

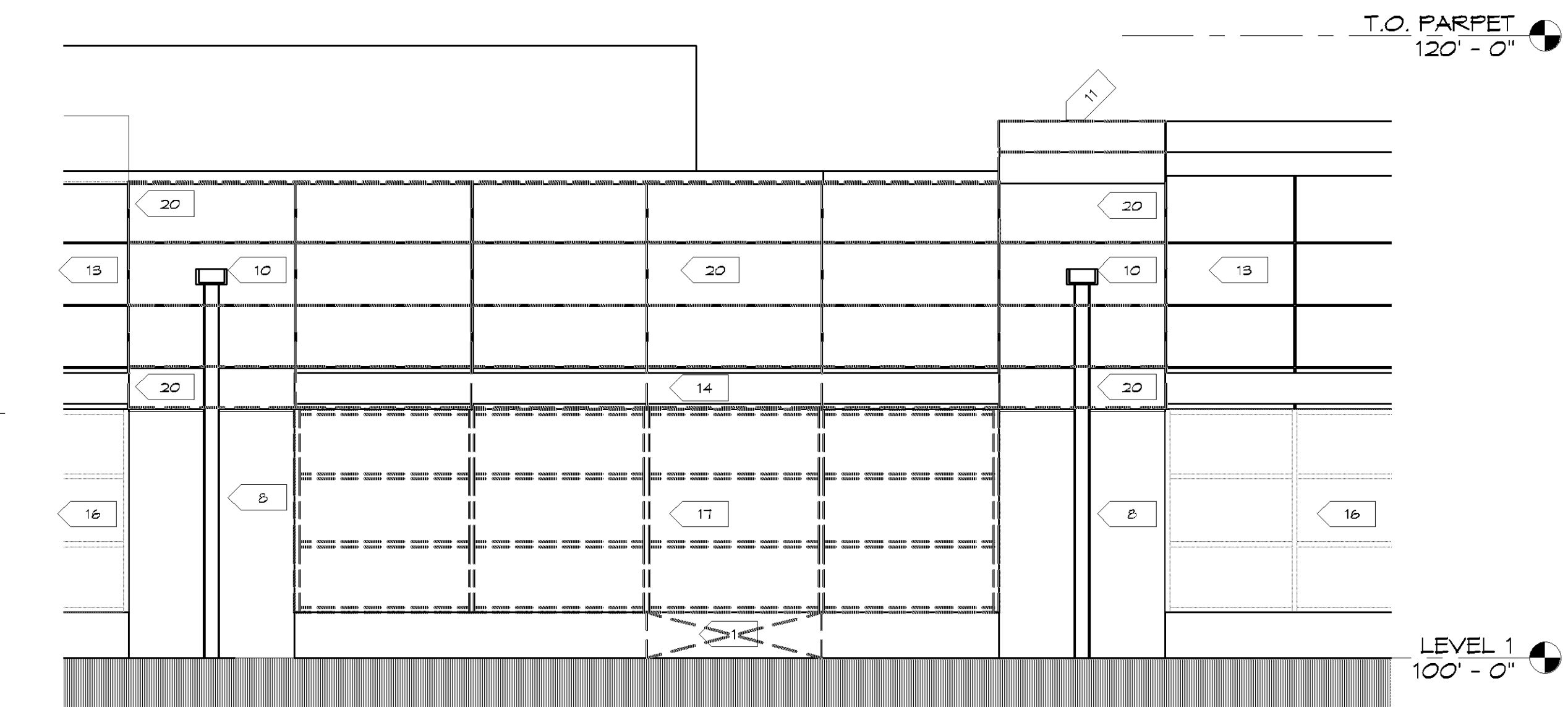
10520 France Avenue S
PL201900060
PL2019-60
Planet Fitness

