

Must meet current MN S
Building Code

PL2018-343

9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

PROJECT

Provide a photometric plan that demonstrates the new parking area meets minimum lighting. 2.0 footcandles is required for the driveway and west stalls. 1.0 footcandles is required for the eastern stalls (perimeter stalls).

BUILDING ADDITION

LYNDALE OFFICE
BLOOMINGTON, MINNESOTA

ISSUED SET

REVISIONS

DATE NO.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION, AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE LAWS OF THE
STATE OF MINNESOTA

REG. NO. _____ DATE _____

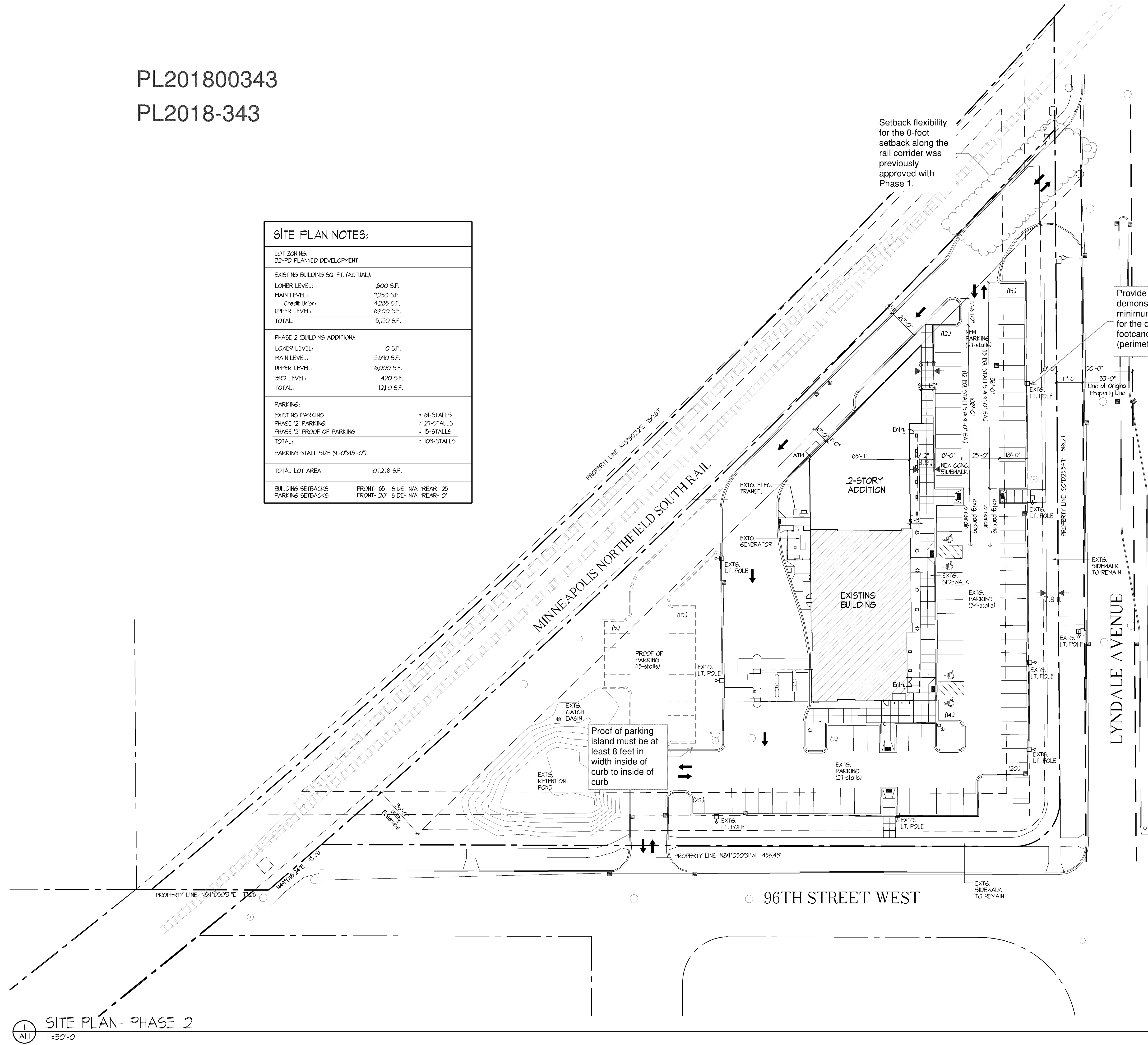
SITE PLAN

DRAWN BY: HLH.

CHECKED BY: RES.

A1.1

181102 SF-181102
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PL201800343
PL2018-343



www.htg-architects.com
Minneapolis Tampa Bismarck

9300 Hennepin Town Road
Minneapolis, MN 55347
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Fax: 952.278.8822

PROJECT

RBCU

BUILDING ADDITION

**LYNDALE OFFICE
BLOOMINGTON, MINNESOTA**

ISSUED SET
REVISIONS
DATE NO.

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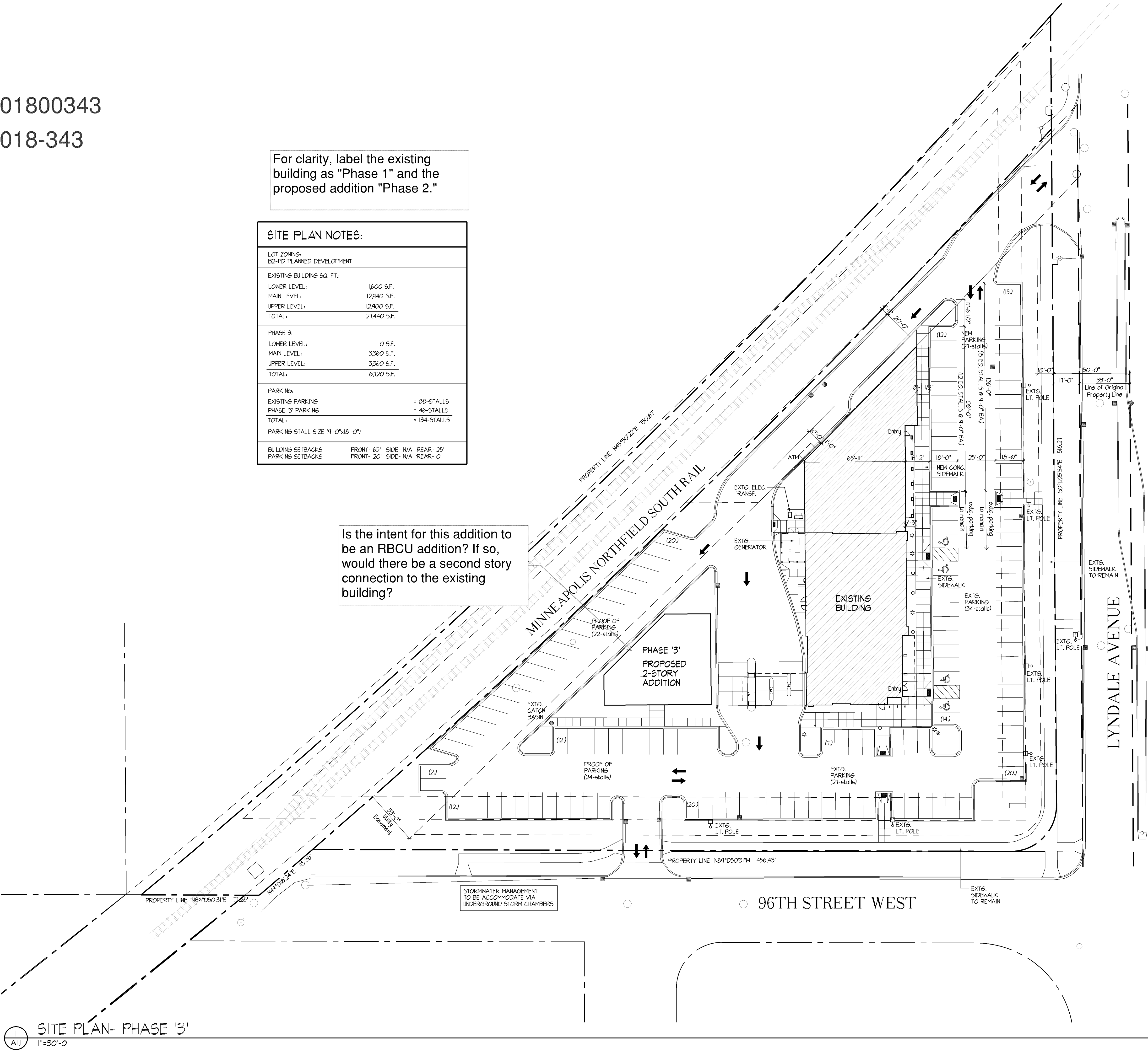
REG. NO. DATE

SITE PLAN

DRAWN BY: HLH. CHECKED BY: RES.

A1.1

181102 SH181102
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PROJECT

BUILDING ADDITION

LYNDALE OFFICE
BLOOMINGTON, MINNESOTA

[illegible]

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EXTERIOR ELEVATIONS

DRAWN BY: HLH. CHECKED BY: RES.

A3

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1
A3 EAST EXTERIOR ELEVATION
1/8"=1'-0"

All new free standing or wall signs will require sign permits.

Stone and glass are permitted exterior materials. The use of metal panels requires additional review. Please provide details on the proposed metal panels. What was selected for the W. Old Shakopee branch could be used here.



T.O. STONE
EL. = 128'-0"

SPLIT-FACE
STONE

 M.L. FINISH FLOOR
 EL. = 100'-0"
 T.O. BRICKLEDGE
 EL. = 99'-4"
 SEE STRUCT.
 T.O. FOOTING
 EL. = 96'-0"
 SEE STRUCT.

2 NORTH EXTERIOR ELEVATION
A3 1/8"=1'-0"

TO STONE		
----------	--	--

T.O. STONE
EL.= 128'-0"

SPLIT-FACE-
STONE

M.L. FIN. FLR
EL. = 100'-0"

T.O. FOOTING
EL.= 96'-0"
SEE STRUCT.

3
A3 WEST EXTERIOR ELEVATION
1/8" = 1'-0"

← NEW ADDITION | EXISTING BUILDING →

INFILL EXTG. —
DOOR OPNG. w/
STONE TO MATCH
EXTG.

[Downloaded from www.jco.org by guest on July 7, 2016](#)

1
A2.2

1/8"=1'-0"

MAIN LEVEL PLAN

[illegible]

1. THRESHOLD.
2. WEATHER STRIPPING.
3. CLOSER.
4. AUTOMATIC H.C.P. DOOR OPENER.
5. ELECTRIC LOCK (BY G.C.) & CARD READER/FOB. (DEVICE BY OTHERS).
6. COAT HOOK.
7. GATE TO HAVE SPRING-LOADED HINGE.
8. GATE TO HAVE CASTER AT NON-HINGE END OF GLASS PANEL..

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RBCU

LYNDALE OFFICE
BLOOMINGTON, MINNESOTA

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STATE OF MINNESOTA

REG. NO. _____ DATE _____

⑦ 55pm MAIN LEVEL PLAN

③ DRAWN BY: HLH. CHECKED BY: RES

A2.2

<u>DECIDUOUS TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>
	GS	1	SKYLINE HONEY LOCUST GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B	2 - 1/2" CAL.
<u>ORNAMENTAL TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>
	AG	2	'AUTUMN BRILLIANCE' SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B	2 - 1/2" CAL.
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>
	RG	12	GRO-LOW FRAGRANT SUMAC RHUS AROMATICA 'GRO-LOW'	CONT.	5 GAL.
	SM	11	MISS KIM LILAC SYRINGA PATULA 'MISS KIM'	CONT.	5 GAL.
	TT	12	TAUTON YEW TAXUS X MEDIA 'TAUNTONII'	CONT.	5 GAL.
<u>PERENNIALS</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT</u>	<u>SIZE</u>
	CK	11	FEATHER REED GRASS CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	CONT.	1 GAL.
	HO	49	STELLA DE ORO DAYLILY HEMEROCALLIS X 'STELLA DE ORO'	CONT.	1 GAL.

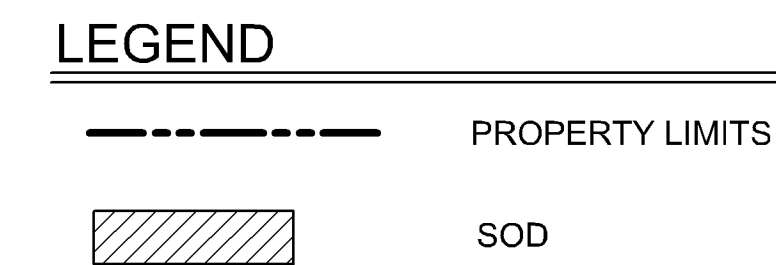
PLANTING SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON NAME	CONT.	SIZE
	GS	1	SKYLINE HONEY LOCUST GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B	2 - 1/2" CAL.
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	CONT.	SIZE
	AG	2	'AUTUMN BRILLIANCE' SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B	2 - 1/2" CAL.
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PERENNIALS	CODE	QTY	COMMON NAME	CONT.	SIZE
	CK	11	FEATHER REED GRASS CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER'	CONT.	1 GAL.
	HO	49	STELLA DE ORO DAYLILY HEMEROCALLIS X 'STELLA DE ORO'	CONT.	1 GAL.

