

Striping Notes

1. ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MnMUTCD).
2. PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
3. ACCESSIBLE PARKING PROVIDED PER ADA CODE. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT.
4. ALL SIGNS SHALL INCLUDE POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
5. ALL STOP SIGNS SHALL INCLUDE A 24" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION. A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
6. ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB UNLESS OTHERWISE NOTED.
7. SEE DETAIL FOR CROSSWALK STRIPPING REQUIREMENTS.

Site Legend

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SETBACK LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	POND NORMAL WATER LEVEL
---	---	RETAINING WALL
---	---	FENCE
---	---	NUMBER OF PARKING STALLS
---	---	TRANSFORMER
---	---	SITE LIGHTING
---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD
---	---	BOLLARD LIGHT
---	---	4' DIAMETER CONCRETE PLANTER
---	---	DECORATIVE STREET LIGHT
---	---	BIKE RACK
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	HYDRANT
---	---	FLARED END SECTION (WITH RIPRAP)

CASE FILE #PL201900190

Site Development Summary

EXISTING ZONING:	R-1 (PUD)
PROPOSED ZONING:	RM-24 (PUD)
PROPERTY AREA:	1,092,944 SF (25.09 AC)
PERVIOUS SURFACE:	11.9 ACRES (47.0%)
IMPERVIOUS SURFACE(RATIO):	13.2 ACRES (53.0%)
BUILDING SETBACK PER CODE:	40'-FRONT 10' + .25'/FT. OVER 30'=SIDE 40'=SIDE TO ROW 30'=REAR
PARKING SETBACK:	20'=ROW 5'=PROPERTY LINE NOT ABUTTING A STREET
PARKING SPACE/DRIVE AISLE:	9' WIDE X 18' LONG, 24' AISLE

General Site Notes

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
2. REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
3. ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
5. ALL CURB RADII SHALL BE 5.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
6. ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
10. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.
11. NEW ACCESS LOCATION TO BE USED AS A TEMPORARY ACCESS DURING CONSTRUCTION. UPON COMPLETION OF CONSTRUCTION, ACCESS WILL BE USED AS AN EMERGENCY VEHICLE ACCESS.
12. DECORATIVE SITE FURNITURE TO BE SPECIFIED BY INTERIOR DESIGNER.
13. ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING, AND STORAGE WILL NOT BE ALLOWED.

Westwood

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Designed: RAH/RW

Checked: RMB

Drawn: RAH

Record Drawing by/date:

Revisions:

06/08/2017 Per City Comments
11/15/2017 DRC Submittal
02/01/2018 100% DD Submittal
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08/05/19 Permit Revision #3

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly certified PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Bluhm

Date: 08/05/19 License No. 41257

Prepared for:

