

PL201800021
PL2018-21

GENERAL NOTES - SITE PLAN

1. SITE STAIRS AND SLOPED WALKS TO BE BROOM FINISH CONCRETE ON COMPACTED SUB-GRADE. PROVIDE PAINTED GALV STEEL BAR STOOK HANDRAILS, BOTH SIDES AT ALL CONDITIONS.
2. SEE ARCHITECTURAL FLOOR PLANS FOR WALKOUT UNIT PATIO DIMENSIONS.
3. REFER TO ENLARGED ARCHITECTURAL PLAN SHEET A0.2 FOR POOL TERRACE PLAN.

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Signature

Christopher Willette
Typed or Printed Name
48403 12/03/2018
License # Date

34TH AVENUE SOUTH

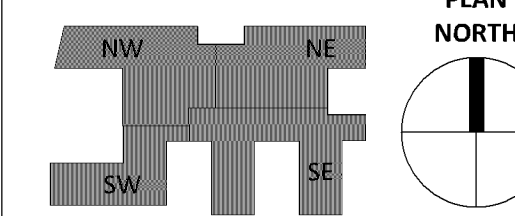
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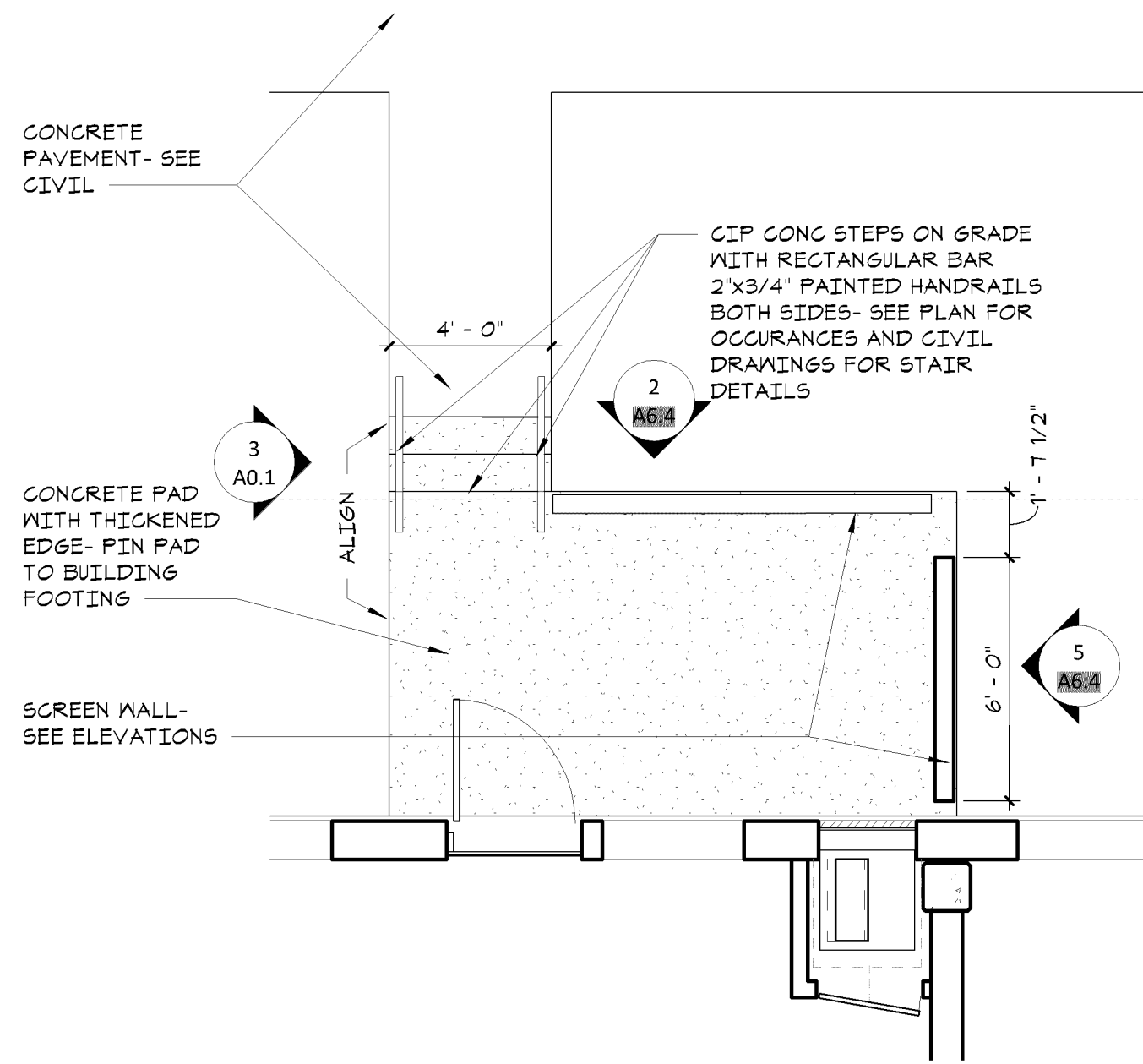
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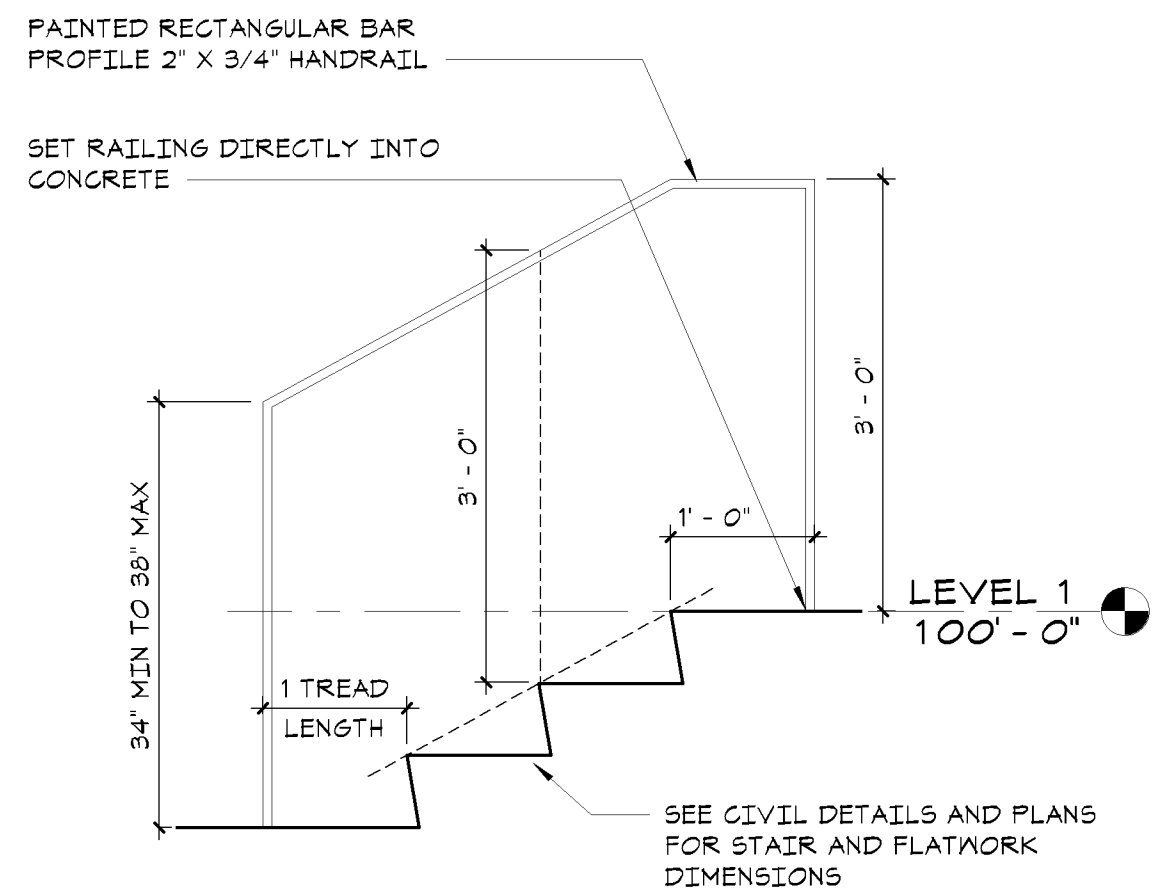
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ARCHITECTURAL SITE PLAN

