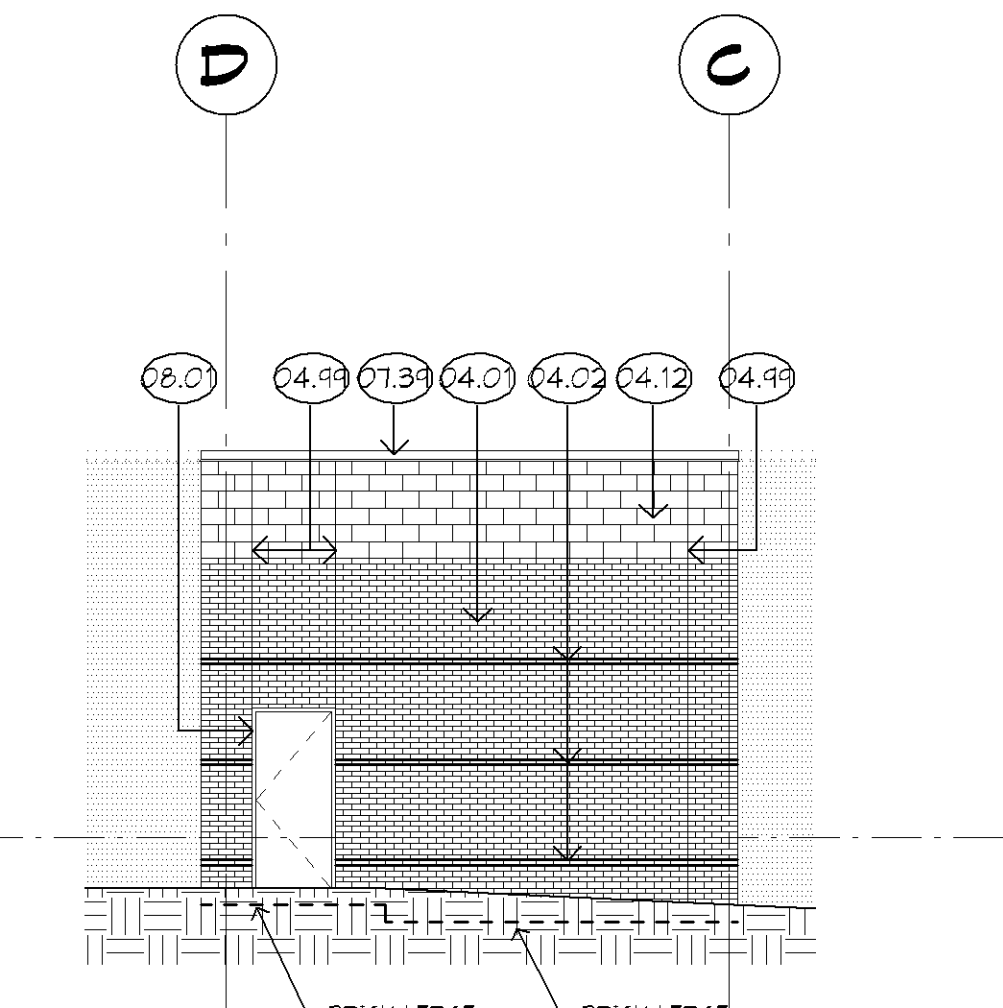
D2 LOWER LEVEL RCP - AREA 'D'  
1/8" = 1'-0"



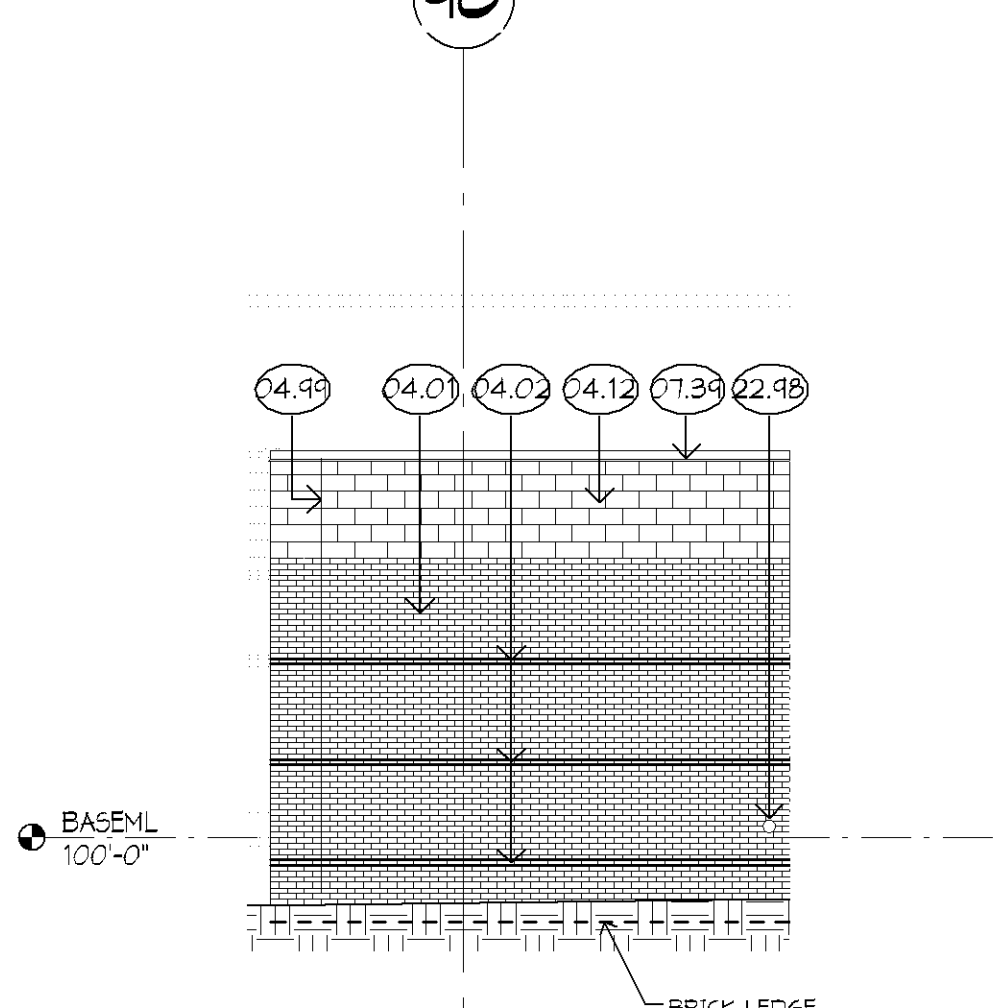
E7 EXT ELEV KEY PLAN  
1 1/2" = 1'-0"