Lifespace Communities

Friendship Village

Bloomington, Minnesota

OVERALL SITE PLAN

Date: 05/10/17

Sheet: C300 OF 45

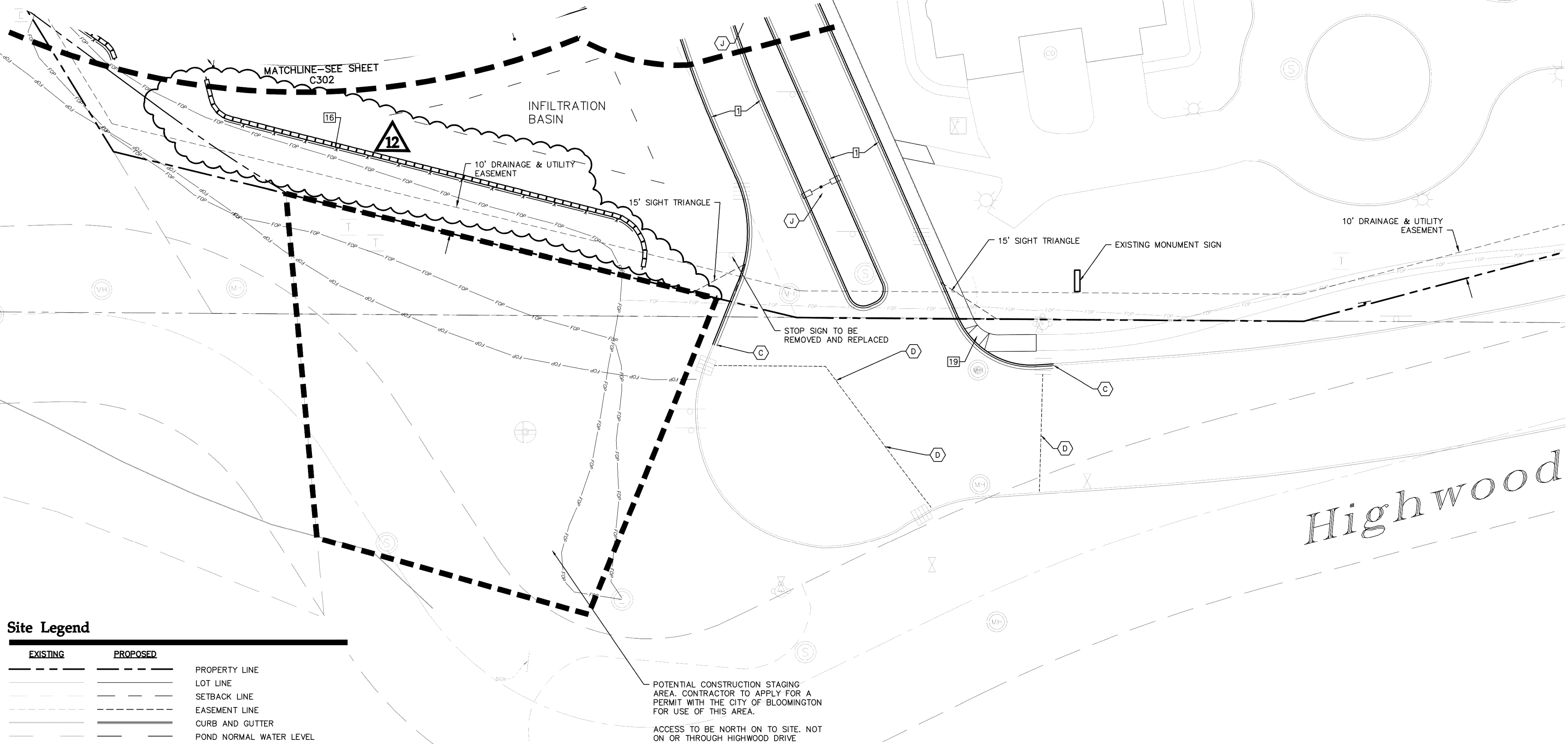
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APPROVED
ZONING REVIEW ONLY
NMJ 10/28/2019

ENGINEERING DIVISION

Approved By: Julie Long, PE
08/28/2019 4:19:25 PM

CASE FILE #PL201900190



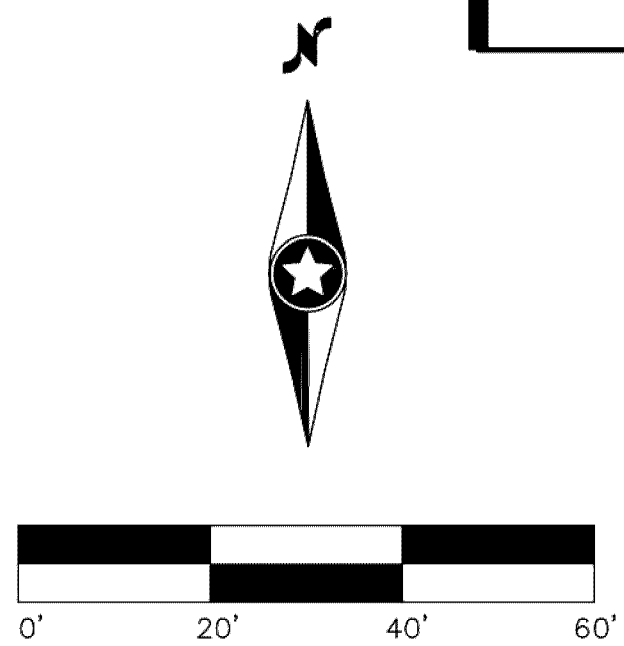
Site Legend		
EXISTING	PROPOSED	
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---	---	TRANSFORMER
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---	---	TRAFFIC SIGN
---	---	POWER POLE
---	---	BOLLARD
---	---	BOLLARD LIGHT
---	---	4' DIAMETER CONCRETE PLANTER
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---	---	BIKE RACK
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	HYDRANT
---	---	FLARED END SECTION (WITH RIPRAP)