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PL2018-343

The main landscape plan illustrates the site layout for the proposed building expansion. The existing building footprint is shown with FFE = 826.2 and BFE = 816.0. The proposed building expansion has an FFE = 826.2. The plan includes a parking lot screening area along Lyndale Avenue, which must be retained or replanted. Various plantings are indicated by symbols corresponding to the planting schedule, with labels such as "Skyline Honey Locust 1", "Stella de Oro Daylily 49", "Autumn Brilliance Serviceberry 1", "Gro-Low Fragrant Sumac 12", "Tauton Yew 12", "Feather Reed Grass 11", "Miss Kim Lilac 11", and "3\"

LANDSCAPE PLAN



NOTES

- ## LANDSCAPE CODE REQUIREMENTS

- Incorporate proposed landscaping with the phase 1 landscaping plan. The entire site must meet City landscaping requirements.



PROJECT

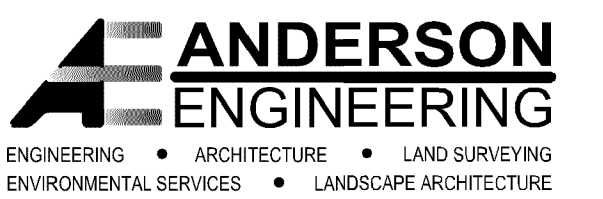
MAIN OFFICE ADDITION

[illegible]

NOT FOR CONSTRUCTION

JOE LUCHT, PLA

52858 10.05.2018
REG. NO. DATE



13605 1st Avenue North, Suite 100
Plymouth, MN 55441
Tel: 763-412-4000 Fax: 763-412-4090
www.ae-mn.com

LANDSCAPE PLAN

DRAWN BY: JF CHECKED BY: JL

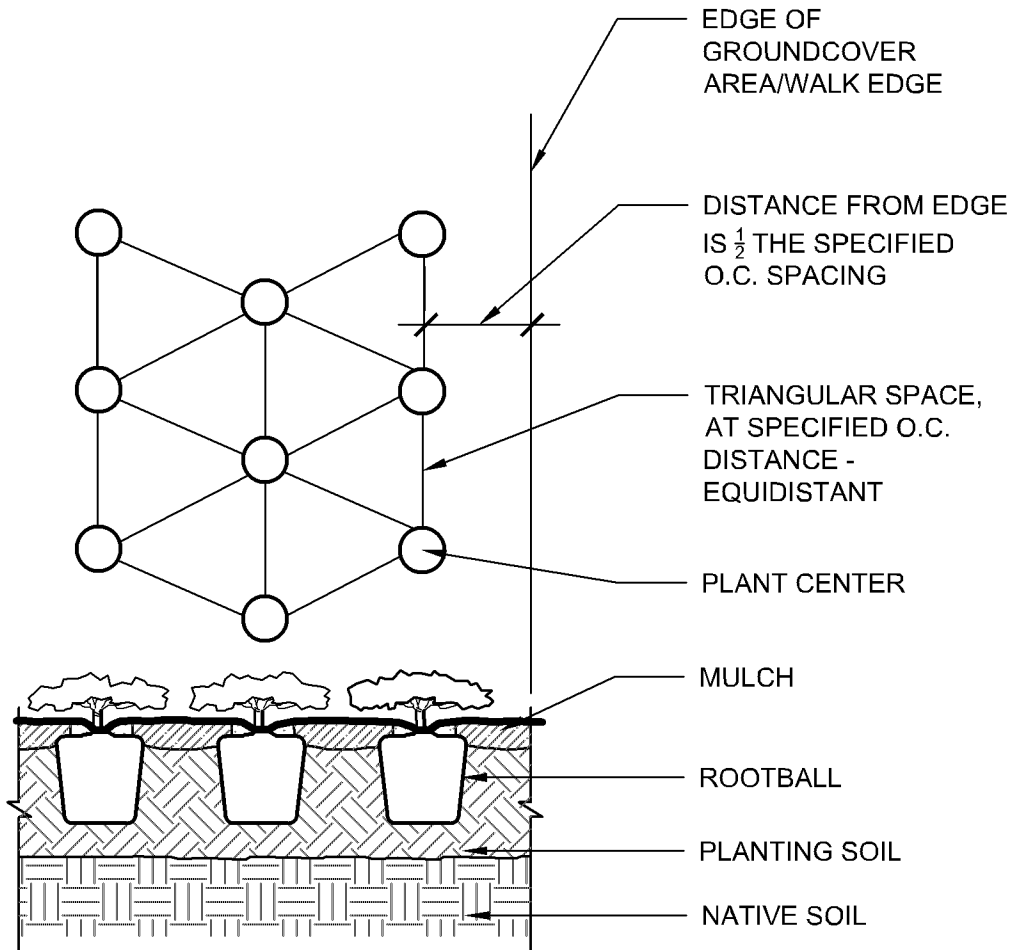
L1

GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN IMMEDIATE AREA.
- IT IS THE RESPONSIBILITY OF THE OWNER & CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED, BY THE OWNER.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT SCHEDULE, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF 6 MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSEYMEN.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR. DECIDUOUS TREES WILL BE GUARANTEED FOR TWO CALENDAR YEARS FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND SHALL BE APPROVED BY OWNERS REPRESENTATIVE BEFORE THEY ARE INSTALLED.
- CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNERS REPRESENTATIVE APPROVAL.
- LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO HEAVY, LIGHT TO LIGHT, HEAVY TO LIGHT SOILS).
- LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE OWNER WITH MAINTENANCE INFORMATION DURING GUARANTEE PERIOD RELATING TO WATERING, FEEDING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY OWNERS REPRESENTATIVE.
- BREATHABLE SYNTHETIC FABRIC TREE WRAP: WHITE IN COLOR, IN 3 INCH WIDE ROLLS. MATERIAL SHALL BE SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREE WRAP SHALL BE SECURED TO THE TRUNK USING BIO-DEGRADABLE TAPE SUITABLE FOR NURSERY USE AND WHICH IS EXPECTED TO DEGRADE IN SUNLIGHT IN LESS THAN 2 YEARS AFTER INSTALLATION. WRAP ALL TREES, EXCEPT HACKBERRY TREE SHALL BE PROTECTED PRIOR TO 12/1.
- POLY EDGER UNLESS SPECIFIED OTHERWISE, SHALL BE BLACK VINYL STYLE EDGER.
- LANDSCAPE FABRIC (FILTER MAT) TO HAVE A COMBINED WEIGHT OF 4.5-5.5 OZ. PER S.Y. FABRIC SHOULD BE U.V. STABILIZED AND HAVE A FIVE YEAR MINIMUM WEATHERABILITY FACTOR IN FULL SUNLIGHT. FABRIC TO BE PHILLIPS DUON R OR EQUIVALENT. SAMPLE REQUIRED FOR APPROVAL.
- ALL PLANTING AREAS SPECIFIED SHALL RECEIVE 3" DEPTH 1" TO 1-1/2" GRAY TRAP ROCK SHALL BE INSTALLED OVER LANDSCAPED FABRIC AS INDICATED ON THE PANS & DETAILS.
- ALL TREES PLANTED INDEPENDENTLY OF SPECIFIED BEDS SHALL RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITHOUT FABRIC.
- DECIDUOUS SHRUBS SHALL HAVE MINIMUM OF FIVE (5) CANES AT SPECIFIED HEIGHT NOTED IN PLANT SCHEDULE.
- ALL PERENNIAL BEDS TO RECEIVE ROCK MULCH SHALL HAVE LANDSCAPE FABRIC INSTALLED WITH HOLES FOR PLANTS CUT 2.5 TIMES THE DIAMETER OF THE CONTAINER.
- IF THE CONTRACTOR FEELS AN ERROR HAS BEEN MADE REGARDING SPACING OR HARDINESS OF A SPECIES OF PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. CONTRACTOR SHALL AVOID INSTALLING ANY PLANT MATERIAL IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTEE PERIOD OR AS DIRECTED BY THE OWNER.
- THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.
- THE CONTRACTOR SHALL MEET WITH THE OWNER ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE WARRANTEE PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.

NOTE:
- KEEP MULCH APPX. 2" OFF PLANT TRUNK OR STEM
- SEE PLANT SCHEDULE FOR EACH PLANT'S APPROPRIATE O.C. SPACING

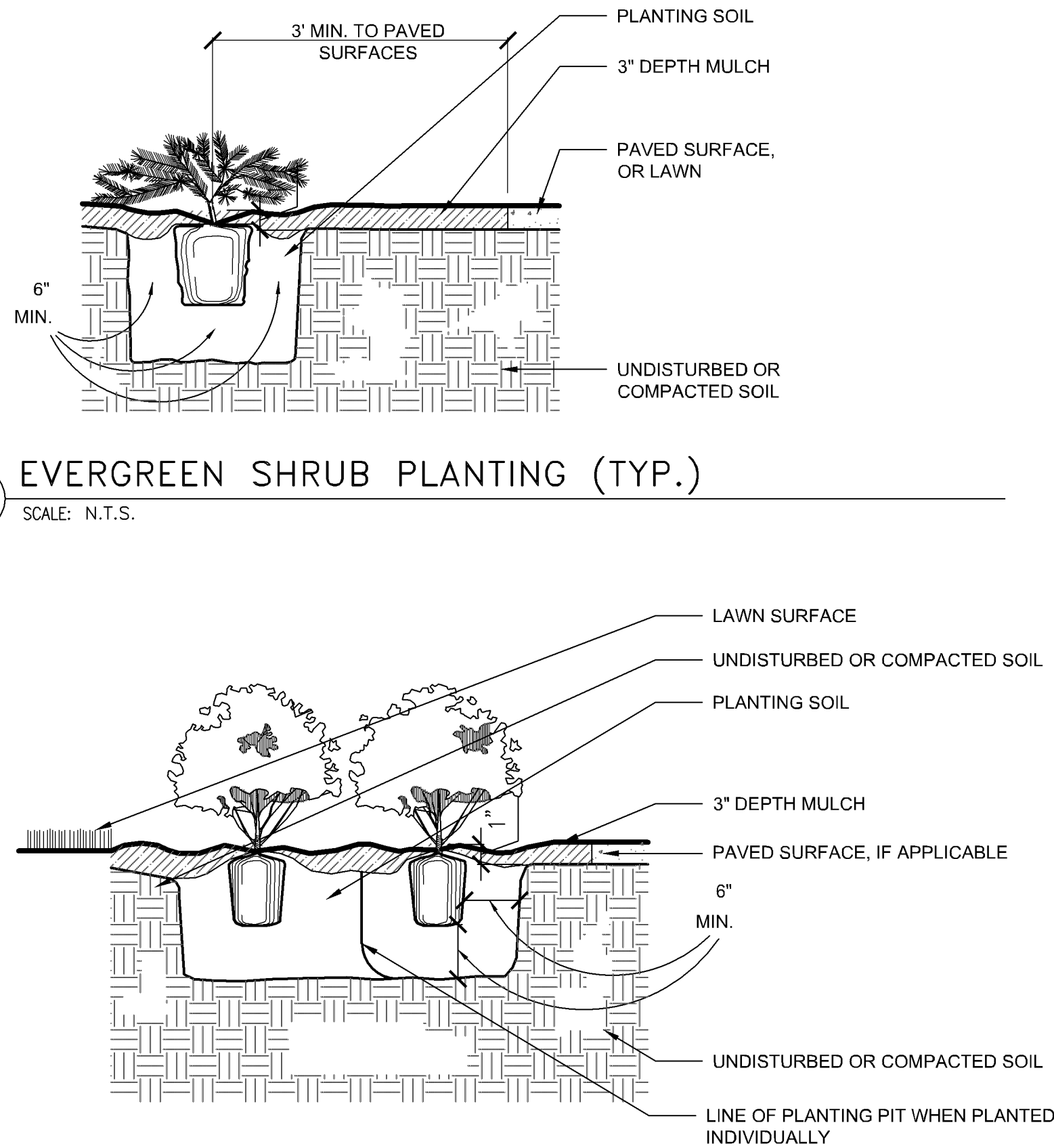
1 SHRUB BED SPACING (TYP.)
SCALE: N.T.S.