A0.1



2 ENLARGED PATIO PLAN - NORTH
A0.1 1/4" = 1'-0"



3 RAILING ELEVATION AT UNIT PATIOS
A0.1 3/4" = 1'-0"

EAST 81ST STREET

33RD AVENUE

EAST 80 1/2 STREET

LIGHT RAIL TRANSPORTATION

1 ARCHITECTURAL SITE PLAN
A0.1 1" = 20'-0"

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LEVEL 1 PLAN - OVERALL

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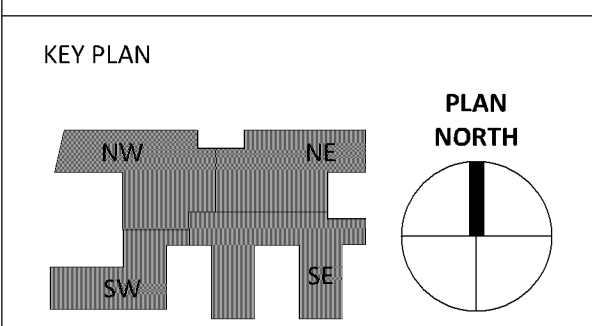
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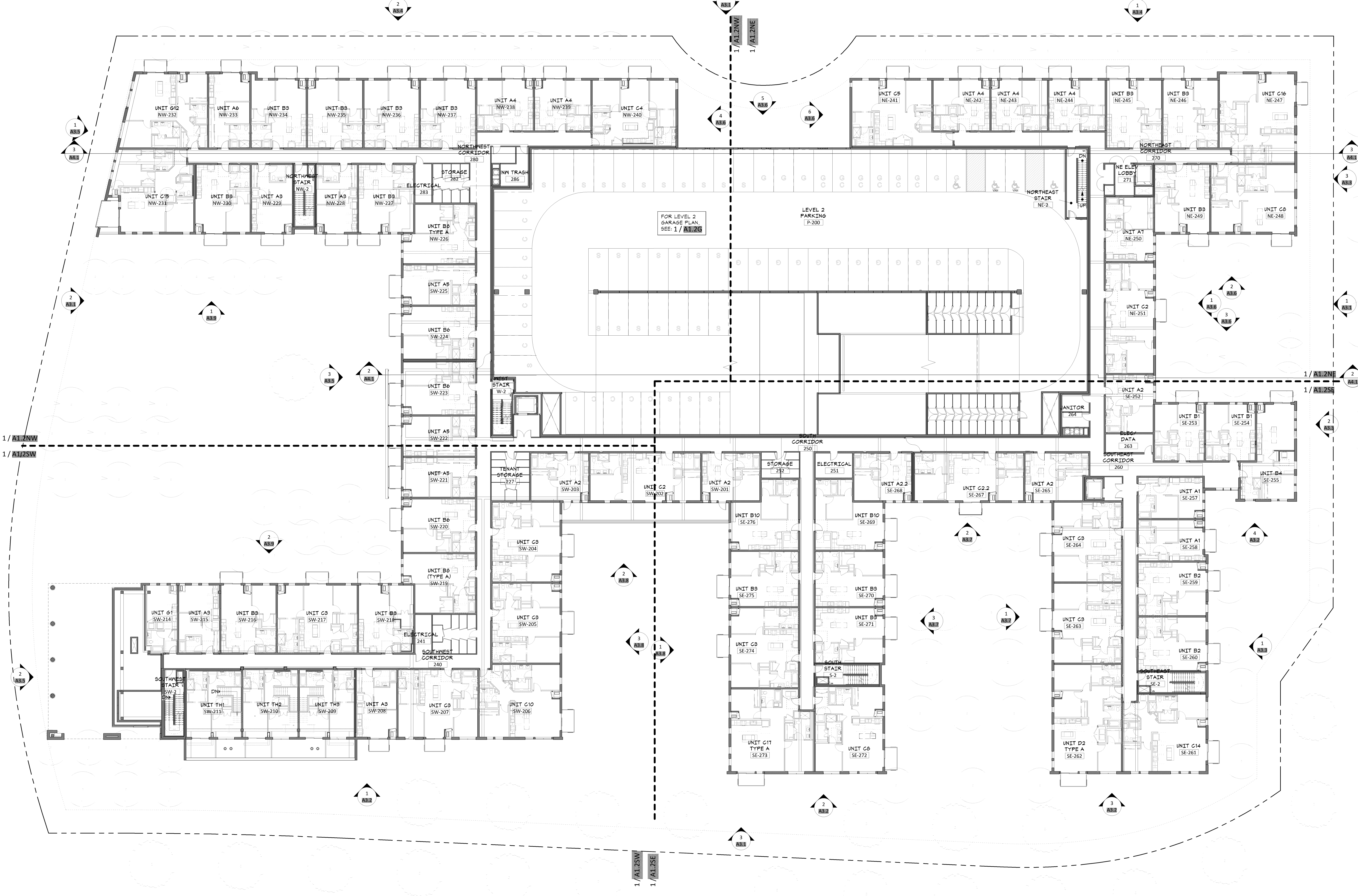
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LEVEL 2 PLAN - OVERALL
A1.2