DEMOLITION KEYNOTES

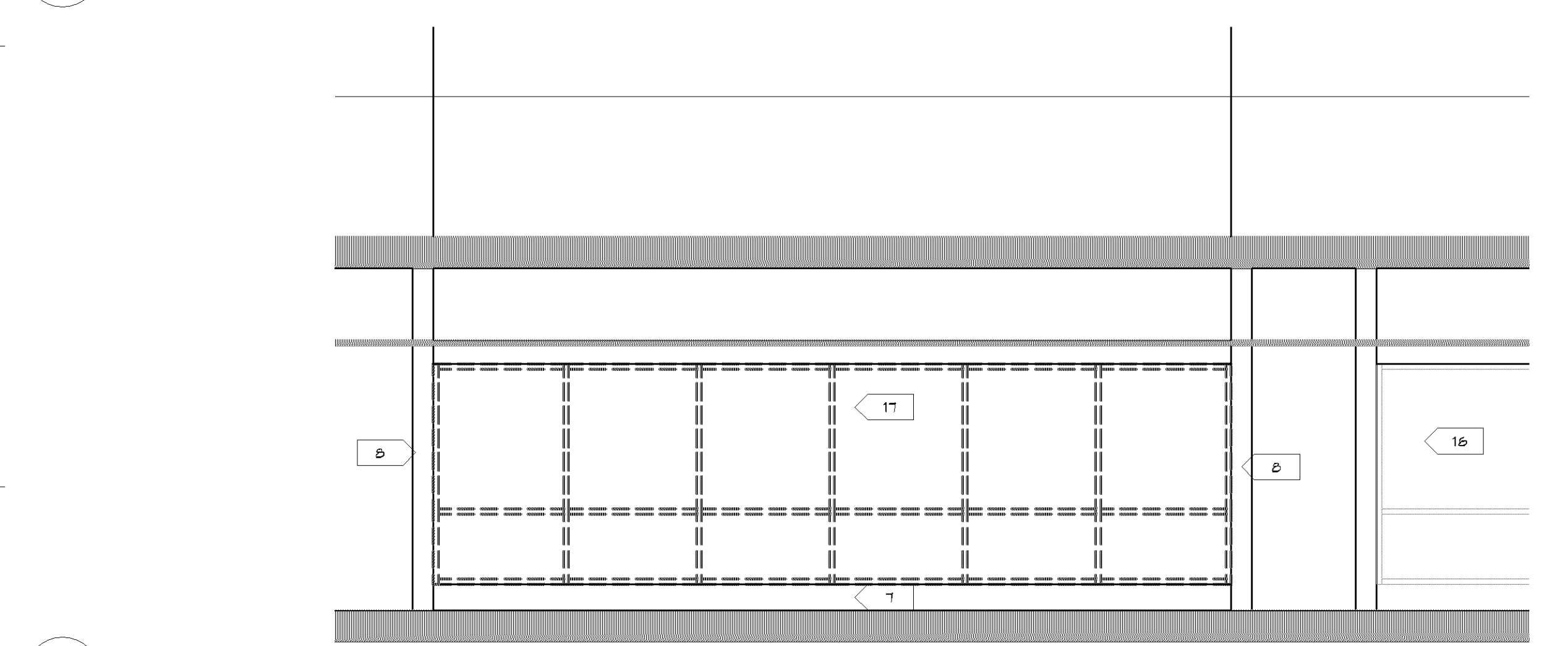
- 1 REMOVE EXTERIOR WALL CONSTRUCTION AS REQUIRED FOR ALUMINUM-FRAMED ENTRANCE DOORS
- 2 REMOVE DOOR AND FRAME. VERIFY IF SALVAGE AND/OR STORE DOOR/FRAME WITH OWNER
- 3 REMOVE PORTION OF EXISTING CONCRETE PAVEMENT AS REQUIRED FOR STRUCTURAL STUCCO AND PEDESTRIAN GRASS RAMP
- 4 EXISTING THRU-WALL SCUPPER AND OPEN-FACE DOWNSPOUT TO REMAIN
- 5 REMOVE LANDSCAPING AND VERIFY WITH OWNER IF SALVAGE OR RELOCATE
- 6 REMOVE INTERIOR FACE BRICK SILL
- 7 EXISTING CONSTRUCTION TO REMAIN
- 8 EXISTING FACE BRICK TO REMAIN
- 9 EXISTING THRU-WALL SCUPPER AND OPEN-FACE DOWNSPOUT TO REMAIN
- 10 EXISTING THRU-WALL SCUPPER TO REMAIN AND OPEN-FACE DOWNSPOUT REMOVE AND SALVAGE FOR REINSTALLATION
- 11 REMOVE/MODIFY EXISTING CORNICE/PARAPET AS REQUIRED FOR STUCCO SYSTEM WALL
- 12 EXISTING MASONRY SILL TO REMAIN
- 13 EXISTING STUCCO SYSTEM TO REMAIN
- 14 EXISTING STEEL CANOPY REMOVE AND SALVAGE FOR REINSTALLATION
- 15 EXISTING SIGNAGE TO REMAIN
- 16 EXISTING ALUMINUM-FRAMED STOREFRONT SYSTEM
- 17 REMOVE WINDOW FRAME AND GLAZING. PATCH EXISTING OPENING AS REQUIRED TO MATCH ADJACENT SURFACES
- 18 REMOVE EXISTING EXTERIOR WALL CONSTRUCTION AS REQUIRED FOR DOOR OPENING
- 19 REMOVE PREFINISHED METAL COPING
- 20 REMOVE EXTERIOR STUCCO, SHEATHING, AND 5 1/2" METAL STUD FRAMING OF PARAPET. SEE DETAIL B/A6.0
- 21 DEMOLISH EXISTING CONCRETE SLAB AT DOOR OPENING
- 22 REMOVE PARTITION IN ITS ENTIRETY. ELECTRICAL CONTRACTOR TO DISCONNECT ALL DEVICES BACK TO PANEL. AND PLUMBING CONTRACTOR SHALL CAP ALL PIPING EITHER ABOVE THE CEILING OR BELOW THE FLOOR
- 23 REMOVE DRINKING FOUNTAIN
- 24 REMOVE HOP SINK
- 25 REMOVE LANDSCAPING AND PLANTINGS. RELOCATE PLANTINGS ON SITE