D3 NORTH ELEVATION @ AREA C  
1/8" = 1'-0"



D6 WEST ELEVATION @ AREA C  
1/8" = 1'-0"



D7 SOUTH ELEVATION @ AREA C  
1/8" = 1'-0"

Jefferson High School Renovations

4001 West 120nd Street  
Bloomington, MN 55437

Independent School District #271

1350 West 106th Street  
Bloomington, MN 55431

Wold

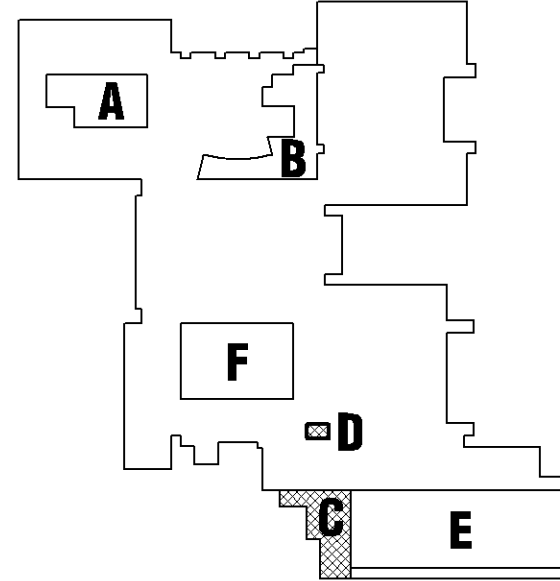
WOLD ARCHITECTS  
AND ENGINEERS  
332 Minnesota Street, Suite W3000  
Saint Paul, MN 55101

woldae.com | 651.227.7773



KRAUS-ANDERSON  
Construction Company

MATERIALS KEY	
KEY	MATERIAL
04.01	BRICK 1
04.02	BRICK 2
04.12	SPLIT FACE BLOCK
04.91	BRICK EXPANSION JOINT
07.31	PREFINISHED METAL COPING
08.01	HOLLOW METAL FRAME 4 DOOR
22.45	ROOF DRAIN DOWNSPOUT (SEE MECH.)



KEY PLAN

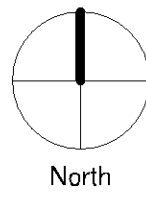
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT

under the laws of the State of Minnesota

Paul Applikowski  
License Number: 42737 Date: 12/20/2017

Revisions		
Description	Date	Num

Comm: 172059  
Date: 12/20/17  
Drawn: PT  
Check: EBL



AREAS 'C' AND 'D' REFLECTED CEILING PLANS AND EXTERIOR ELEVATIONS

Scale: As indicated

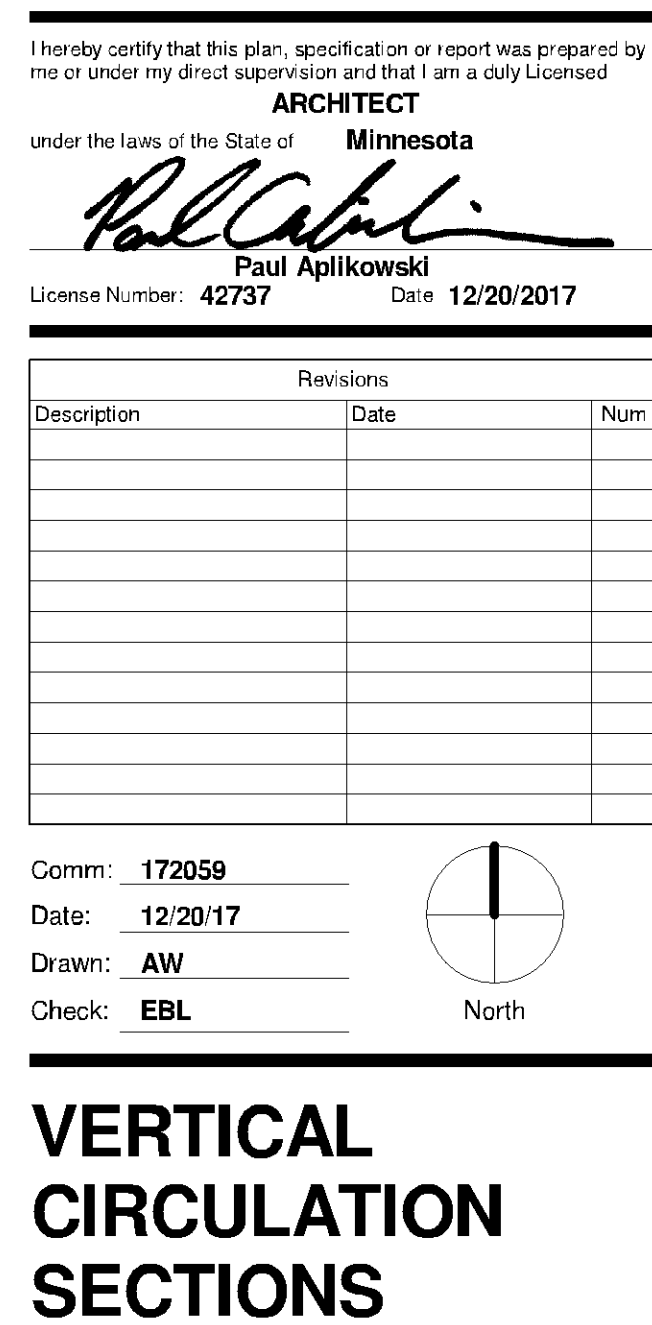
A3.21c



**Independent School  
District #271**  
1350 West 106th Street  
Bloomington, MN 55431



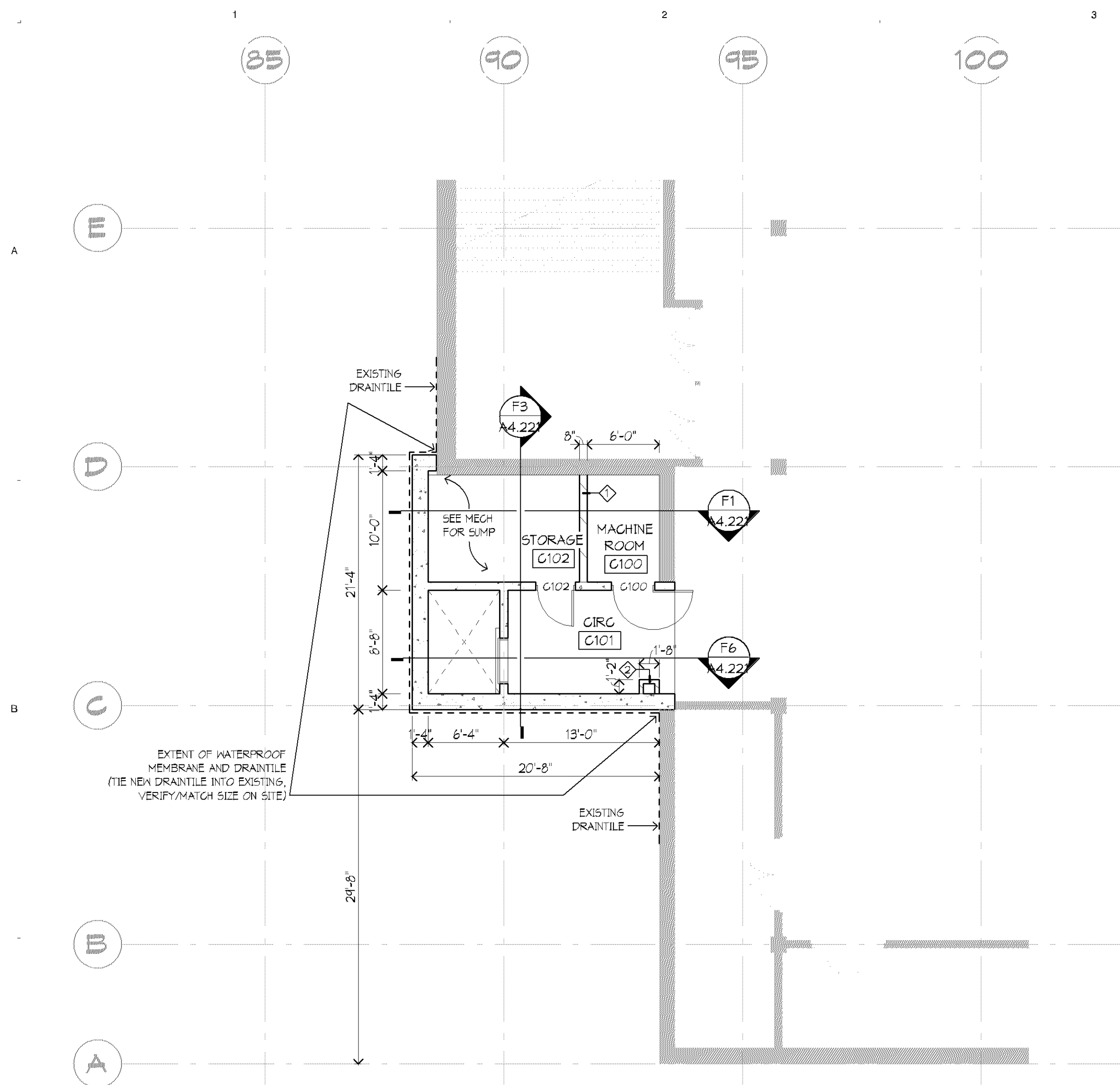
**A**



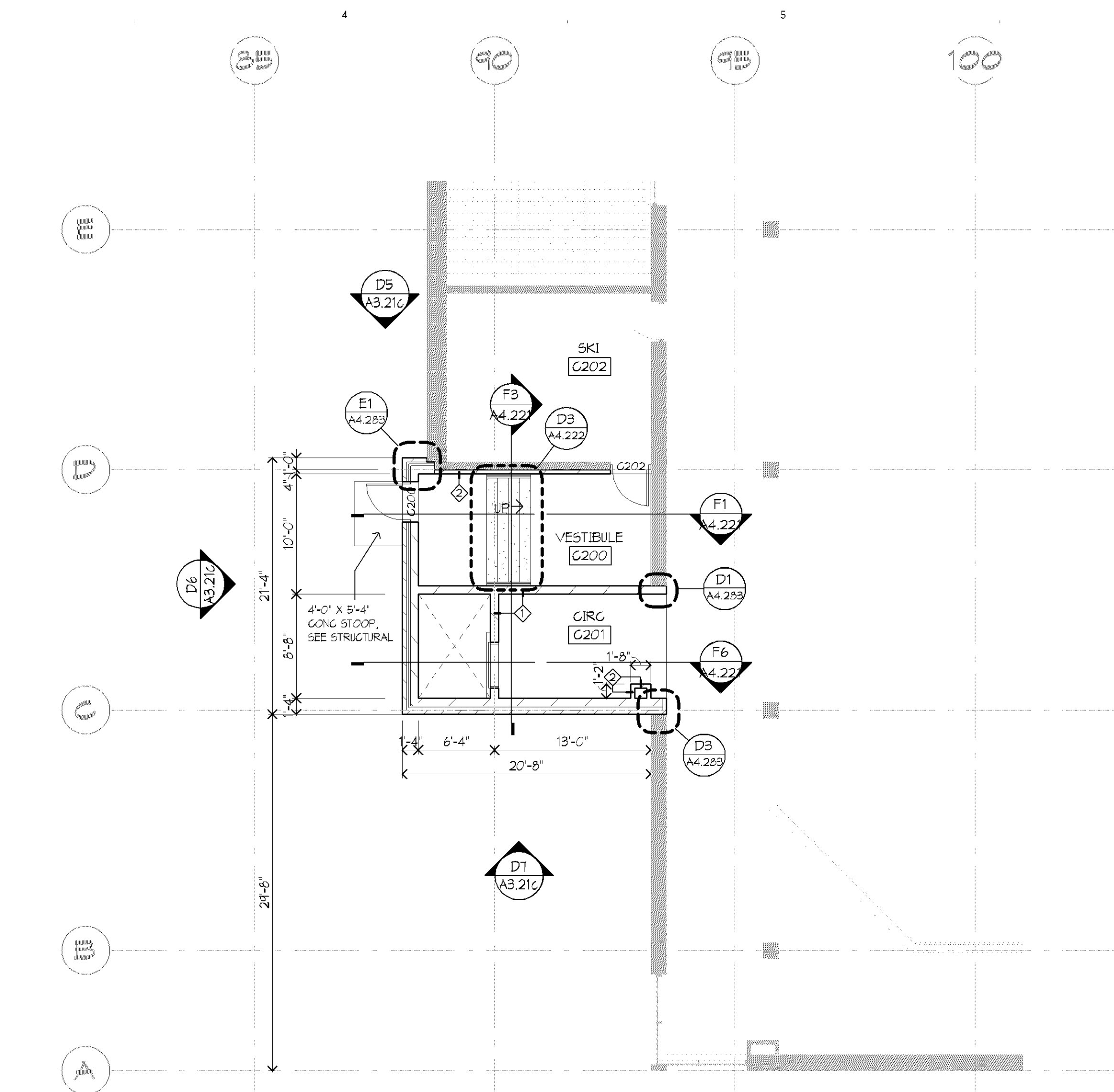
## A4.221



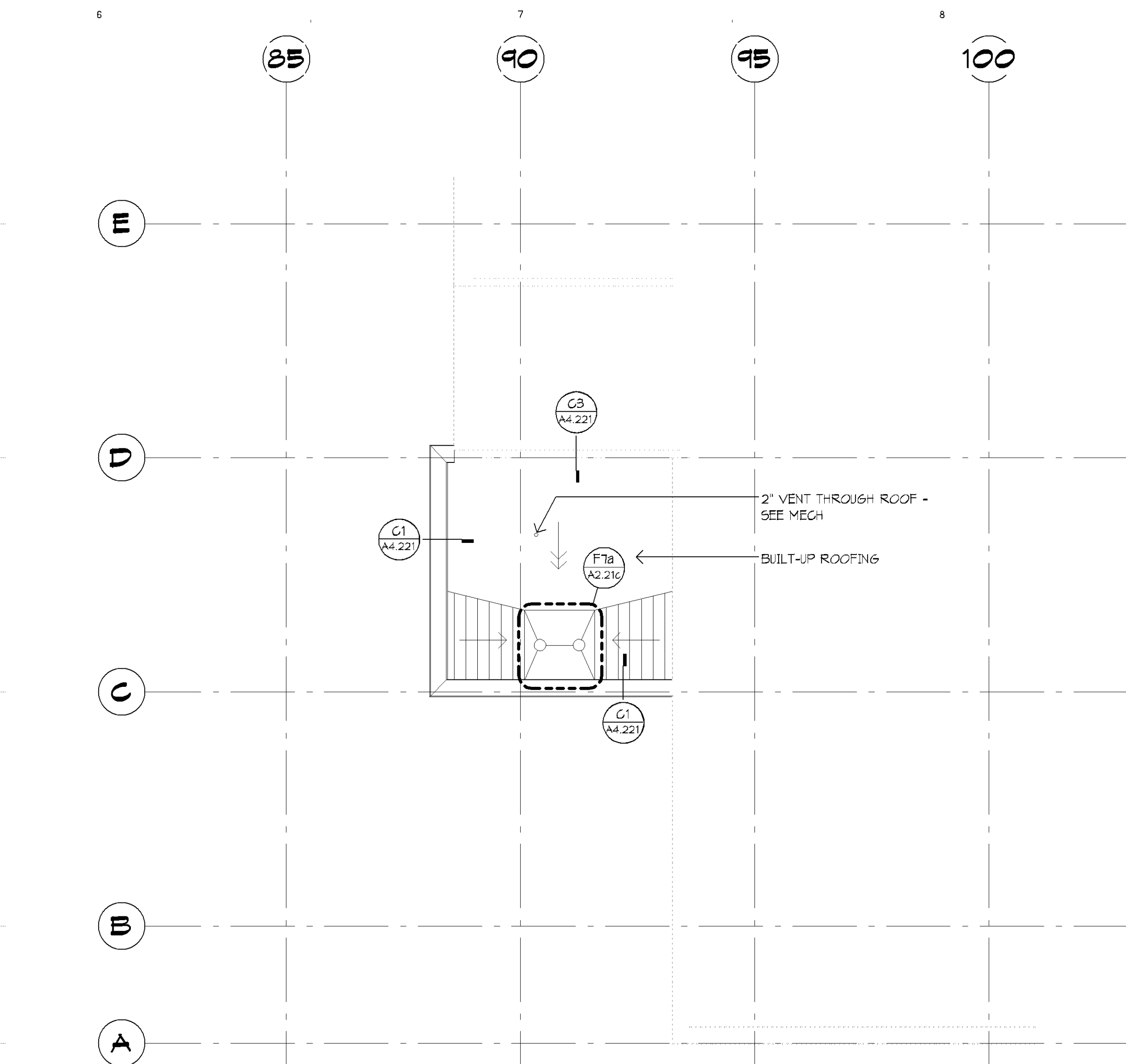
MN



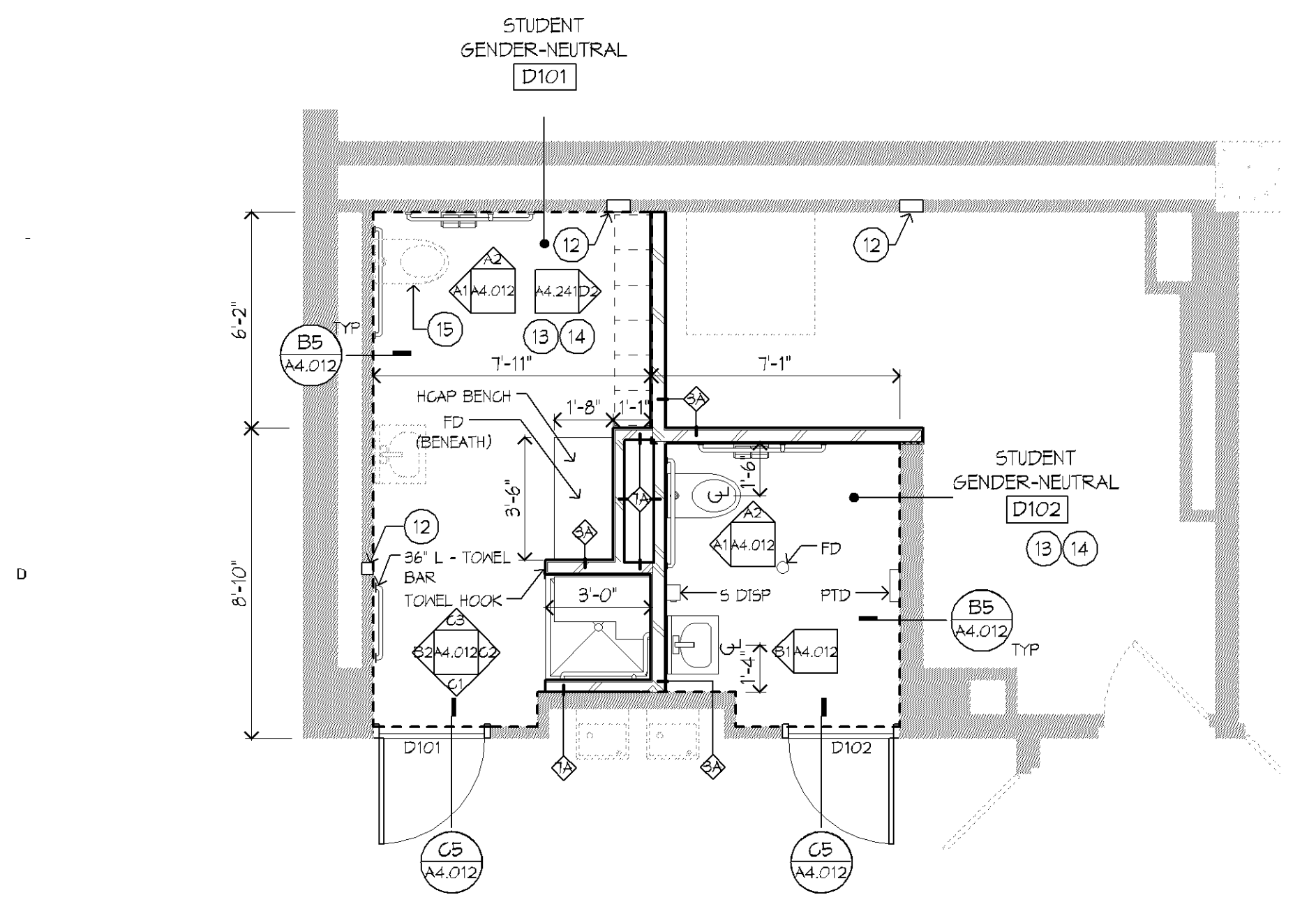
C1 LOWER LEVEL FLOOR PLAN - AREA 'C'  
1/8" = 1'-0"



C3 MAIN LEVEL FLOOR PLAN - AREA 'C'  
1/8" = 1'-0"



C6 ROOF PLAN - AREA 'C'  
1/8" = 1'-0"



E1 LOWER LEVEL FLOOR PLAN - AREA 'D'  
1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES:

- ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
- ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
- COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
- FIELD VERIFY ALL MILLWORK OPENINGS. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING.
- CONCRETE, MIN. 1/4" PER FOOT. VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