1 LEVEL 2 PLAN - OVERALL
1/16" = 1'-0"

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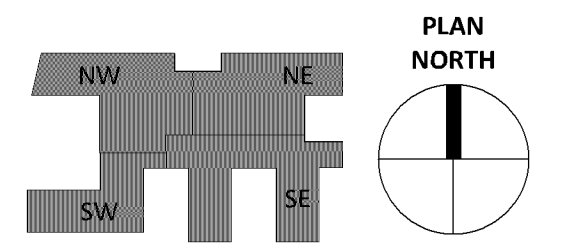
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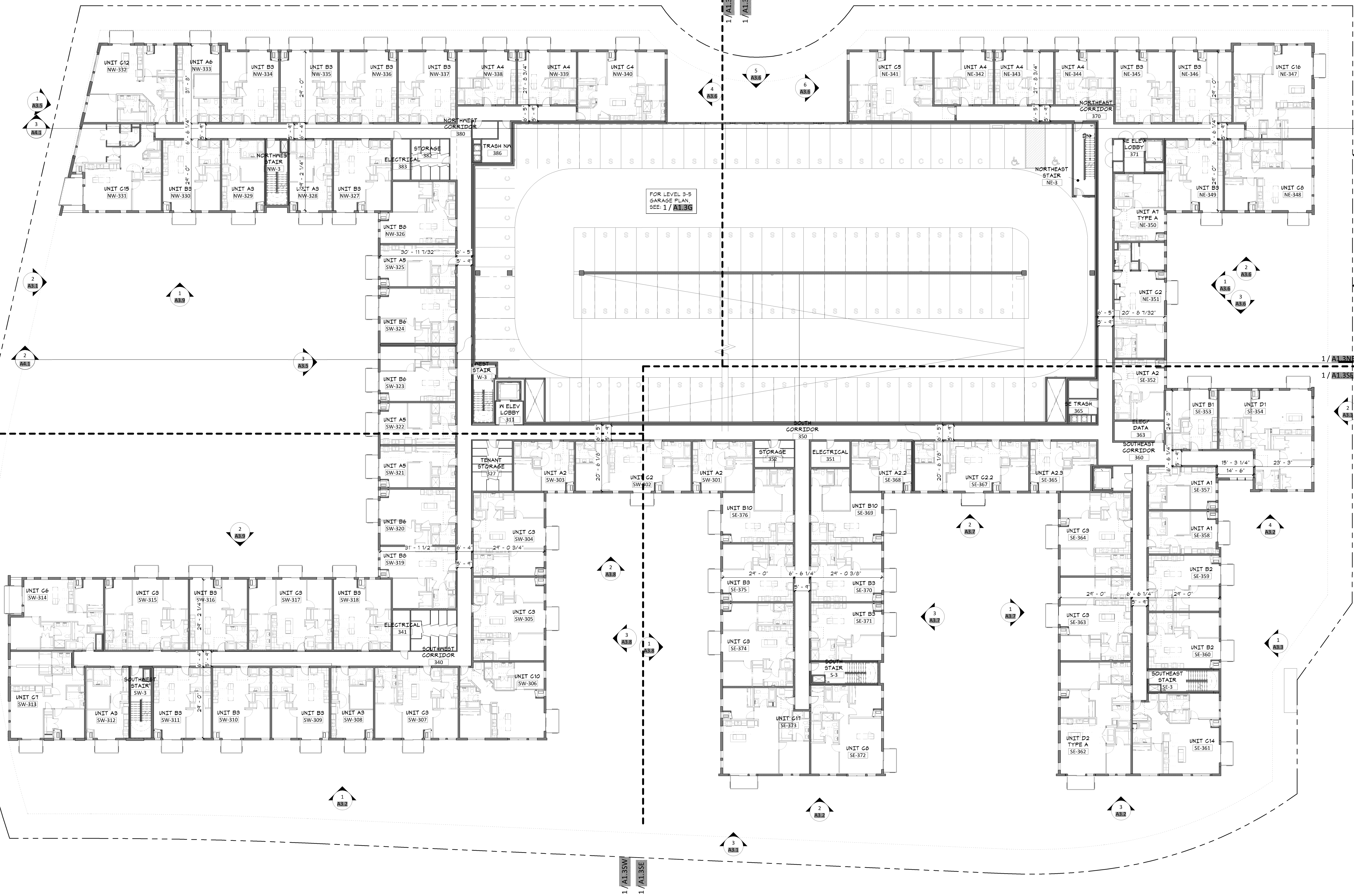
KEY PLAN