DEMOLITION GEN. NOTES

- A. ALL EXISTING CONDITIONS SHALL BE REMOVED AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION, WHETHER OR NOT NOTED ON DEMOLITION PLAN. (COORDINATE WITH HIGH-RISE ELEC. DRAWINGS)
- B. FIELD VERIFY THAT PARTITIONS SCHEDULED FOR REMOVAL ARE NOT STRUCTURAL AND CONTAIN NO LOAD BEARING ELEMENTS. IF ANY CONFLICTS OCCUR, CONTACT THE PROJECT ARCHITECT IMMEDIATELY.
- C. SURFACES ADJACENT TO REMOVAL AREAS SHALL BE PATCHED AND CLEANED. MAINTAIN ALL FIRE RATINGS AS REQUIRED.
- D. PROVIDE DUST CONTROL, AND/OR TEMPORARY PARTITIONS AS REQUIRED BETWEEN CONSTRUCTION AREAS AND OCCUPANCY AREAS AT ALL TIMES.
- E. PROVIDE A SAFE PASSAGE THROUGH AND/OR AROUND CONSTRUCTION AREAS AS REQUIRED TO MAINTAIN REQUIRED BUILDING EXITS.
- F. KEEP NOISE TO A LEVEL ACCEPTABLE TO OWNER.
- G. PLANTS AND LANDSCAPE TO BE RELOCATED ON SITE. VERIFY WITH OWNER FOR LOCATION.