- ALL DOOR/SLIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- ALL GYP. WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
- FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
- HEAVY LINE THIS
- INDICATES BUILDING MATCH LINE

FLOOR PLAN KEY NOTES:

- PATCH FLOOR SLAB AT REMOVED WALL. PROVIDE SELF-LEVELING TOPPING (TYPICALLY 4'-0" TO ONE SIDE) TO CORRECT ANY FLOOR ELEVATION INCONSISTENCY.
- PROVIDE P TILE TO BOTTOM OF SOFFIT TO EXTENT OF DOUBLE DOTTED LINE.
- NEW CARPET THIS AREA. SEE ROOM FINISH SCHEDULE/ FLOOR FINISH PLANS FOR CARPET TYPES.
- PATCH CARPET AT HATCHED AREA WITH OPT 1 AND OPT 2 TO MATCH EXISTING PATTERN.
- PATCH GYP BD WALL AT REMOVED WALL/ CASEWORK.
- REINSTALL SALVAGED KIOSK.
- PROVIDE P TILE TO BOTTOM OF SOFFIT TO EXTENT OF DOTTED LINE. SEE D1/A4.241 FOR PATTERN.
- FLOOR EXPANSION JOINT. SEE DETAILS.
- PATCH FLOOR WITH SELF-LEVELING TOPPING AND NEW FLOORING AS SCHEDULED AT REMOVED WALL. MATCH ADJACENT FLOOR LEVELS.
- INFILL MASONRY WALL TO MATCH ADJACENT WALL THICKNESS. MATCH MASONRY COURSING. PAINT WALL FULL HEIGHT CORNER TO CORNER AS SCHEDULED.
- PATCH G BLK WALL AT AREA OF MECH PIPING WORK TO MATCH EXISTING. PAINT WALL FULL HEIGHT CORNER TO CORNER AS SCHEDULED.
- PATCH G BLK WALL TO MATCH EXISTING AT AREA OF REMOVED ITEM. PAINT WALL FULL HEIGHT CORNER TO CORNER AS SCHEDULED.