IRRIGATION NOTES:

- PRIOR TO CONSTRUCTION, VERIFY WITH THE GENERAL CONTRACTOR AND ALL LOCAL UTILITY COMPANIES TO LOCATE EXACT LOCATIONS OF UNDERGROUND UTILITIES.
- THE IRRIGATION SHALL BE DESIGN/BUILD SYSTEM BY THE CONTRACTOR. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN IRRIGATION LAYOUT PLAN AND SPECIFICATIONS AS PART OF THE SCOPE OF WORK WHEN BIDDING. THESE SHALL BE APPROVED BY THE OWNER PRIOR TO ORDER AND/OR INSTALLATION.
- VALVE AND CIRCUITS SHALL BE SEPARATED BASED ON WATER USE, SO THAT TURF AREAS ARE WATERED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IRRIGATION HEADS IN TURF AREAS SHALL BE VALVED SEPARATELY FROM SHRUB AND GROUND COVER AREAS. IT IS RECOMMENDED THAT FULL SUN AND SHADY AREAS TO BE VALVED SEPARATELY AS WELL AS HIGH RUN-OFF AND LOW RUN-OFF AREAS TO BE VALVED SEPARATELY.
- CONFIRM LIMITS OF IRRIGATION, EXISTING AND FUTURE HARDSCAPE AND BUILDING LOCATIONS PRIOR TO THE DESIGN OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL VERIFY WATER SOURCE LOCATION AND PRESSURE AND SUPPLY A SYSTEM THAT PROVIDES FULL AND COMPLETE COVERAGE TO ALL AREAS TO BE IRRIGATED.
- SYSTEM SHOULD BE DESIGNED TO COMPLETE WATER SCHEDULES WITHIN 12-HOURS MAXIMUM.
- RAIN SENSORS AND OTHER WATER SAVING TECHNOLOGIES SHALL BE INCLUDED WITHIN THE IRRIGATION DESIGN.
- PROVIDE THE OWNER WITH AN OPERATING SCHEDULE THAT WORKS WITH THE APPROVED LAYOUT PLAN AND IDENTIFY ANY FIELD ADJUSTMENTS PRIOR TO PROJECT COMPLETION.
- AVOID OVER-SPRAY ONTO ROADS, SIDEWALKS, SIGNS AND PARKING AREAS. SPRINKLER ARCS SHALL BE DETERMINED ON SITE BY THE IRRIGATION INSTALLER TO PROVIDE THE MAXIMUM COVERAGE POSSIBLE. CAREFULLY ADJUST THE ARCS AND RADIUS OF EACH SPRINKLER TO PROVIDE HEAD-TO-HEAD COVERAGE.
- WITHIN EXTREME SLOPED AREAS:
 - INSTALL STATIONS SEPARATELY FOR TOP AND BOTTOM OF SLOPED AREAS
 - INSTALL LATERAL PIPES PARALLEL TO SLOPE
 - IF SLOPE IS TOO EXTREME FOR MACHINERY, INSTALL LATERAL PIPES SAFELY AND TEE-FEED INDIVIDUAL SPRINKLERS VIA DOWNHILL PIPING PERPENDICULAR TO FEED LINE
- LOCATE VALVE BOXES AWAY FROM ROAD/CURB SO THEY ARE LESS VISUAL WHERE APPLICABLE.
- DO NOT TRENCH THROUGH THE ROOT BALLS OF NEW PLANTINGS.
- MAINLINE PIPING BENEATH TRAFFIC AREAS SHALL BE INSTALLED WITH A MINIMUM EARTH COVER OF 30-INCHES FROM BOTTOM OF ROAD SUB-GRADE AND CONTAIN SLEEVES NOT LESS THAN TWO NOMINAL DIMENSIONS GREATER THAT THE PIPE PASSING THROUGH.
- IRRIGATION INSTALLER SHALL FURNISH AND INSTALL SLEEVE MATERIAL UNDER ALL ROADWAYS, WALKS AND DRIVEWAYS WHERE NECESSARY.
- TOP OF MAINLINES SHALL BE AT LEAST 30-INCHES BELOW GRADE IN TURF AREAS.
- TOP OF LATERAL LINES SHALL BE AT LEAST 18-INCHES BELOW GRADE.
- MAINLINE PRESSURE PIPE FITTINGS 3-INCHES AND LARGER SHALL BE PUSH ON GASKET JOINED AND SHALL HAVE MECHANICAL JOINT RESTRAINTS. MAINLINE PRESSURE PIPE FITTINGS 2.5-INCHES AND SMALLER SHALL BE GLUED AND SHALL HAVE CONCRETE THRUST BLOCKS AT FITTINGS THAT COMPRISE CHANGE IN DIRECTION.
- OTHERS SHALL FURNISH, INSTALL AND BRING 24-INCHES ABOVE GRADE A MUNICIPAL POTABLE STUB FOR IRRIGATION, COORDINATE WITH GENERAL CONTRACTOR.
- INSTALLER IS RESPONSIBLE FOR FURNISHING AND INSTALLING THE BACKFLOW PREVENTOR, WATER METER AND BOOSTER PUMP, IF APPLICABLE.
- IRRIGATION CONTROL WIRE SHALL BE DIGITAL TWO-WIRE, UL LISTED FOR DIRECT BURIAL.
- CONNECT ALL ELECTRICAL WIRING IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES INCLUDING:
 - ALL LOW VOLTAGE IRRIGATION CONTROL WIRE SHALL BE INSTALLED WITH THE MAINLINE PIPE WHERE POSSIBLE
 - DO NOT LOOP THE LOW VOLTAGE IRRIGATION CONTROL WIRE PATH.
 - SNAKE WIRE AT BOTTOM OF TRENCH BENEATH MAINLINE.
 - PROVIDE 18-INCH OF SLACK CONTROL WIRE AT ALL CHANGES IN DIRECTION.
 - PROVIDE 24-INCH OF SLACK CONTROL WIRE AT EACH REMOTE CONTROL VALVE COILED INSIDE VALVE BOX.
 - ALL WIRE SPLICES SHALL BE WATERTIGHT CONNECTORS AND CONTAINED IN VALVE BOX.
 - ALL WIRING BENEATH HARDSCAPES SHALL BE CONTAINED IN SLEEVEING, SEPARATE FROM PIPING. ELECTRICAL SLEEVES ARE TO BE SIZED APPROPRIATELY FOR EASE OF WIRE INSTALLATION AND REPAIR.
 - ALL WIRING SHALL BE IDENTIFIED AT EACH END TO PROVIDE INDICATION AS TO WHICH LOCATION THE WIRE IS CONNECTED.
 - GROUNDING PER MANUFACTURER'S RECOMMENDATION OR LOCAL ELECTRICAL CODE.
- SCHEDULE AND PROGRAM CONTROLLER AND VALVES FOR APPROPRIATE LANDSCAPE WATER REQUIREMENTS.

2 EVERGREEN SHRUB PLANTING (TYP.)
SCALE: N.T.S.

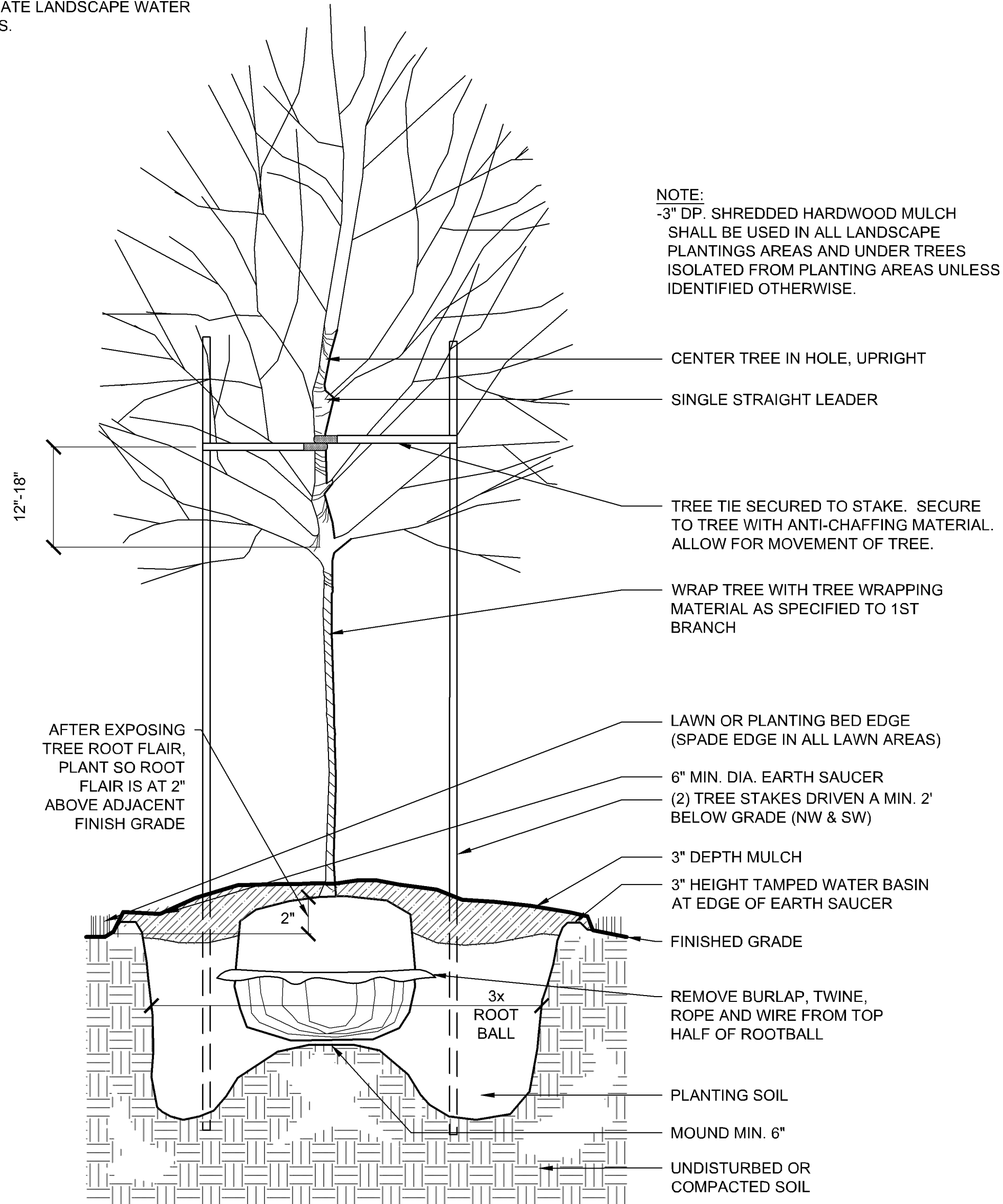


3 DECIDUOUS SHRUB PLANTING (TYP.)
SCALE: N.T.S.

GENERAL SODDING, SEEDING TOPSOIL NOTES:

- SOD SHALL BE HIGHLAND SOD, 30" X 100' ROLLS PREFERRED WHERE APPLICABLE. TO BE LAID PARALLEL TO THE CONTOURS AND HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR DRAINAGE SWALES, THE SOD SHALL BE STAKED INTO THE GROUND. SCARIFY THE EXISTING GRADES WITH FIELD CULTIVATOR TO A MIN. DEPTH OF 12" PRIOR TO PLACING OF TOPSOIL AND FINISH GRADING FOR SOD. IMMEDIATELY PRIOR TO PLACING SOD, CONTRACTOR SHALL APPLY 10-6-4 FERTILIZER AT THE RATE OF 10 POUNDS PER 1000 SQ. FT.
- PLANTING SOIL REQUIRED: MIXTURE TO INCLUDE 45% TOPSOIL, 45% PEAT OR MANURE AND 10% SAND. ALL TREE, SHRUB AND PERENNIAL PLANTINGS SHALL RECEIVE 8" DEPTH OF PLANTING SOIL MIXTURE. ALL SODDED AREAS TO RECEIVE 4" DEPTH OF PLANTING SOIL MIXTURE. ALL SEEDED AREAS TO RECEIVE 2" DEPTH OF PLANTING SOIL MIXTURE.