2 A2.0 EXTERIOR ELEVATION DEMOLITION
SCALE: 1/4" = 1'-0"



3 A2.0 INTERIOR ELEVATION DEMOLITION
SCALE: 1/4" = 1'-0"

AREA OF WORK

- NO WORK EXISTING CONSTRUCTION TO REMAIN
- AREA OF WORK

1 A2.0 LEVEL 1 ENLARGED DEMOLITION
SCALE: 1/8" = 1'-0"

4800 WEST OLD SHAKOPEE ROAD
SUITE 320
BLOOMINGTON, MINNESOTA 55437
TEL: 612-995-0663
FAX: 612-995-0663
WWW.SPA-MN.COM

BKBM
ENGINEERS

6190 EARLE BROWN DRIVE
SUITE 700
MINNEAPOLIS, MN 55430

PERMITS
REGISTERED ARCHITECT IN THE STATE OF MINNESOTA
BLOOMINGTON, MN

DATE: 4/10/2019
ISSUE # 1
DESCRIPTION: PERMIT SET
ISSUE RECORD

VALLEY WEST SHOPPING CENTER
ENTRANCE & DEMISING WALL
RENOVATION

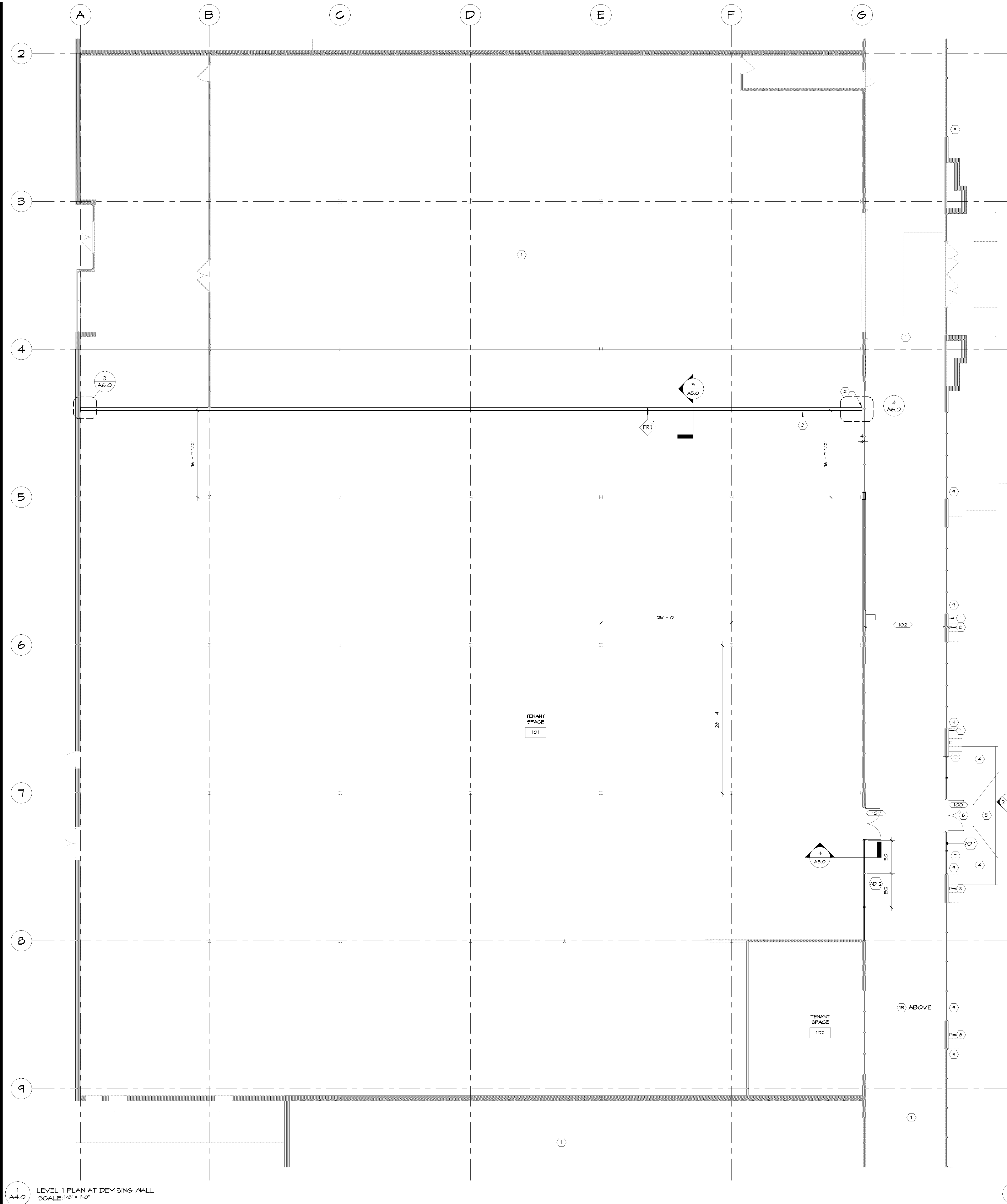
10520 FRANCE AVE S. BLOOMINGTON, MN 55431