- PROVIDE NEW CONG SLAB AND VAPOR BARRIER. COORD. EXTENTS W/ DEMO PLAN.
- PROVIDE MORTAR BED FOR NEW P TILE AS SCHED. SLOPE FLOORS AS REQ'D TO TRANSITION FLOOR HEIGHT AT ADJACENT ROOMS.
- PROVIDE NEW TOILET SEAT FOR EXISTING FIXTURE. SEE MECH.
- 12" G BLK INTILL. SEE STRUCT.
- PAINT WALL PT 6F.
- NEW VENT THROUGH ROOF ABOVE FOR NEW SINK. SEE DETAILS B4/A4.222 AND X15/A4.222.
- PATCH EXIST CONG SLAB/ VAPOR BARRIER AS REQUIRED. SEE DETAIL. /----
- REPAIR HM FRAME AT REMOVED STAINLESS BUMPER. REPAINT ENTIRE FRAME.
- REINSTALL SALVAGED FACE BRICK.
- PATCH CARPET AT REMOVED BENCHES WITH OPT 1 AND OPT 2 TO MATCH EXISTING PATTERN.
- PROVIDE TACKABLE WALLCOVERING FULL-HEIGHT TO EXTENTS INDICATED BY DOTTED LINE.
- PROVIDE VINYL BASE.
- PAINT PT 6A. PROVIDE AND INSTALL VB 1 AT BOTH SIDES OF NEW GYP WALL.
- PATCH CARPET AT HATCHED AREA WITH SALVAGED CARPET.
- PAINT WALL OR COLUMN PT 6F.
- INTILL AT REMOVED P LAM PANELS WITH 1 1/2" MTL STUDS AND 1/2" GYP BD TO FINISH SURFACE WITH ADJACENT BRICK.
- INFILL AT REMOVED GRILL WITH 4" G BLK.
- NOM 5" GYP BD ON MTL STUD WALL BELOW COUNTER.
- PATCH TERRAZZO TO MATCH EXISTING AT REMOVED CONG SLAB.
- REGROUND TERRAZZO AT REMOVED LOCKERS.
- PROVIDE TYP P TILE PATTERN AT WALL. SEE DETAIL D1/A4.241.