PL201800343
PL2018-343



4 DECIDUOUS TREE PLANTING (TYP.)
SCALE: N.T.S.



www.htg-architects.com
Minneapolis Phoenix Tampa Bismarck

9300 Hennepin Town Road
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Fax: 952.278.8822

PROJECT

RICHFIELD BLOOMINGTON
CREDIT UNION

MAIN OFFICE ADDITION

9550 LYNDALE AVE S
BLOOMINGTON, MN 55420

ISSUED SET	
REVISIONS	
DATE	NO.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

JOE LUCHT, PLA

52858 10.05.2018
REG. NO. DATE

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ENVIRONMENTAL SERVICES • LANDSCAPE ARCHITECTURE

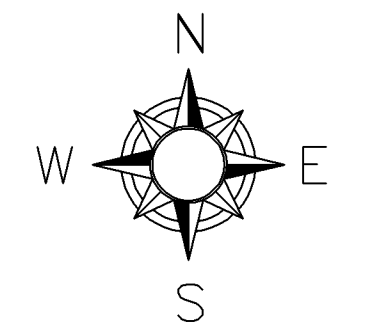
13605 1st Avenue North, Suite 100
Plymouth, MN 55441
Tel: 763-412-4000 Fax: 763-412-4090
www.ae-mn.com

LANDSCAPE DETAILS

DRAWN BY: JF CHECKED BY: JL

LEGEND

- CATCH BASIN
- CLEAN OUT
- CULVERT
- ELECTRIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- GAS METER
- GUARD POST
- HANDICAP PARKING
- HANDHOLE ELECTRIC
- HYDRANT
- LIGHT POLE
- SANITARY MANHOLE
- SEMAPHORE
- SIGN
- STORM MANHOLE
- DECIDUOUS TREE
- FENCE
- GAS MAIN
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELECTRIC
- WATER MAIN
- FOUND IRON MONUMENT
- SET IRON PIPE WITH P.L.S. NO. 20281
- CONCRETE SURFACE
- BITUMINOUS SURFACE
- GRAVEL SURFACE



0 30 60
SCALE IN FEET

PL201800343
PL2018-343

SURVEY FOR: **HTG ARCHITECTS**

PROPERTY ADDRESS: 9550 Lyndale Avenue South, Bloomington, Minnesota.

LEGAL DESCRIPTION:

Lot 1, Block 1, RBCU ADDITION, Hennepin County, Minnesota.

CERTIFICATION:

I hereby certify that this map was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: May 7, 2018

Anderson Engineering of Minnesota, LLC

by: Jack Bolke
Minnesota License No. 20281

NOTES:

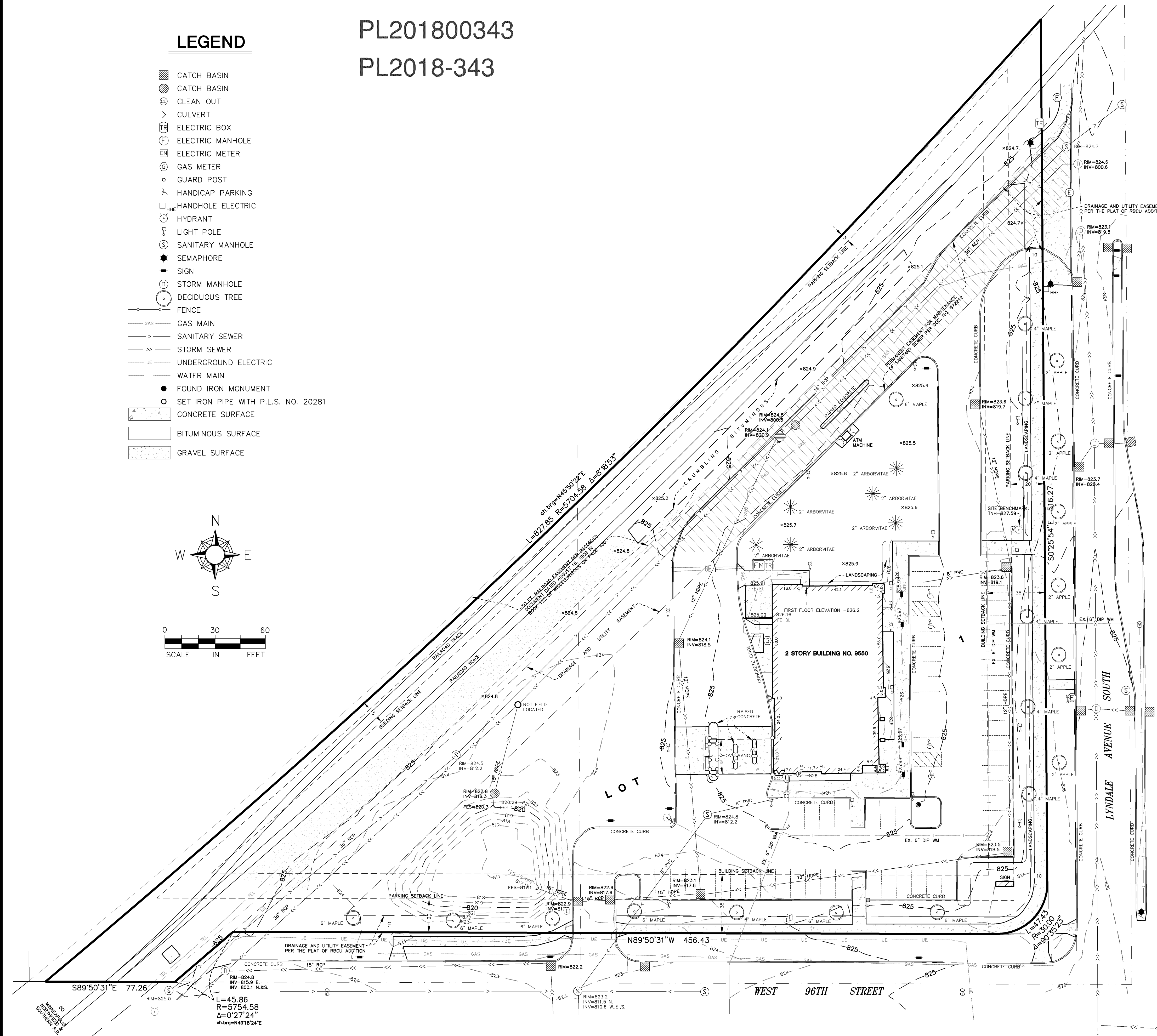
- The horizontal datum and bearings are based on the Hennepin County Coordinate System NAD83(2011).
- The vertical datum is NAVD 88. The site benchmark is the top nut hydrant located on the east side of the site and depicted hereon. Elevation = 827.59 feet.
- The area of the property described hereon is 149,074 square feet or 3.4222 acres.
- The location and extent of underground utilities, if shown, are based upon above ground evidence. There is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with Minnesota Statute, the location of utilities shall be confirmed prior to any demolition or construction.
- The tree information shown hereon was collected during the field survey by non-forestry trained Anderson Engineering of Minnesota survey personnel. Tree sizes are estimates and locations are accurate to plus or minus three feet.
- No title work was provided for the preparation of this survey to verify the legal description or the existence of any easements or encumbrances. Other easements may affect the property.
- According to the City of Bloomington, the subject property is zoned B-2 PD (Planned Development) and has the building setback requirements listed below. It is recommended that the property owner obtain a zoning letter from the City to verify all conditions that affect the property through the city zoning ordinance. This survey does not purport to describe all conditions contained in said ordinance.

BUILDING SETBACKS

Front = 35 feet from the public right-of-way
Side = 35 feet from the public right-of-way
Rear = 15 feet

PARKING SETBACKS

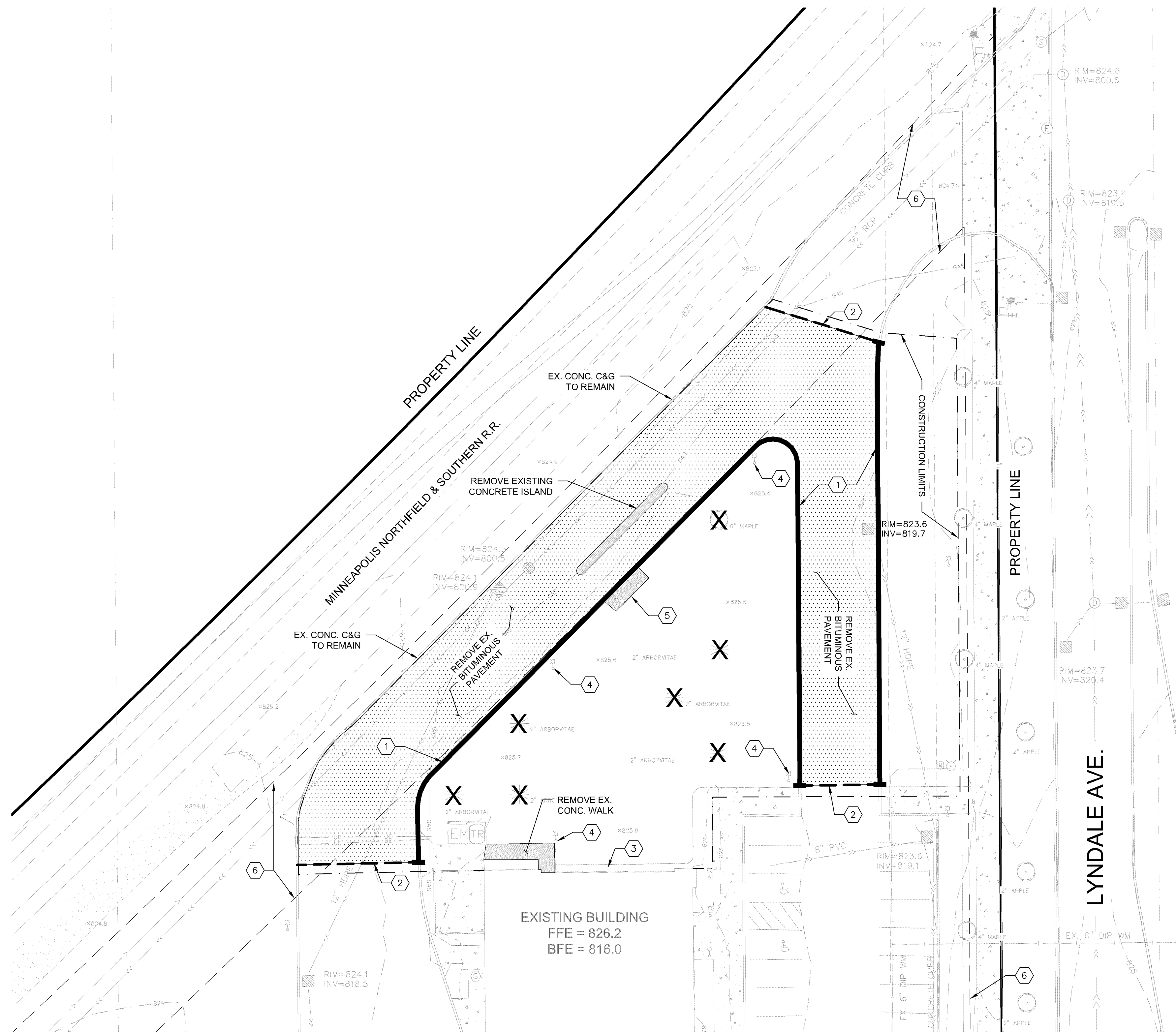
Front = 20 feet from the public right-of-way
Side = 20 feet from the public right-of-way
Rear = 5 feet



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Plymouth, MN 55441
763-412-4000 (o) 763-412-4090 (f)
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PL2018-343



LEGEND

	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	EXISTING WATERMAIN
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING FENCE
	EXISTING GAS MAIN
	EXISTING OVERHEAD WIRES
	EXISTING TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING HYDRANT AND GV
	EXISTING SANITARY MANHOLE
	EXISTING STORM SEWER INLET
	REMOVE EXISTING UTILITY LINE
	REMOVE EXISTING ASPHALT PAVEMENT
	REMOVE EXISTING CONCRETE PAVEMENT
	REMOVE EXISTING CONCRETE C&G
	REMOVE TREE

CONTRACTOR NOTES

1. UTILITIES SHOWN HEREON IS FOR INFORMATIONAL USE ONLY AND IS NOT GUARANTEED IN ITS ACCURACY. VERIFY ALL TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK. NOTIFY PROJECT MANAGER OF ANY/ALL DISCREPANCIES IMMEDIATELY.
2. CONTRACTOR SHALL HIRE PRIVATE UTILITY LOCATOR AS NECESSARY TO VERIFY UNDERGROUND UTILITIES. UTILITIES SHOWN ON PLANS MAY VARY FROM EXISTING CONDITIONS, AND CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITY LINES SHOWN, NOT SHOWN, OR SHOWN INCORRECTLY.
3. ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING, IS NOT ALLOWED PER CITY RULES.

KEY NOTES

- 1 REMOVE EXISTING CONCRETE CURB & GUTTER
- 2 SAWCUT AS NECESSARY TO MAINTAIN STRAIGHT LINE PERPENDICULAR TO TRAFFIC FLOW
- 3 REMOVE ALL LANDSCAPE AND PLANTINGS NORTH OF EXISTING BUILDING
- 4 REMOVE AND RELOCATE LIGHTING FIXTURES PER ELECTRICAL PLAN
- 5 REMOVE ATM MACHINE, BOLLARDS, AND CONCRETE PVMT
- 6 DRAINAGE & UTILITY EASEMENT

The logo for HTG architects, featuring the letters 'HTG' in a large, bold, sans-serif font, with the word 'architects' in a smaller, lowercase, sans-serif font below it. A thick, black, curved line sweeps under the text from the left, passing under 'HTG' and ending under 'architects'.