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LEVELS 3 PLAN - OVERALL

A1.3



1
A1.3
LEVEL 3 PLAN - OVERALL
1/16" = 1'-0"

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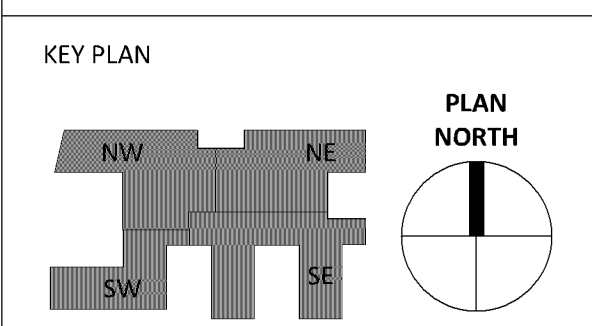
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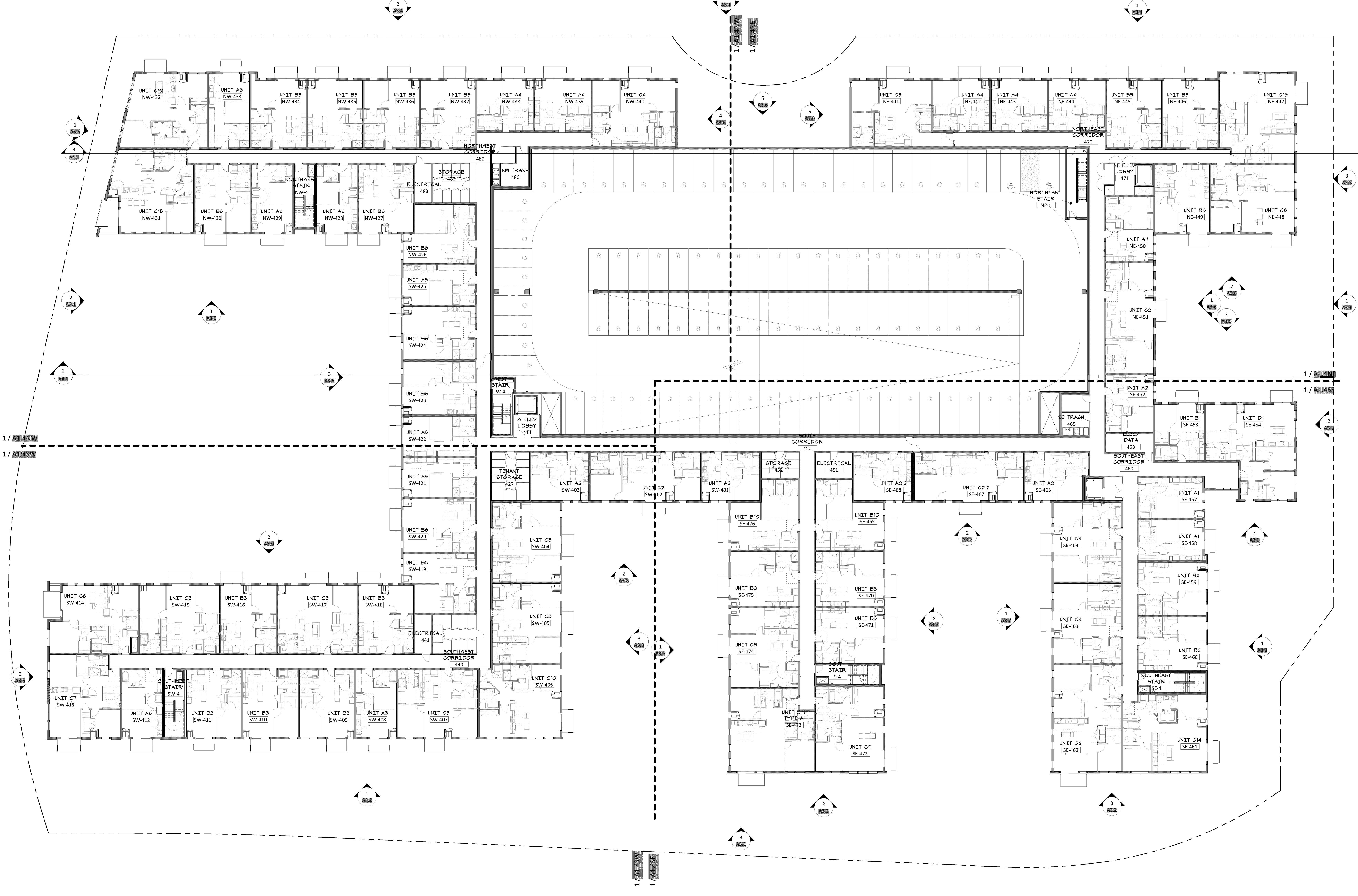
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LEVEL 4 PLAN - OVERALL
A1.4