ROOM FINISH SCHEDULE - AREA 'C'											
ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP		E WALL		S WALL		W WALL	
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN
G100	MACHINE ROOM	CONG	VB 1			PT 6A	G. BLK	PT 6A	G. BLK	PT 6A	G. BLK
G101	CRG	CONG	VB 1	G. BLK		PT 6A	G. BLK	PT 6A	G. BLK	PT 6A	G. BLK
G102	STORAGE	CONG	VB 1	G. BLK/ CONG	PT 6A						
G111	ELEV	RF	--	--	--	--	--	--	--	--	--
G200	VESTIBULE	CONG	VB 1	G. BLK	PT 6A	G. BLK	PT 6A	G. BLK	PT 6A	G. BLK	PT 6A
G201	CRG	CONG	VB 1	G. BLK	PT 6A	G. BLK	PT 6A	G. BLK	PT 6A	G. BLK	PT 6A
G202	SK1										

ROOM FINISH SCHEDULE - AREA 'D'											
ROOM NO	ROOM NAME	FLOOR	BASE	N WALL - TYP		E WALL		S WALL		W WALL	
				MATL	FIN	MATL	FIN	MATL	FIN	MATL	FIN
D101	STUDENT GENDER-NEUTRAL	P TILE	P TILE 6	EXIST/ GYP BD	GT	EXIST/ GYP BD	GT	EXIST / GYP BD	GT	EXIST	GT
D102	STUDENT GENDER-NEUTRAL	P TILE	P TILE 6	GYP BD	GT	EXIST	GT	EXIST	GT	EXIST / GYP BD	GT

ROOM FINISH SCHEDULE GENERAL NOTES

- SEE DETAILS OF CONSTRUCTION FOR ABBREVIATIONS.
- IF ALL WALLS IN ROOM HAVE THE SAME FINISH, THE "N WALL-TYP" COLUMN WILL BE USED.
- DISCREPANCIES BETWEEN THE ROOM FINISH SCHEDULE AND DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR FINISH DETERMINATION.
- ON WALLS WHICH ARE COVERED WITH MILLWORK AND TACK SURFACES, A FINISH SHALL NOT BE APPLIED TO THE WALL BEHIND EXCEPT FOR LOCATIONS WHICH MAY BE EXPOSED (I.E. SPACE BETWEEN MILLWORK AND TACK SURFACE). CONCRETE BLOCK BEHIND MILLWORK AND MARKERS/BOARDS TO BE TOOK.
- REFER TO MATERIAL FINISH/ COLOR SCHEDULE FOR SPECIFIC FINISH TYPES AND COLORS.
- FOR CEILING MATERIAL WHEN MORE THAN ONE CEILING MATERIAL OCCURS THE CEILING FINISH IS INDICATED THIS "Y".

ROOM FINISH SCHEDULE REMARKS

- SEE FLOOR FINISH PLANS FOR OPT PATTERN.
- SEE INTERIOR ELEVATIONS FOR WALL TILE PATTERN.
- SEE B1/A4.012 FOR WALL TILE TYPES/ PATTERN.
- SEE C1/A4.012 FOR FLOOR TILE TYPES/ PATTERN.

DOOR / OPENING SCHEDULE - AREAS 'C' AND 'D'													
DOOR NO	TYPE	QTY	DOOR / OPENING		FRAME	MOUNTING CONDITIONS	HDM GRP	REMARKS					
			WIDTH	HEIGHT	MATL	TYPE	DEPTH	MATL	SL	HEAD	JAMB	SILL	
G100	F	1	3'-4"	T-0"	HM	--	FR 1	--	--	F1/A4.251	F2/A4.251		10
G102	F	1	3'-0"	T-0"	HM	--	FR 1	--	--	F1/A4.251	F2/A4.251		04
G200	F	1	3'-0"	T-0"	H.M.	--	FR 1	--	--	D6/A4.251	E6/A4.251		11
G202	F	1	3'-0"	T-0"	HM	--	FR 1	--	--	F6/A4.251	E4/A4.251		08
D101	F	1	3'-0"	T-0"	WD	--	FR 1	--	--	D1/A4.251	D2/A4.251		19
D102	F	1	3'-0"	T-0"	WD	--	FR 1	--	--	D1/A4.251	D2/A4.251		01