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9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

PROJECT

***RICHFIELD BLOOMINGTON
CREDIT UNION***

MAIN OFFICE ADDITION

9550 LYNDALE AVE S
BLOOMINGTON, MN 55420

ISSUED SET _____
 REVISIONS _____
 DATE NO.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

GARY R. JOHNSON, P.E.

42010 10.16.2018
REG. NO. DATE



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DEMOLITION
PLAN

DRAWN BY: BJB CHECKED BY: GRJ

C1



1. GRADING CONTRACTORS SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES CALLED FOR ON THESE PLANS AND SPECIFICATIONS, WHICH MAY INCLUDE Silt Fence, SEDIMENTATION BASINS OR TEMPORARY SEDIMENT TRAPS, SHALL BE CONSTRUCTED AND SERVICEABLE IN THE FOLLOWING ORDER:
 - A. ROCK CONSTRUCTION ESTABLISHING A MINIMUM OF 15 FEET
 - B. Silt FENCE
 - C. TEMPORARY CURBENTS
 - D. TEMPORARY SEDIMENTATION BASINS AND OUTLET FACILITIES
 - E. SEMI-PERMANENT FENCE CONSTRUCTION
 - F. COMMON EROSION AND EMBANKMENT (GRADING)
 - G. SEED AND MULCH OR ERO
 - H. BIO-EROSION ENGINEERING IN FINISHED GRADED AREAS
 - I. INLET AND OUTLET FACILITIES SUBSEQUENT TO STORM SEWER WORK
3. GRADING CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THIS PLAN AND NPDES PHASE II PERMITTING REQUIREMENTS AS WELL AS EROSION CONTROL MEASURES AS MAY BE SHOWN ON THESE PLANS OR SPECIFICATIONS. GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES AS LONG AS THEY ARE REQUIRED TO PROTECT ADJACENT PROPERTY.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR DURING GRADING OPERATIONS. ANY TEMPORARY FACILITIES WHICH ARE TO BE REMOVED AS CALLED FOR ON THESE PLANS AND SPECIFICATIONS SHALL BE REMOVED BY THE GRADING CONTRACTOR WHEN DIRECTED BY THE ENGINEER. THE GRADING CONTRACTOR SHALL RESTORE THE SUBSEQUENTLY DISTURBED AREA IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
5. THE GRADING CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER SO THAT CERTIFICATION OF ALL CONTROLLED FILLS WILL BE FURNISHED TO THE COUNCIL DURING AND UPON COMPLETION OF THE PROJECT.
6. ALL DISTURBED AREAS, EXCEPT AREAS TO BE REPAIRED AND/OR SPECIFICALLY DESIGNED BY A LANDSCAPE PLAN, SHALL BE COVERED WITH A MINIMUM 1" OF TOP SOIL OR AS INDICATED IN SPECIFICATIONS OR LANDSCAPE PLAN. ALL DISTURBED AREAS SHALL BE SEEDS A MULCH AT THE PRESCRIBED RATES WITH 72 HOURS OF FINAL GRADING UNLESS OTHERWISE NOTED.

SEED/MULCH	M/NOT	NO 25-11	50# / ACRE
FERTILIZER	TYPE 1	210# / ACRE	20#K (ANCHORED)
	TYPE 2	12-14-11	35#K / ACRE

7. ALL EXPOSED SOILS SHALL HAVE A CONTINUOUS PROPOSED SLOPE WITHIN 200 LINEAL FEET OF ANY SURFACE WATER. THERE MUST TEMPORARY EROSION PROTECTION OR PERMANENT COVER FOR THE EXPOSED SOIL AREA. REED, ACCORDING TO THE FOLLOWING TABLE OF SLOPES AND THE FRAMES:

TYPE OF SLOPE	RATE
STEEPER THAN 3:1	1 DAY
10:1 TO 3:1	4 DAYS
FLATTER THAN 10:1	21 DAYS

 (NOTE: Maximum time an area can remain open where the area is not actively being worked)
7. THE EXISTING TOPOGRAPHY AND CONTROL ELEVATIONS SHOWN ON THE PLANS WERE TAKEN FROM A PLAN FURNISHED BY OWNER.
8. CONTRACTORS GRADING AND EROSION CONTROL OPERATIONS SHALL TAKE PLACE WITHIN THE CONSTRUCTION LIMITS.
9. IT IS REQUIRED THAT SOILS TRACKED FROM THE SITE BY MOTOR VEHICLES BE CLEANED DAILY FROM PAVED ROADWAYS SURFACES THROUGHOUT THE DURATION OF CONSTRUCTION.
10. PROVIDE TEMPORARY SEDIMENTATION BASINS AS DIRECTED BY THE ENGINEER.
11. ALL REQUIREMENTS OF THE LOCAL WATERSHED DISTRICT SHALL BE SATISFIED PER THE APPROVED PERMIT.
12. ALL EROSION & SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN AND IMPLEMENTED IN THE FIELD AS DIRECTED BY THE ENGINEER SHALL CONFORM TO THE MPCA'S "PROTECTING WATER QUALITY IN URBAN AREAS: BEST MANAGEMENT PRACTICES FOR MINNESOTA".
13. DETAHERING AND/OR BASIN DRAINING DISCHARGE SHALL BE DIRECTED TO SEDIMENTATION BASINS WHEREVER AVAILABLE. ALL DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION & SCOUR THROUGH USE OF APPROVED ENERGY DISSIPATION DEVICES.
14. ALL SOLID WASTE / CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH MPCA REQUIREMENTS. HAZARDOUS MATERIALS SHALL BE STORED / DISPOSED OF IN COMPLIANCE WITH MPCA REGULATIONS.
15. CONTRACTOR SHALL USE RAPID STABILIZATION METHODS PER MN DOT 2515 AS REQUIRED DURING THE COURSE OF THE WORK TO MAINTAIN CONFORMANCE WITH THE CITY AND NPDES PERMITTING REQUIREMENTS. THIS WORK SHALL CONSIST OF THE FOLLOWING:
 1. STABILIZATION NECESSARY TO MAINTAIN STABLE SOIL CRITICAL AREA TO PREVENT OFF SITE SEDIMENTATION AND / OR TO COMPLY WITH PERMIT REQUIREMENTS. THIS WORK MAY BE PERFORMED AT ANY TIME DURING THE CONTRACT AND AT ANY OTHER WORKING HOURS. THIS WORK WILL BE CONDUCTED ON THOSE AREAS THAT MAY OR MAY NOT BE ACCESSIBLE WITH NORMAL EQUIPMENT. THIS WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE MN DOT STANDARDS SPECIFICATIONS, THE DETAILS SHOWN IN THE PLANS, AND THE FOLLOWING.

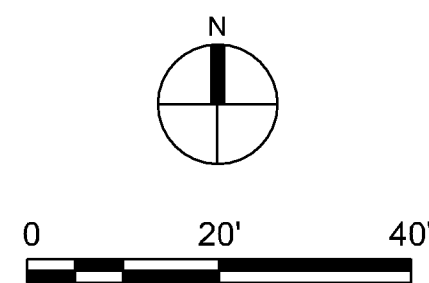
METHOD	RAPID STABILIZATION
1	TYPE I MULCH WITH DIC AND ANCHORING
2	TYPE I MULCH WITH TYPE I HYDRAULIC MULCH
3	TYPE I HYDRAULIC MULCH WITH SEED MIXTURE 22-11
4	CATEGORY 3 EROSION CONTROL BLANKET WITH SEED MIXTURE
5	RHPPAC CLASS II WITH GEOTEXTILE TYPE III

THESE EFFORTS WILL BE INCIDENTAL TO THE EROSION CONTROL, BID ITEM.

16. CHANGE OF COVERAGE: FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS WHERE THE OWNER OR OPERATOR OPERATES, (E.G. AN ORIGINAL DEVELOPER SELLS PORTIONS OF THE PROPERTY TO VARIOUS BUILDERS) THE NEW OWNER OR OPERATOR MUST SUBMIT A SUBSIDIARY REGISTRATION WITHIN 7 DAYS OF ASSUMING TRANSFERS, SALE OR LOSING ON THE PROPERTY.
17. INDIVIDUAL SITE BUILDERS SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL NECESSARY EROSION CONTROL MEASURES AS MAY BE REQUIRED. REQUIRED EOMS SHALL CONSIST OF BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. STAKED FIBER LOG ROLL BACK AT BACK OF ALI CURB EXCEPT AT CONSTRUCTION / DRIVEWAY ENTRANCE.
 - B. Silt FENCE ON ALL DOWN GRADIENT SLOPES FROM CONSTRUCTION AREA. Silt FENCE SHALL HAVE THE BOTTOM 6" OF IT WITH SOIL FIRMLY COMPACTED.
 - C. ROCK CONSTRUCTION ENTRANCE HAVING 1" TO 2" CLEAR ROCK OVER GEOTEXTILE FABRIC.
 - D. STREET CLEANING AS MAY BE REQUIRED SHOULD EROSIVE TRUCKING OCCUR.
18. INDIVIDUAL SITE BUILDERS ARE REQUIRED TO MAINTAIN EOMS UNTIL SUCH TIME AS INDIVIDUAL YARDS/VEGETATION ARE ESTABLISHED.
19. CONTRACTOR SHALL PROVIDE A TEMPORARY SEDIMENTATION BASIN ON SITE FOR CONSTRUCTION WASH OUT USE. TEMPORARY BASIN SHALL BE LOCATED AS TO PROVIDE EASY ACCESS FOR CONSTRUCTION VEHICLES AND CONCRETE TRUCKS AS NECESSARY.
20. INLET SEDIMENTATION CONTROL, IS TO BE PROVIDED TO ALL STORM SEWER CATCH BASIN THROUGHOUT CONSTRUCTION MEASURES APPLIED SHALL COMPLY WITH BEST MANAGEMENT PRACTICES FOR MINNESOTA AND APPLICATION OF NPDES PHASE II AS APPROPRIATE FOR PHASE OF CONSTRUCTION.
21. CONTRACTOR SHALL PREVENT SOIL LOSS DURING CONSTRUCTION DUE TO WIND EROSION THROUGHOUT CONSTRUCTION. WIND EROSION SHALL BE SUPPRESSED THROUGH THE APPLICATIONS OF WATER, AS DEEMED NECESSARY BY THE CONTRACTOR, OR THROUGH EQUIVALENT BARRS AS APPROVED BY THE ENGINEER.
22. IF LEED ACCREDITATION IS APPLICABLE, CONTRACTOR SHALL DOCUMENT THE IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL PLAN THROUGH DATE-STAMPED PHOTOS AND INSPECTION LOGS / REPORTS. REPORTS SHOULD INCLUDE AT A MINIMUM: DATE, TIME, LOCATION, WEATHER, INCLUDING BOTH MEASURED TO INCIDENT SOIL LOSS DUE TO RUNOFF AND SOIL LOSS DUE TO WIND EROSION, BMP'S DEEMED UNNECESSARY DUE TO SITE CONDITIONS, CORRECTIVE ACTIONS TAKEN IN RESPONSE TO PROBLEMS, AND ANY ADDITIONAL INFORMATION RELEVANT TO THE PROJECT. THE EROSION CONTROL PLAN SHALL BE MAINTAINED AND AS NECESSARY, THE TIME OF CONSTRUCTION

STORMWATER POLLUTION PREVENTION PLAN SCHEDULE OF INSTALLATION & MAINTENANCE

ITEM	INSTALLATION	INSPECTION & MAINTENANCE	REMOVAL
SILT FENCE	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS	INSPECT & MAINT. AFTER EACH RAINFALL EVENT. REMOVE AFTER 15 DAYS AS REQUIRED	AFTER THRU/ DRAINAGE ARE RESTORED
ROCK CONCRETE EXTRACT	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PRIOR TO PAY
OUTLET SKIMMER STRUCTURE	AFTER POND GRADING IS COMPLETED	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PERMANENT.
RIP-RAP & FILTER	UPON COMPLETION OF POND GRADING, CONC. SWALE CONCRETE AND OUTLET INSTALLATION.	INSPECT & MAINTAIN AT LEAST ANNUALLY AND AFTER HEAVY RAINFALL EVENT.	PERMANENT.
DETECTION POND	DURING EARTHWORK OPERATIONS.	AFTER HEAVY RAINFALL EVENTS. REMOVE SEDIMENTS AS NEEDED	PERMANENT.
SEED & MASH-OUT	AFTER POND GRADING IS COMPLETED	AFTER HEAVY RAINS. REMOVE SEDIMENTS AS NEEDED	NO REMOVAL. NECESSARY.
INLET PROTECTION	UPON INLET CONCRETE	WHEN 10% CAPACITY OF BMP IS REACHED	AFTER THRU/ AREAS ARE RESTORED



	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING SPOT ELEVATION
	DRAINAGE ARROW
	PROPOSED CONCRETE C&G
	SILT FENCE
	INLET SEDIMENT PROTECTION
	ROCK CONSTRUCTION ENTRANCE
	SPOT ELEVATION
	FLOW LINE OF CURB
	MATCH SPOT ELEVATION
	RIM ELEVATION

1. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL APPLICABLE EROSION & SEDIMENT CONTROL ITEMS.
2. SPECIFIED EROSION/SEDIMENT CONTROL MEASURES ARE THE MINIMUM. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.
3. THE TYPICAL DISTURBED AREA IS EQUAL TO 5.5 ACRES. THIS IS BELOW THE 1.0 ACRE THRESHOLD, AND THEREFORE AN MPCA PERMIT IS NOT REQUIRED.
4. PROPOSED SLOPE ELEVATIONS ARE TO TOP OF FINISHED SURFACE UNLESS OTHERWISE NOTED.
5. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES. LOCATIONS OF UTILITIES SHOWN BASED ON SURVEY AND AS-BUILT INFORMATION AND MAY NOT REPRESENT ACTUAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR UTILIZING UTILITY LOCATES PRIOR TO STARTING ANY WORK.
6. COORDINATE CITY ENGINEERING INSPECTIONS FOR WATER, SEWER AND WORK IN RIGHT OF WAY.