DEMOLITION PLAN
AND ELEVATIONS

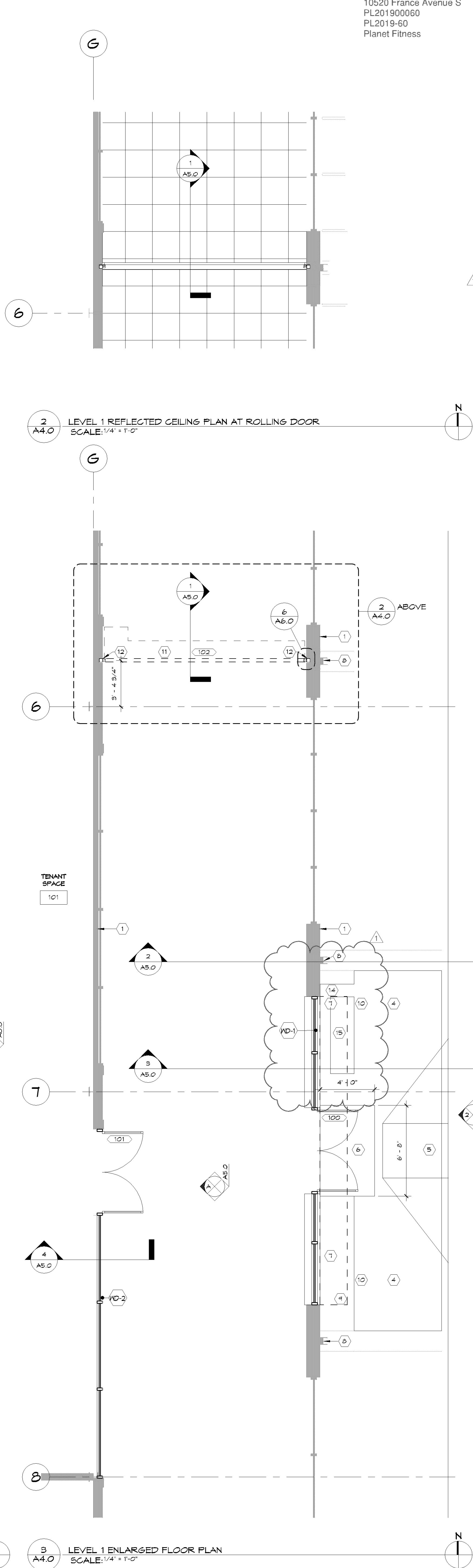
PROJECT NO: 19-009
DRAWN BY: BC
CHECKED BY: JR

A2.0

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1
A4.0
LEVEL 1 PLAN AT DEMISING WALL
SCALE: 1/8" = 1'-0"