DOOR SCHEDULE GENERAL NOTES

- ALL DOORS ARE 1 3/4" THICK UNLESS OTHERWISE NOTED.
- FOR FRAME DEPTH, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED:  
GYPSUM BOARD PARTITIONS: THROAT OF FRAME TO MATCH WALL THICKNESS.  
MASONRY PARTITIONS:  
4" WALL: 3 3/4" FRAME  
6" WALL: 5 3/4" FRAME  
8" AND GREATER WALL: 7 3/4" FRAME  
FRAME DEPTHS ARE SCHEDULED IN NOMINAL DIMENSIONS. SEE FRAME/ DOOR TYPES (DETAIL SECTION S1000) FOR CORRESPONDING ACTUAL DIMENSIONS.
- FOR GLASS TYPES, ONLY EXCEPTIONS TO THE FOLLOWING TABLE ARE SCHEDULED:  
INTERIOR NON RATED:  
CLEAR (BATTERY WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)  
INTERIOR AND EXTERIOR RATED:  
FIRE RATED:  
EXTERIOR NON RATED:  
CLEAR (INSULATED (BATTERY WHEN REQUIRED BY TABLE IN GLAZING SPECIFICATION.)  
SEE SHEET A2.901 FOR DOOR & FRAME TYPES.
- AT DOOR SCHEDULE, LABEL DESIGNATION "45/20" INDICATES:  
FOR ALL OPENINGS WITH SIDE LITES AND SCHEDULED TO BE RATED FOR 20 MINUTES, THE DOOR AND ANY GLASS WITHIN THE DOOR IS TO BE RATED FOR 20 MINUTES; THE FRAME AND ADJACENT SIDELITES/ GLASS IS TO BE RATED FOR 45 MINUTES.

DOOR SCHEDULE REMARKS

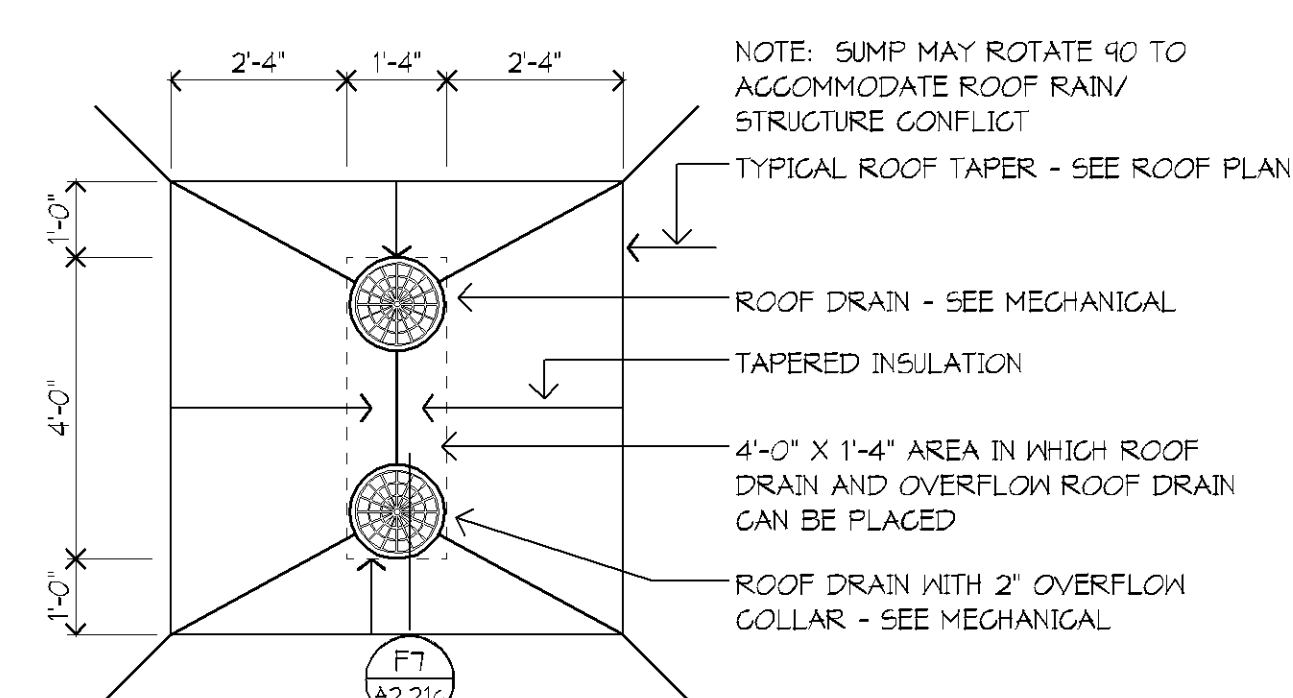
- DOOR BY ALT 95 ONLY.