1	INSTALL & MAINTAIN SILT FENCE PERIMETER SEDIMENT PROTECTION IN TURF AREAS	1 C
2	INSTALL & MAINTAIN SEDIMENT PROTECTION BIO-ROLL IN PAVED AREAS	
3	INSTALL & MAINTAIN INLET SEDIMENT PROTECTION	2 C
4	INSTALL TEMP ROCK ENTRANCE AT CONSTRUCTION VEHICLE INGRESS & EGRESS LOCATION(S).	3 C
5	MATCH EXISTING CURB LINE ELEVATION	
6	DRAINAGE AND UTILITY EASEMENT	
7	RAISE EXISTING RIM APPROXIMATELY 6" TO FINISHED SURFACE ELEVATION.	
8	REMOVE & REPLACE CONC. SIDEWALK / PEDESTRIAN RAMP TO MATCH NEW CURB & GUTTER	

IMPERVIOUS SUMMARY		
	IMP. AREA (SF)	% OF SITE IMP.
EXISTING CONDITIONS	59,362	48%
PROPOSED CONDITIONS (PHASE 2)	69,350	56%
PHASE 2 PLANNED*	77,795	62%

NOTES*

1. EXISTING BIO-FILTRATION BASIN HAS BEEN SIZED FOR 62% IMPERVIOUS SURFACE FOR PHASE 2 OF CONSTRUCTION PERMITTED PER NINE MILE CREEK WATERSHED DISTRICT PERMIT NO. 2008-21.
2. STORMWATER TREATMENT IS EXEMPT FOR PHASE 2 OF CONSTRUCTION. EROSION CONTROL PERMIT TO BE APPLIED FOR.



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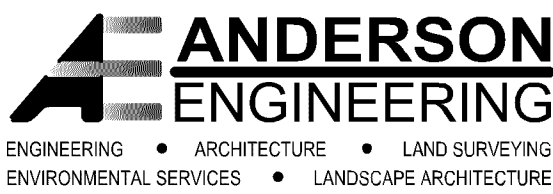
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NOT FOR CONSTRUCTION

GARY R. JOHNSON, P.E.

# 42010	10.16.2018
REG. NO.	DATE



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GRADING DRAINAGE & EROSION CONTROL PLAN

DRAWN BY: B J F CHECKED BY: GR

C2



PL2018-343



PROJECT

MAIN OFFICE ADDITION

9550 LYNDALE AVE S
BLOOMINGTON, MN 55420

[illegible]

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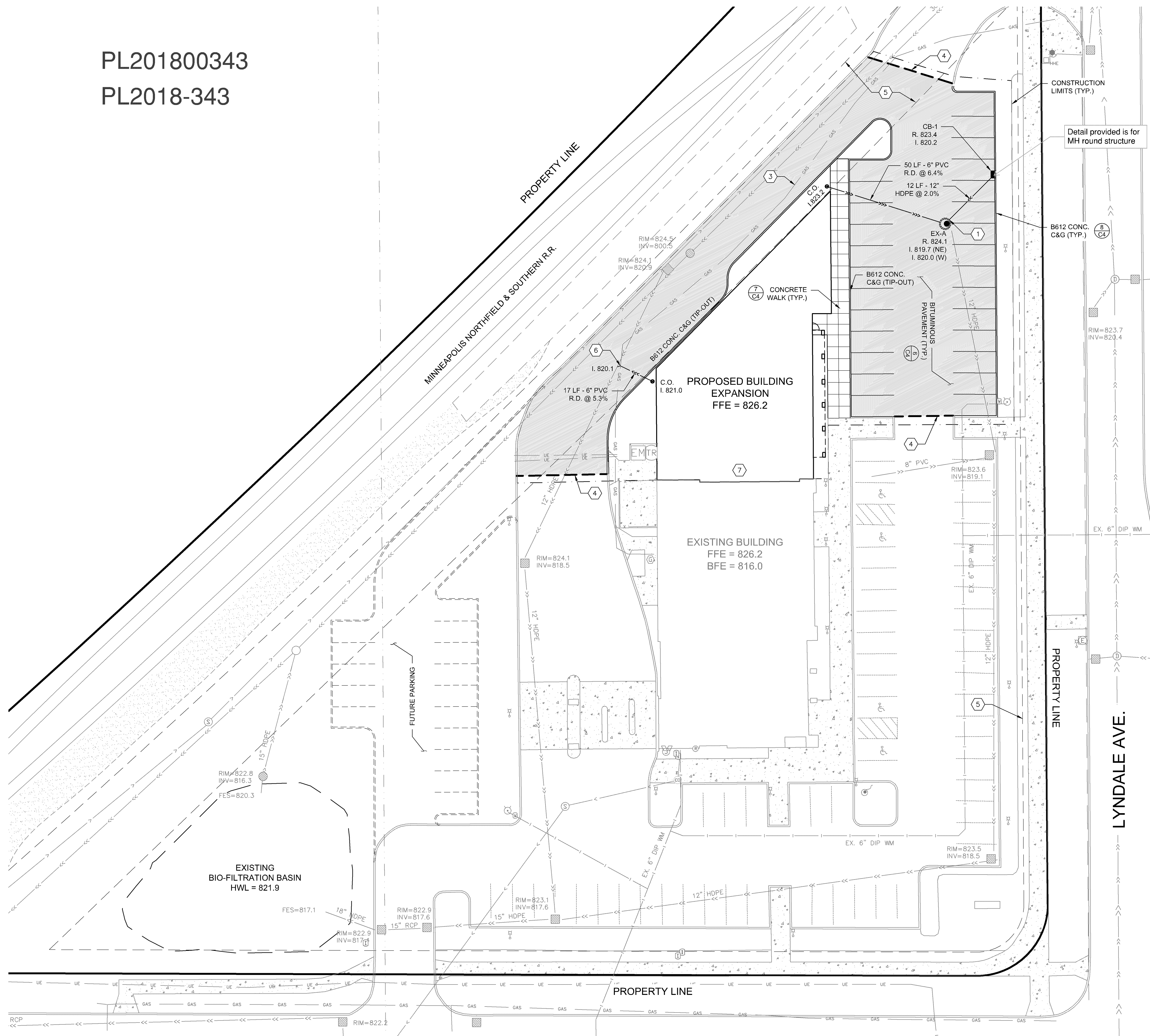
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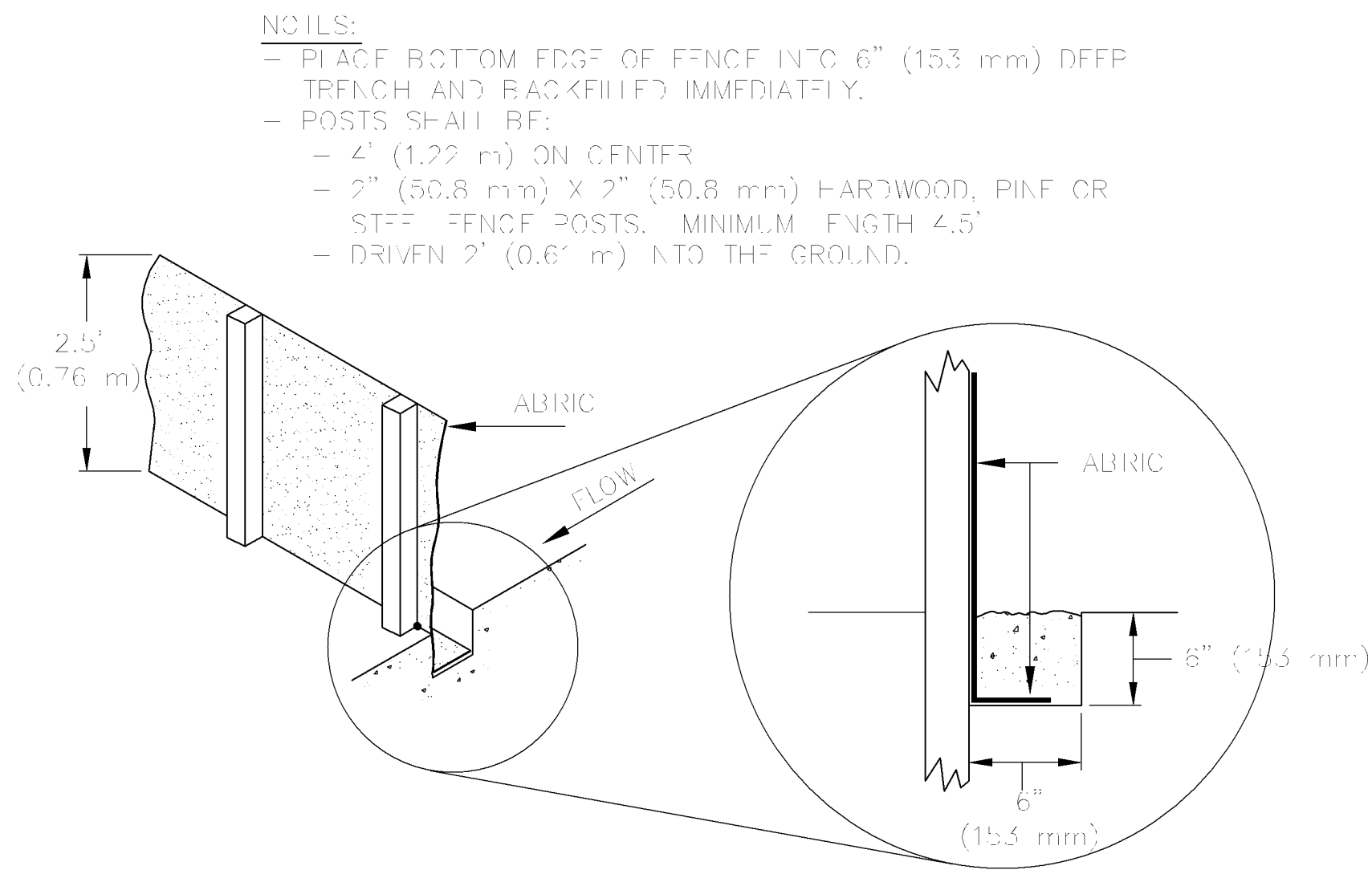
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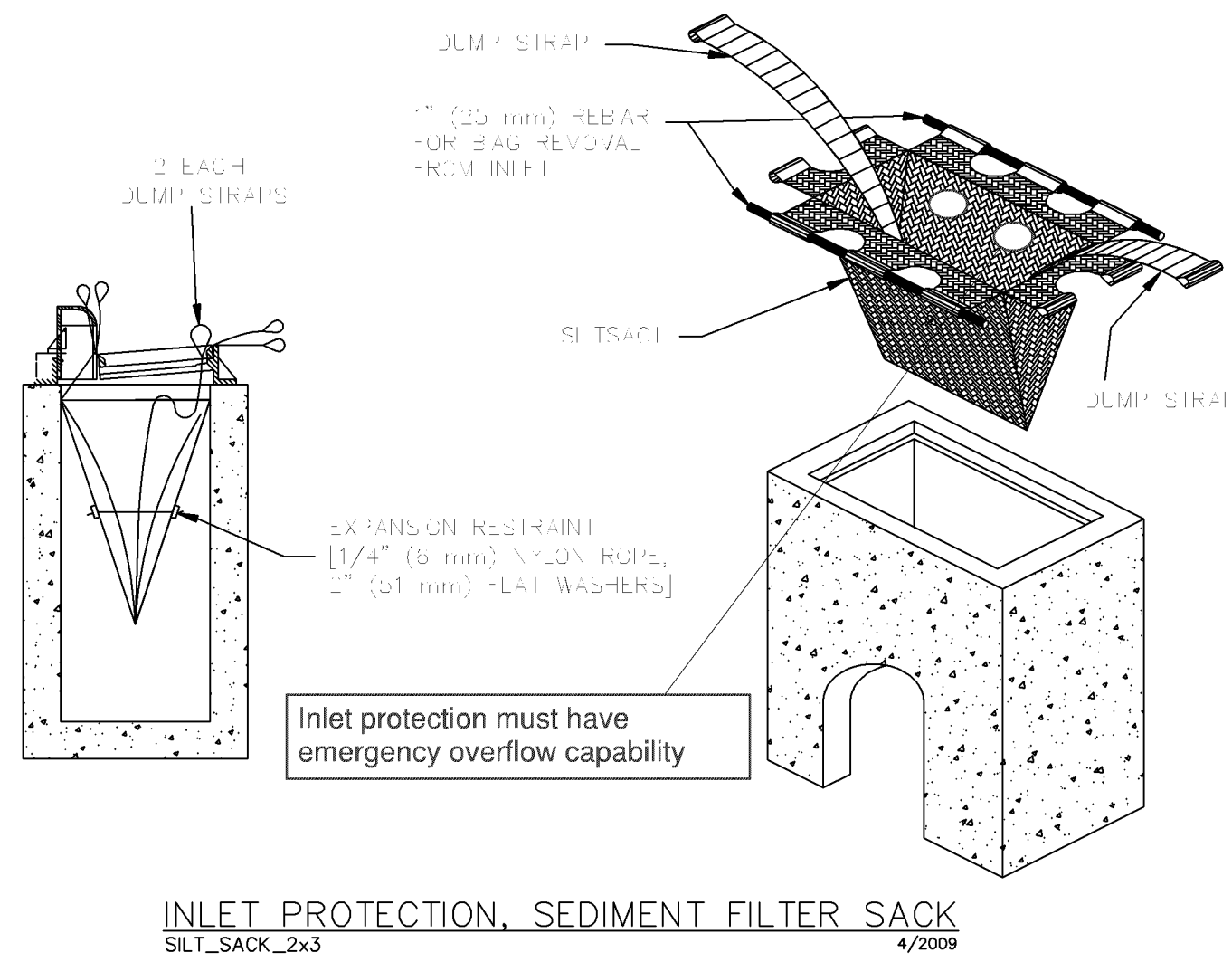
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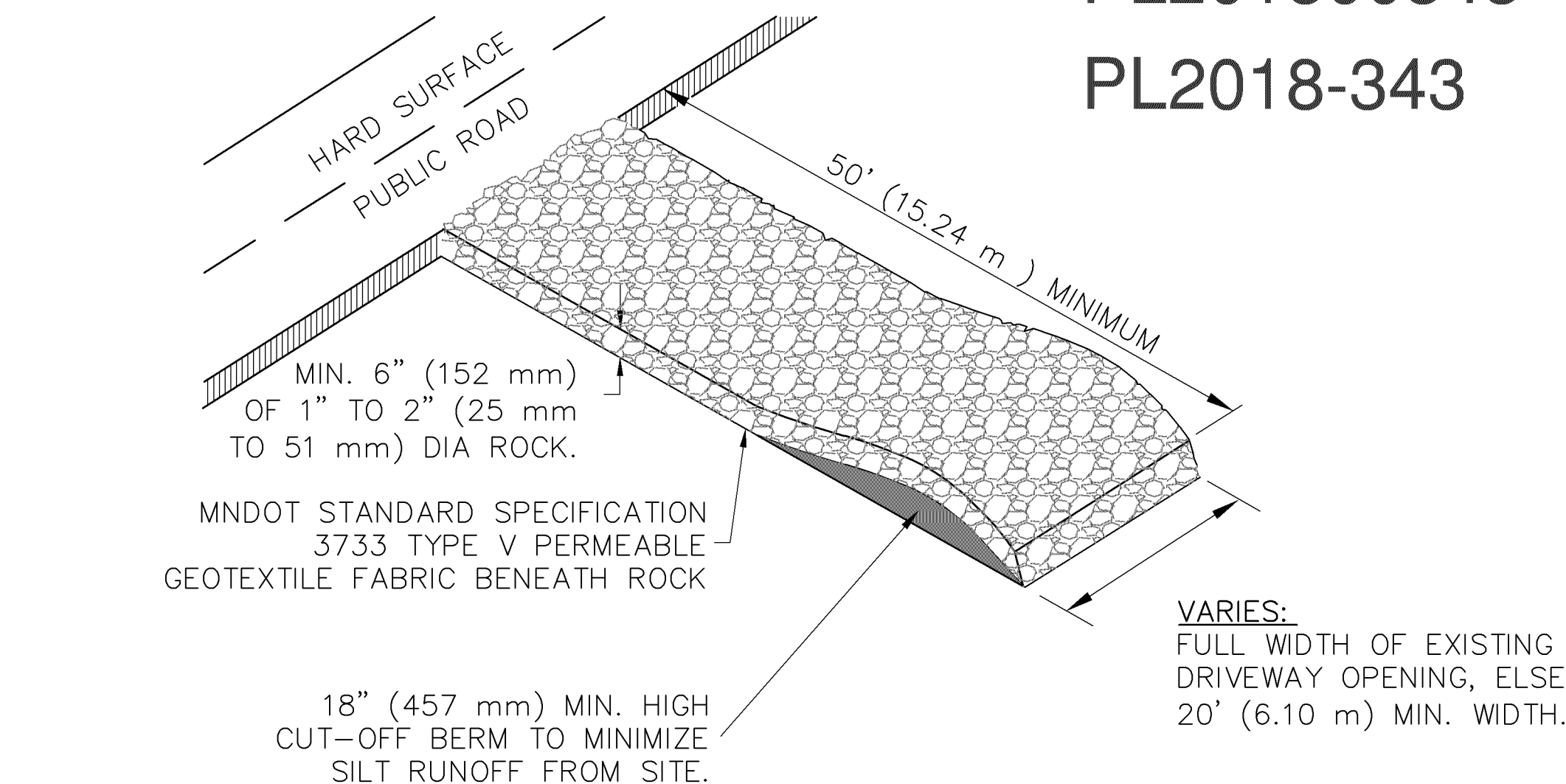