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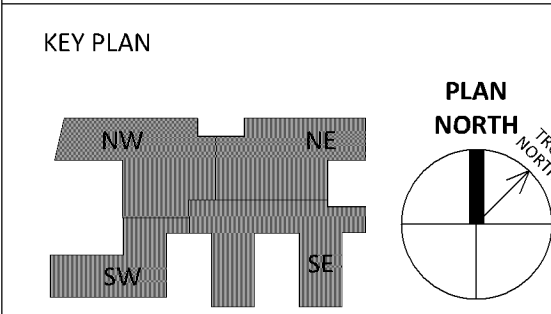
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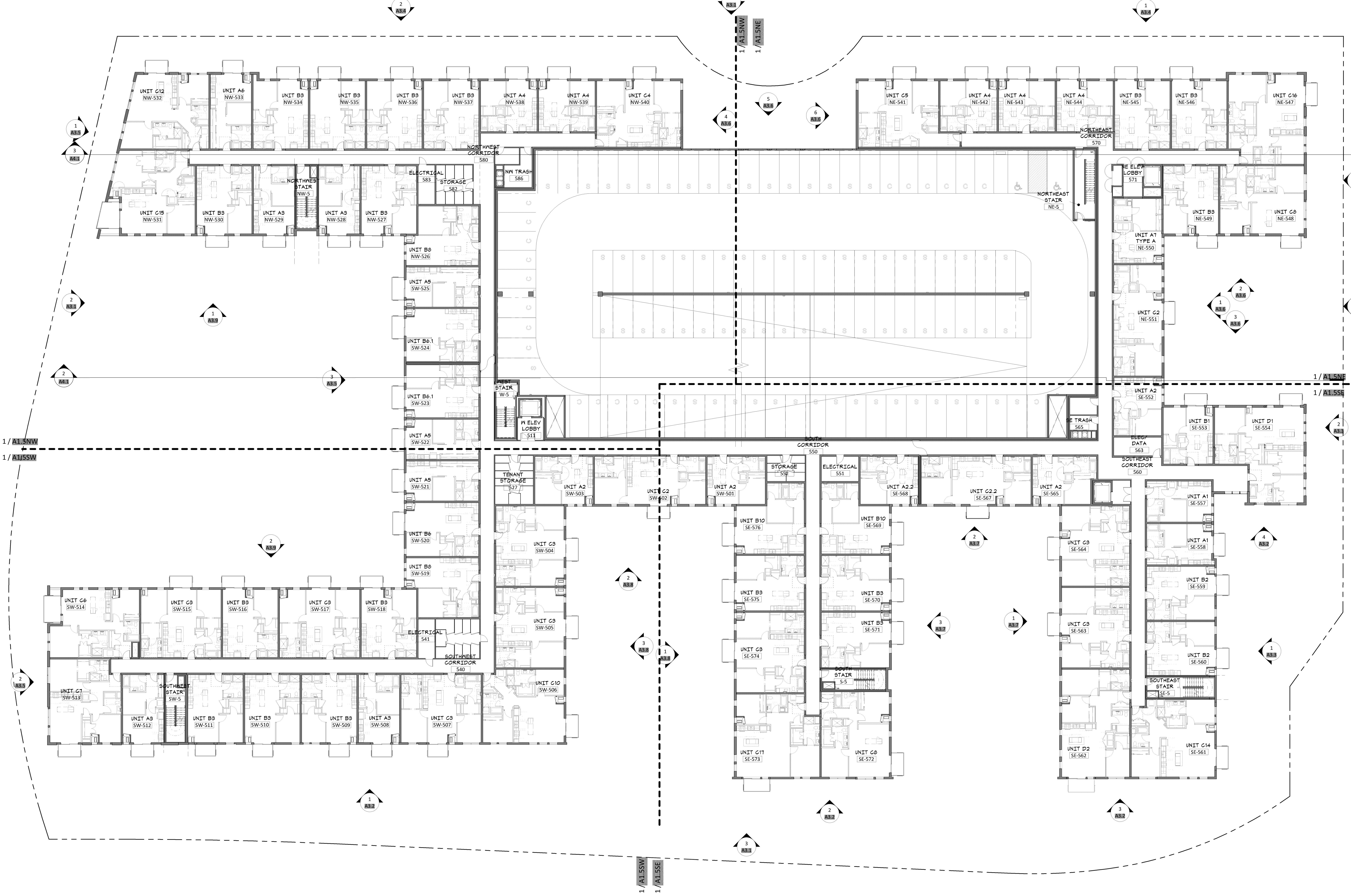
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LEVEL 5 PLAN - OVERALL