ROOF PLAN GENERAL NOTES

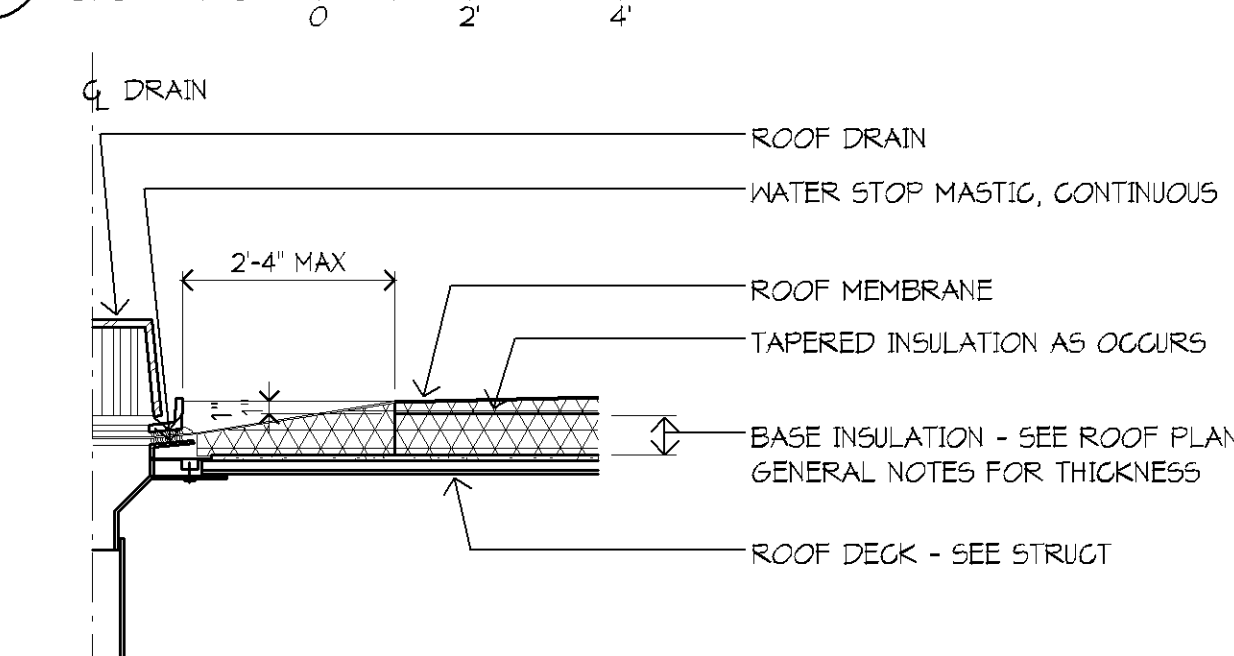
- TAPERED ROOF INSULATION AND CRICKETS SHALL SLOPE AT 1/4" PER 1'-0". THE THICKNESS OF THE BASE INSULATION IS TO BE 4 1/2".
- SHOP DRAWING DESIGN AND INSTALLATION OF TAPERED INSULATION MUST ACCOUNT FOR GAMBER IN STRUCTURE TO INSURE THAT THE ROOF DRAINS AS DESIGNED.
- AT MECH. OPENINGS AND CURBS ON ROOF, PROVIDE CRICKETS AS REQUIRED FOR POSITIVE DRAINAGE OR GUT OPENINGS IN FREE-STANDING CURBS AS AN ALTERNATIVE.
- MECHANICAL ITEM LOCATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO MECH. DRAWINGS FOR EXTENT OF MECH. EQUIP. AND SIZE AND LOCATION OF ALL ROOF PENETRATIONS.
- ALL MECHANICAL AND ELECTRICAL ROOFTOP EQUIPMENT, PIPING, CONDUIT, ETC. TO BE PAINTED.
- COORDINATE ROOF AND OVERFLOW DRAIN LOCATIONS WITH STRUCTURAL COMPONENTS TO AVOID LOCATING ROOF OR OVERFLOW DRAINS OVER TOP OF BEAMS OR JOISTS.
- REFER TO EXTERIOR ELEVATIONS FOR LOCATION OF OVERFLOW SCUPPERS AND OUTFLOWS.
- AT ALL LADDERS, TOP AND BOTTOM, PROVIDE AND INSTALL A 4'-0" X 4'-0" CONCRETE PAVES LANDING.
- ROOF LADDERS WITH NUMBER IN PARENTHESES INDICATE RELATIVE ROOF DECK ELEVATION DIFFERENCES, NOT INCLUDING PARAPET. VERIFY EXACT LADDER HEIGHT REQUIREMENTS.

ROOF LEGEND

- ROOF DRAIN (R.D.) OVERFLOW DRAIN (O.R.D.)
- MECH HOOD
- EQUIPMENT CURB AT MECHANICAL EQUIPMENT
- ROOF EXHAUST
- EQUIPMENT CURB SUPPORTING PIPING OR CONDUIT. INSTALL MAXIMUM SPACING OF 6'-0" O.C.
- VENT STACK, PIPE OR CONDUIT
- COMBUSTION STACK
- SKYLIGHT
- CRICKET FOR POSITIVE DRAINAGE
- SLOPE OF TAPERED INSULATION
- DIAMOND CRICKET (SEE TYPICAL DETAIL.)
- SLOPED STRUCTURE
- ROOF LADDER



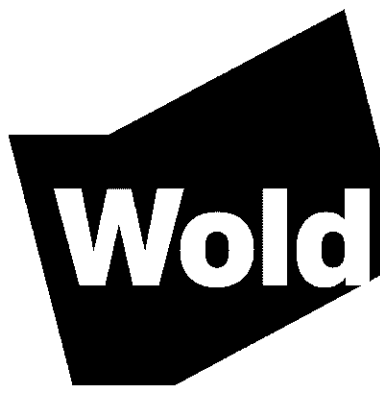
F7a ROOF DRAIN SUMP TYPICAL PLAN  
3/8" = 1'-0"



F7 ROOF DRAIN SUMP SECTION  
3/4" = 1'-0"

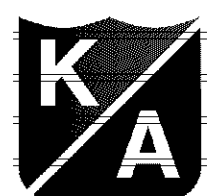
Jefferson High School Renovations  
4001 West 120nd Street  
Bloomington, MN 55437

Independent School District #271  
1350 West 106th Street  
Bloomington, MN 55431

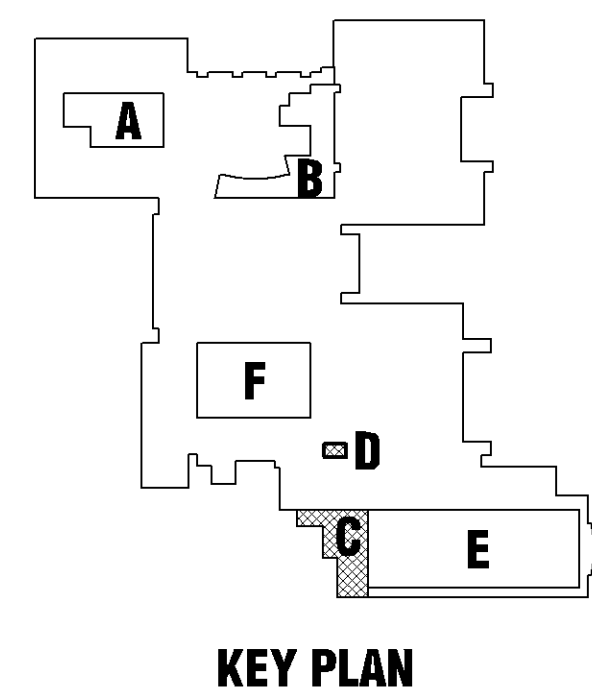


WOLD ARCHITECTS AND ENGINEERS  
332 Minnesota Street, Suite W3000  
Saint Paul, MN 55101

woldae.com | 651.227.7773



KRAUS-ANDERSON Construction Company



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed

under the laws of the State of Minnesota

Paul Applikowski  
License Number: 42737 Date: 12/20/2017

Revisions		
Description	Date	Num

Comm: 172059  
Date: 12/20/17  
Drawn: PT  
Check: EBL  
North

AREAS 'C' AND 'D' FLOOR PLANS

Scale: As indicated

A2.21c