3
A4.0
LEVEL 1 ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FLOOR PLAN GEN. NOTES**
- A. DRAWINGS SHOULD NOT BE SCALED - DIMENSIONS GOVERN. CONTACT ARCHITECT FOR CLARIFICATION.
 - B. SEE SHEET A4.1 FOR PARTITION TYPE INFORMATION.
 - C. DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF GYP BD UNLESS NOTED OTHERWISE.
 - D. THE TYPICAL DIMENSION FROM OUTSIDE EDGE OF DOOR FRAME TO THE FACE OF ADJACENT PERPENDICULAR WALL IS 5' UNLESS NOTED OTHERWISE.
 - E. ALL WALLS TO DECK TO BE CONSTRUCTED TO ACCOMMODATE DEFLECTION OF ROOF STRUCTURE.
 - F. PROVIDE MOISTURE RESISTANT GYP BD AT ALL JET WALLS.
 - G. PROVIDE CONTROL JOINTS IN GYP BD AS RECOMMENDED BY MANUFACTURER.
 - H. COORDINATE UNDERGROUND AND UNDER SLAB UTILITIES. COORDINATE ALL SLEEVES THROUGH / UNDER FOOTING AND FOUNDATION W/ STRUCTURAL ENGINEER.
 - I. PROVIDE FIRE EXTINGUISHERS OF SIZE AND TYPE AND LOCATION AS REQUIRED BY THE FIRE MARSHALL.
 - J. VERIFY / COORDINATE LOCATION OF KNOX BOX WITH LOCAL FIRE MARSHALL. (IF REQUIRED)
 - K. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO STRUCTURAL COMPONENT SIZES, LOCATIONS, CONFIGURATIONS, AND CAPACITIES.
 - L. SUBCONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY DIMENSIONS, DISCREPANCIES, OR CONFLICTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 - M. PLANT RELOCATION/COORDINATION: FIREPROOF ENCLOSURE THE SPACE AROUND PENETRATION SHALL BE FIRE STOPPED TO MEET REQUIRED RATINGS.
 - N. PLANTS AND LANDSCAPE TO BE RELOCATED ON SITE. VERIFY WITH OWNER FOR LOCATION.

- FLOOR PLAN KEYNOTES**
- (1) EXISTING CONSTRUCTION TO REMAIN SHOWN SHADDED, TYPICAL.
 - (2) ALIGN PARTITION WITH EXISTING WINDOW MULLION.
 - (3) FULL HEIGHT DEMISING WALL.
 - (4) CONCRETE PAVING. CONTROL JOINTS TO ALIGN WITH EXISTING.
 - (5) CONCRETE PEDESTRIAN GURS RAMP. 1:12 MAX SLOPE. FLARED SIDES 1:10 MAX SLOPE. CENTER ON DOOR OPENING.
 - (6) CONCRETE STRUCTURAL STOP. SEE DETAIL 7/A4.0.
 - (7) LANDSCAPE AREA.
 - (8) EXISTING OPEN-FACE DOWNSPOUT TO REMAIN.
 - (9) EXISTING STEEL CANOPY TO REMAIN SHOWN DASHED ABOVE.
 - (10) ALIGN CONCRETE PAVING WITH EXISTING, TYPICAL.
 - (11) OVER-HEAD ROLLING GRILLE. ELECTRIC OPERATED. CAPTAIN FINISH. CLEAR ANODIZED ALUM. BOTTOM BAR. CLEAR ANODIZED ALUM.
 - (12) ROLLING GRILLE STRUCTURE. PROVIDED BY GRILLE MANUFACTURER. PATCH AND PAINT GYP BD. BOARD. DISTURBED DURING CONSTRUCTION.
 - (13) CONTRACTOR TO FIELD VERIFY A RISER BEAM EXISTS IN THE ROOM DRAMING. AT THE LOCATION OF THE EXISTING. RISK. PROVIDE DOCUMENTATION TO ARCHITECT AND STRUCTURAL ENGINEER.
 - (14) EXTEND CONCRETE TO FACE OF BUILDING.
 - (15) BICYCLE RACK. GRID STYLE. MATCH EXISTING RACKS ON SITE.

AREA OF WORK

NO WORK EXISTING
CONSTRUCTION TO REMAIN

AREA OF WORK

4000 WEST OLD SHAWORE ROAD
SUITE 320
MINNEAPOLIS, MINNESOTA 55437
TEL: 612-339-0646
FAX: 612-339-0643
WWW.SPA-MN.COM

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MINNEAPOLIS, MN 55430

**VALLEY WEST SHOPPING CENTER
ENTRANCE & DEMISING WALL
RENOVATION**

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PLANS

PROJECT NO: 19-009
DRAWN BY: BC
CHECKED BY: JR

A4.0

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