A1.5



1 LEVEL 5 PLAN - OVERALL
A1.5 1/16" = 1'-0"

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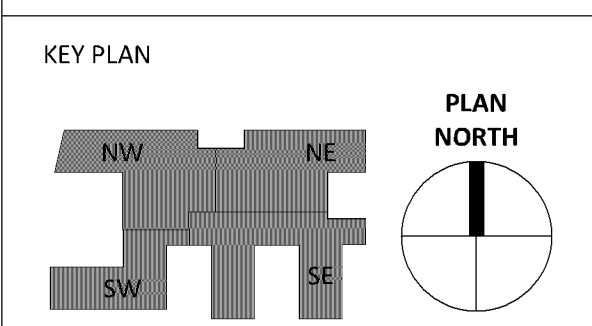
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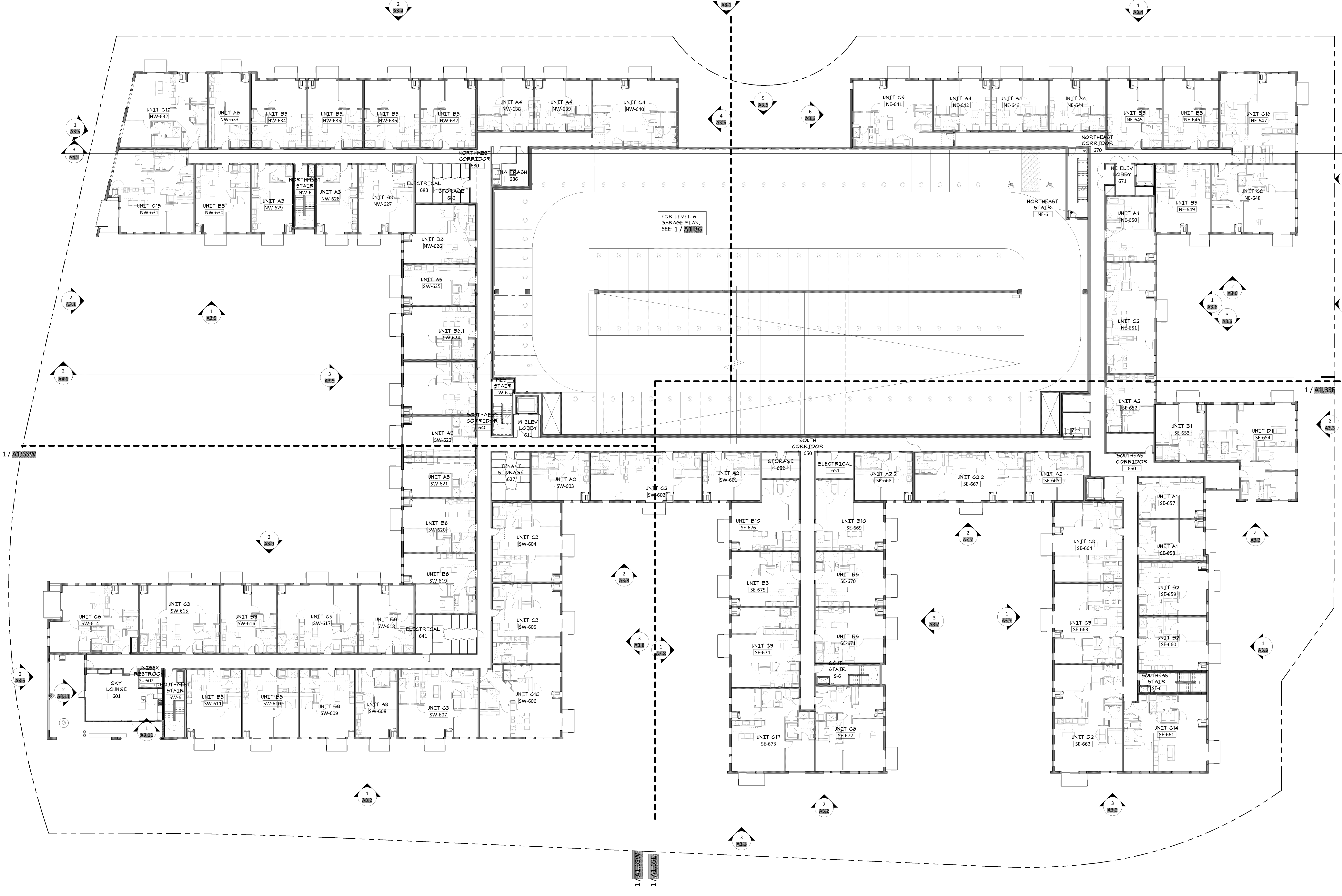
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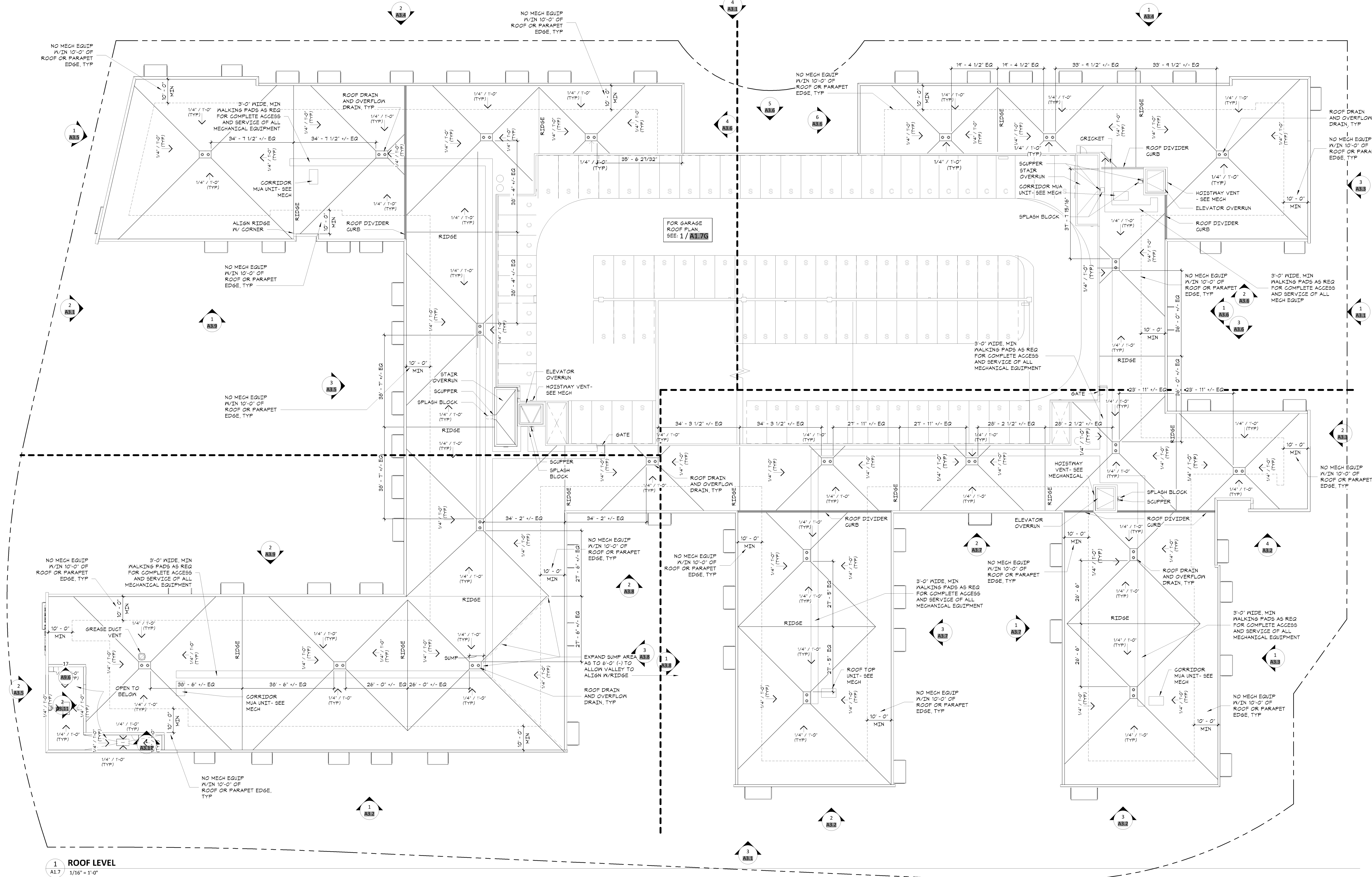
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LEVEL 6 PLAN - OVERALL
A1.6