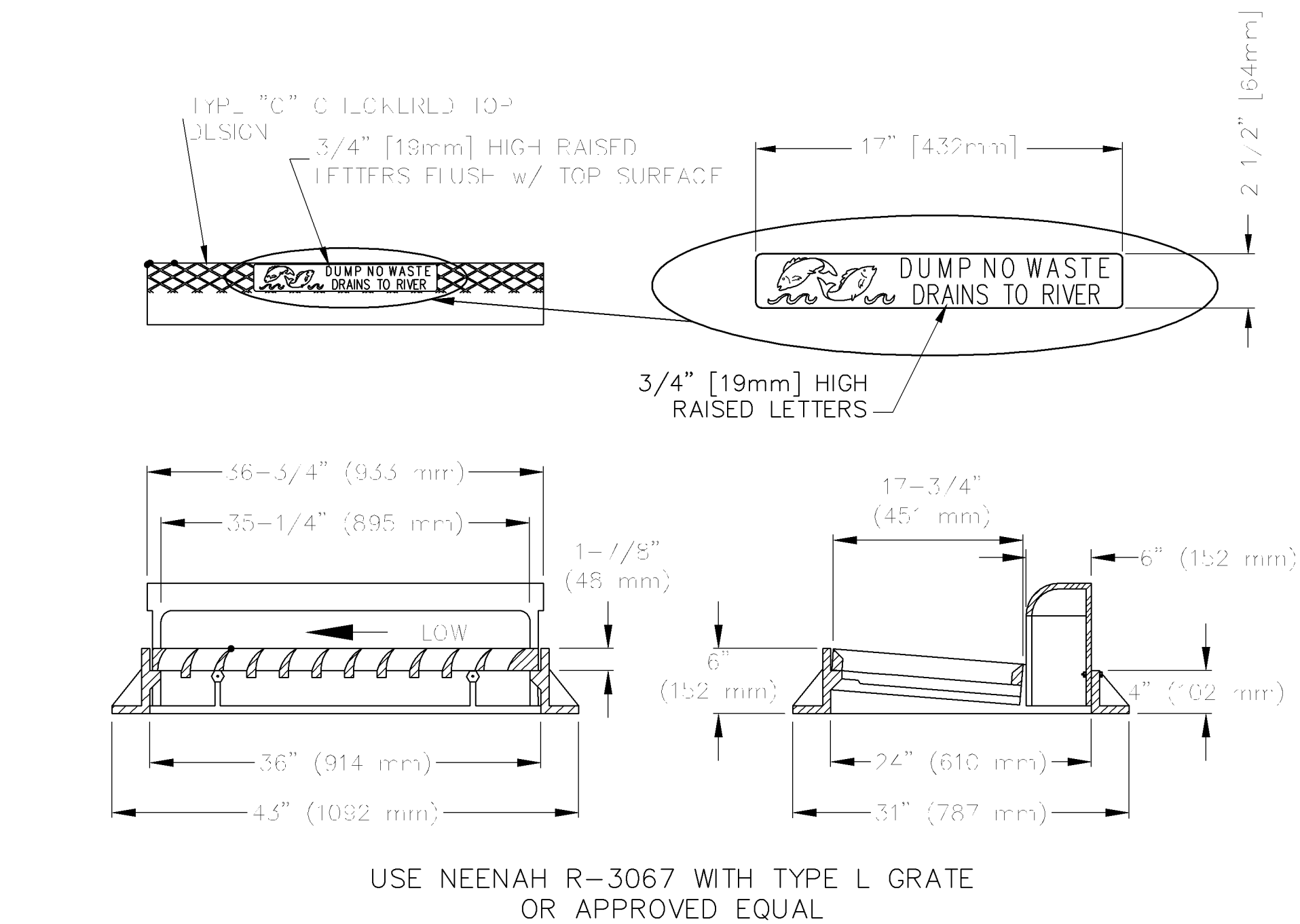
1 SILT FENCE INSTALLATION DETAIL
SCALE:NTS