1
A1.6
LEVEL 6 PLAN - OVERALL
1/16" = 1'-0"

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1 ROOF LEVEL
1/16" = 1'-0"

GENERAL NOTES - ROOF PLAN

1. ROOF IS BALLASTED EPDM - SEE ASSEMBLY DESCRIPTIONS ON SHEET A1.1
2. ROOF TO SLOPE 1/4" PER FOOT MIN, EXCEPT WHERE NOTED
3. PLUMBING PENETRATIONS NOT SHOWN. COORDINATE WITH MECHANICAL DOCUMENTS
4. PLUMBING PENETRATIONS TO BE GROUPED INTO SHEET METAL "DOG HOUSES"
5. MECHANICAL EXHAUST DUCTS FOR UNIT KITCHEN, BATH, & DRYER TO BE GROUPED INTO SHEET METAL "DOG HOUSES" ON TOP OF BUILT UP CURBS. DUCTS TO BE INSULATION WRAPPED PER CODE WITHIN ROOF FRAMING & SEALED. DOG HOUSE WALLS & COVER TO BE INSULATED AND INSIDE OF DOG HOUSE TO BE FULLY FILLED WITH FIBERGLASS INSULATION ABOVE ROOF SHEATHING.
6. PROVIDE R-30 AVERAGE INSULATION
7. PROVIDE CURBS FOR ROOFTOP MECHANICAL EQUIPMENT
8. PROVIDE CONTINUOUS REINFORCED WALKWAY BETWEEN ROOF ACCESS HATCH AND MECHANICAL EQUIPMENT. WALKWAY MUST BE GREATER THAN 10'-0" FROM ROOF EDGE TO AVOID NEEDING 42" TALL GUARDRAIL
9. ROOF DRAINS ARE SHOWN IN LOCATIONS THAT ALLOW THEM TO DRAIN STRAIGHT DOWN. PROVIDE EXPANSION CONNECTION AT LEVEL 6
10. ARROWS INDICATE DIRECTION OF SLOPE DOWN TOWARDS DRAIN
11. OVERFLOW DRAINS TO BE PIPED THROUGH BUILDING AND DAYLIGHT AT LAMBS TONGUE AT GRADE, UNLESS NOTED OTHERWISE
12. ALL EQUIPMENT LOCATED WITHIN 10'-0" OF ROOF EDGE REQUIRES A 42" TALL GUARDRAIL
13. PROVIDE WINDOW CLEANING FALL ARREST ANCHORS AS SPECIFIED AND REQUIRED PER 2015 MN BUILDING CODE SECTION 512

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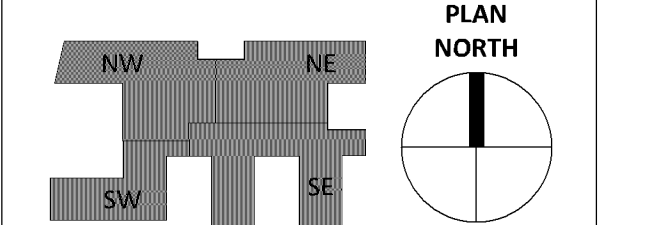
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ROOF PLAN

A1.7