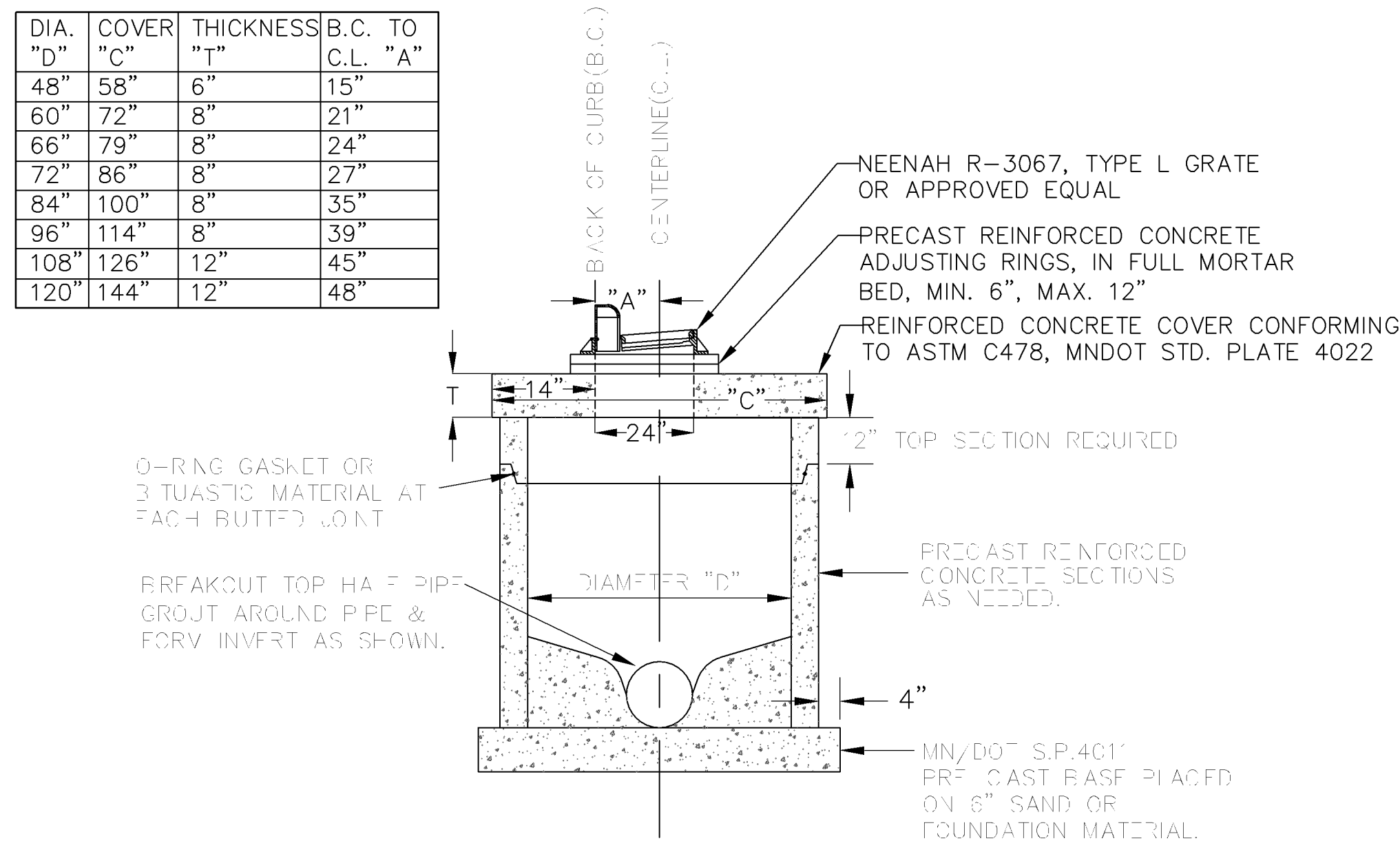
2 INLET PROTECTION SEDIMENT FILTER SACK
SCALE:NTS



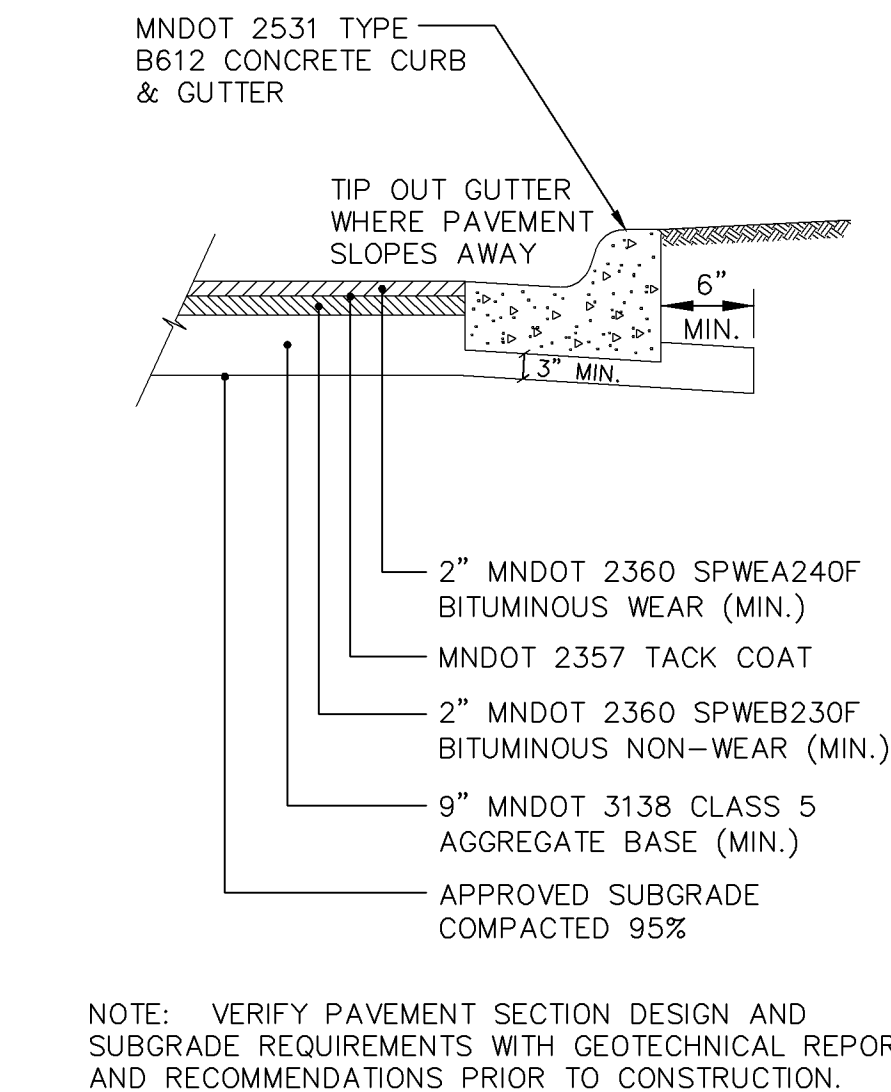
3 ROCK CONSTRUCTION ENTRANCE
SCALE:NTS



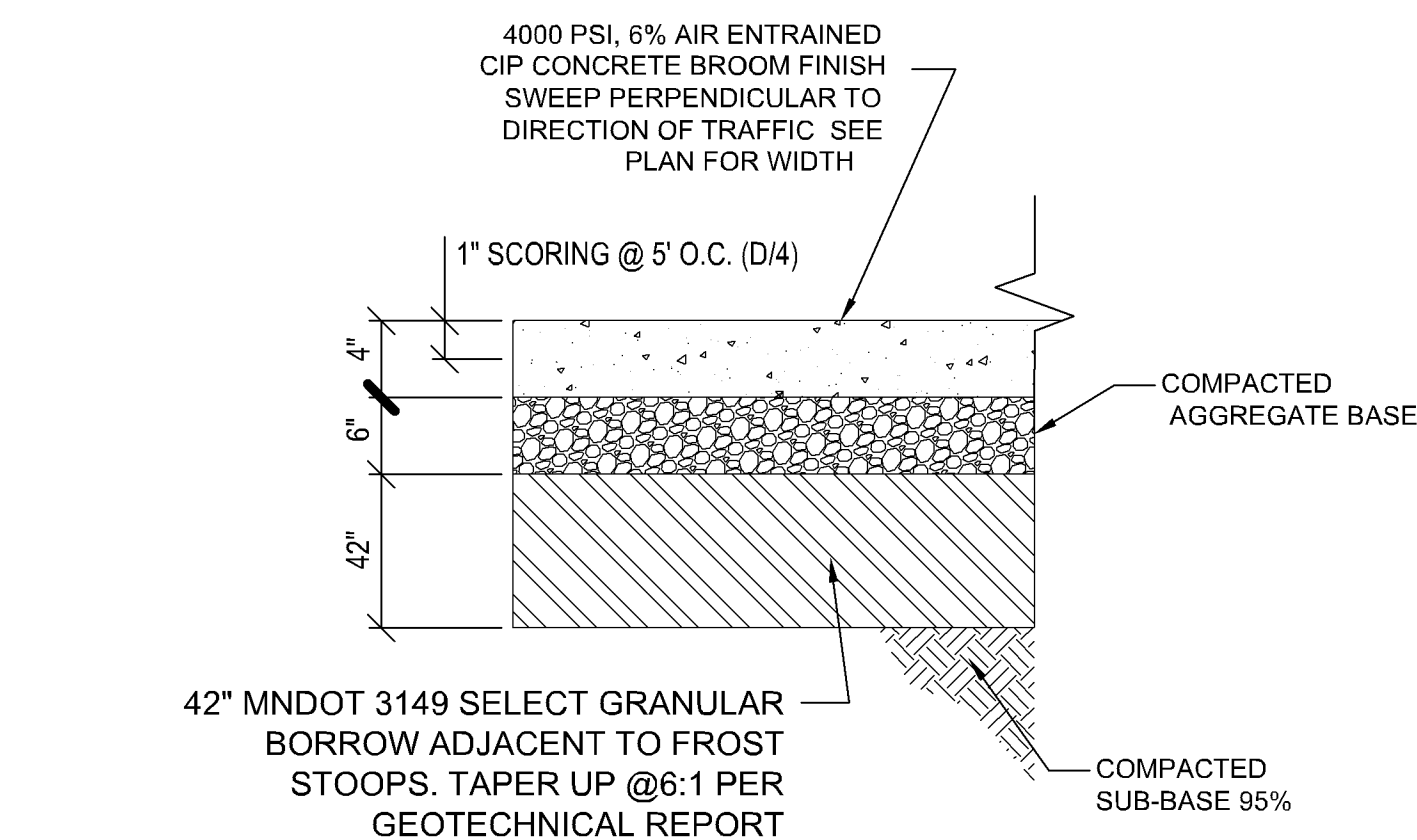
4 RECTANGULAR CATCH BASIN CASTING ASSEMBLY
SCALE:NTS



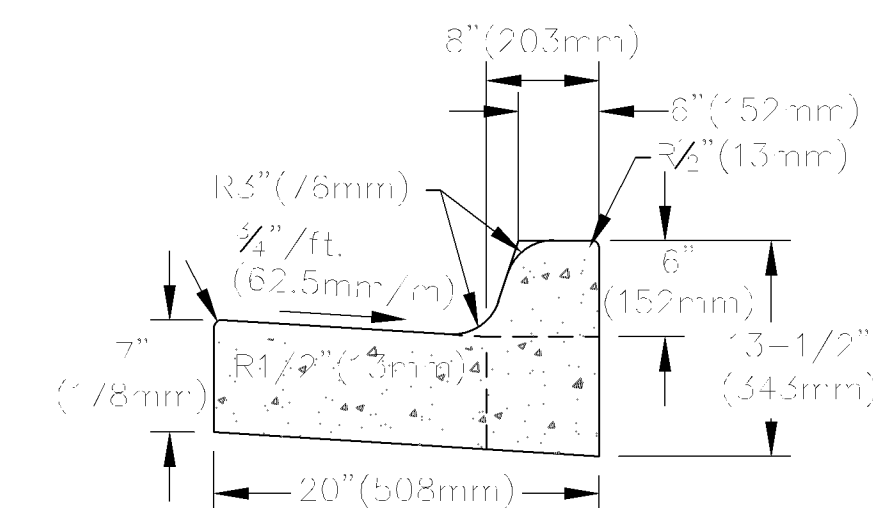
5 STANDARD MANHOLE WITH 2X3' CASTING
SCALE:NTS



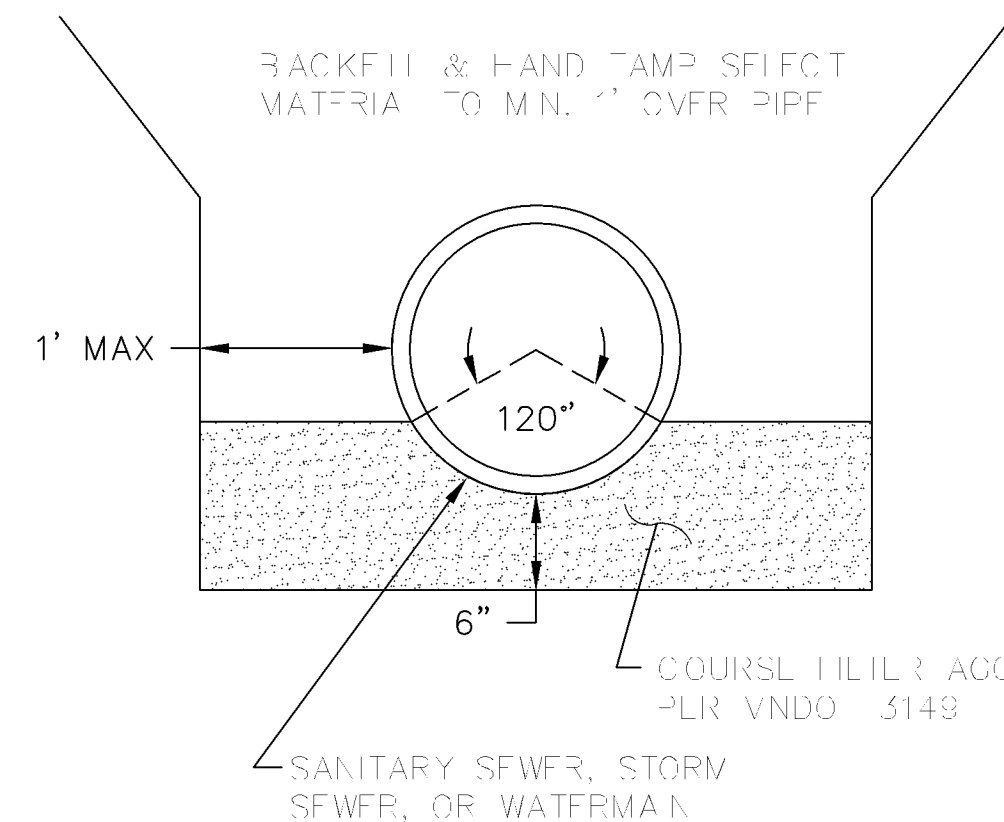
6 BITUMINOUS PAVEMENT SECTION
SCALE:NTS



7 CONCRETE SIDEWALK SECTION
SCALE:NTS



8 B612 STANDARD CURB & GUTTER
SCALE:NTS



9 PIPE BEDDING DETAIL
SCALE:NTS



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PROJECT

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BLOOMINGTON, MN 55420

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REVISIONS	
DATE	NO.

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CIVIL DETAILS

DRAWN BY: BJF CHECKED BY: GRJ

C4