APPROVED
ZONING REVIEW ONLY
NMJ 10/28/2019

ENGINEERING DIVISION
Approved By: Julie Long, PE
10/21/2019 10:45:33 AM

- Site Notes** A
- A CURB TRANSITION, SEE GRADING PLAN
 - B UNDERGROUND STORM VAULT, FOR REFERENCE ONLY, SEE UTILITY PLAN
 - C MATCH EXISTING CURB & GUTTER -10' TRANSITION TO DIFFERENT CURB STYLE
 - D SAWCUT & MATCH EXISTING PAVEMENT
 - E STEPS AND HANDRAIL (SEE ARCH.)
 - F FENCE
 - G GENERATOR
 - H MONUMENT SIGN (SEE ARCH.)
 - I BOLLARD LIGHT (SEE LIGHTING) (TYP.)
 - J DECORATIVE STREET LIGHT (SEE LIGHTING) (TYP.)
 - K TRENCH DRAIN, FOR REFERENCE ONLY, SEE UTILITY PLAN
 - L TERRACE (SEE ARCH.)
 - M PATIO (SEE HARDSCAPE PLAN)
 - N TRANSFORMER LOCATION (SEE ELECTRICAL)
 - O UPLIGHT (SEE LIGHTING) (TYP.)
 - P FLAGPOLE
 - Q MODULAR BLOCK RETAINING WALL, MATCH EXISTING TIE INTO EXISTING MODULAR BLOCK RETAINING WALL
 - R EXISTING SIDEWALK TO REMAIN
 - S REPLACE SIDEWALK IN LIKE KIND ONCE CONSTRUCTION IS COMPLETE
 - T REPLACE CURB AND GUTTER IN LIKE KIND ONCE CONSTRUCTION IS COMPLETE
 - V RESTORE PREVIOUS FENCE LINE WITH ADDED LENGTH AS SHOWN
 - W CONTRACTOR TO COMPLETE TEMPORARY PAVING TO CONNECT PHASE 2 AREA TO EXISTING PAVEMENT
 - X EXISTING WALL TO REMAIN

- Site Details** 1
- 1 B612 CURB & GUTTER
 - 2 ACCESSIBLE DROPPED PEDESTRIAN RAMP
 - 3 PEDESTRIAN CURB RAMP
 - 4 FLUSH CONCRETE CURB & GUTTER
 - 5 ACCESSIBLE PARKING LOGO, STRIPING, & SIGNAGE
 - 6 CROSS WALK STRIPING
 - 7 BIKE RACK - SEE ARCHITECTURAL PLANS
 - 8 CONCRETE SEATWALL WITH STONE VENEER AND CAP
 - 10 BOLLARD
 - 11 ALUMINUM ORNAMENTAL FENCE (BLACK) OR EQUAL -SEE ARCHITECTURAL PLANS
 - 13 CONCRETE RETAINING WALL
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 - 16 RETAINING WALL
 - 17 4' DIAMETER CONCRETE PLANTER
 - 18 6' WOODEN PRIVACY FENCE
 - 19 PEDESTRIAN RAMP WITH TRUNCATED DOMES
 - 20 BOARDWALK



SEE C300 - OVERALL SITE PLAN FOR SITE DEVELOPMENT SUMMARY AND GENERAL SITE NOTES

SEE HARDSCAPE PLAN FOR PAVEMENT TYPES AND DIMENSIONS.

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westwoodps.com

Designed: _____
Checked: _____
Drawn: _____
Record Drawing by/date: _____

Revisions:

- 05/10/19 Permit Revision #1
- 08/05/19 Permit Revision #3
- 08/21/19 Utility Revision
- 09/13/19 General Revision
- 09/30/19 General Revision

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly certified PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Blum
Date 09/30/19 License No. 41257

Prepared for:

Lifespace Communities

Friendship Village

Bloomington, Minnesota

PHASE 1 SOUTH
SITE PLAN

Date: 05/10/17
Sheet: C301 OF 45

CASE FILE #PL201900190

SEE C300 – OVERALL SITE PLAN FOR SITE DEVELOPMENT SUMMARY
AND GENERAL SITE NOTES

1 Site Details

- 1 B612 CURB & GUTTER
- 2 ACCESSIBLE DROPPED PEDESTRIAN RAMP
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		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE
		BOLLARD
		BOLLARD LIGHT
		4' DIAMETER CONCRETE PLANTER
		DECORATIVE STREET LIGHT
		BIKE RACK
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		STORM SEWER
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		FLARED END SECTION (WITH RIPRAP)

Site Notes

- A CURB TRANSITION, SEE GRADING PLAN
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W CONTRACTOR TO COMPLETE TEMPORARY PAVING TO
CONNECT PHASE 2 AREA TO EXISTING PAVEMENT
X EXISTING WALL TO REMAIN

ENGINEERING DIVISION
Approved By: Julie Long, PE
10/21/2019 10:47:46 AM

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NMJ 10/28/2019



PHASE 1
HEALTH CARE CENTER

SEE HARDSCAPE PLAN FOR PAVEMENT TYPES AND DIMENSIONS.

Westwood

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Ryan M. Bluhm
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Prepared for:

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Communities

Friendship
Village

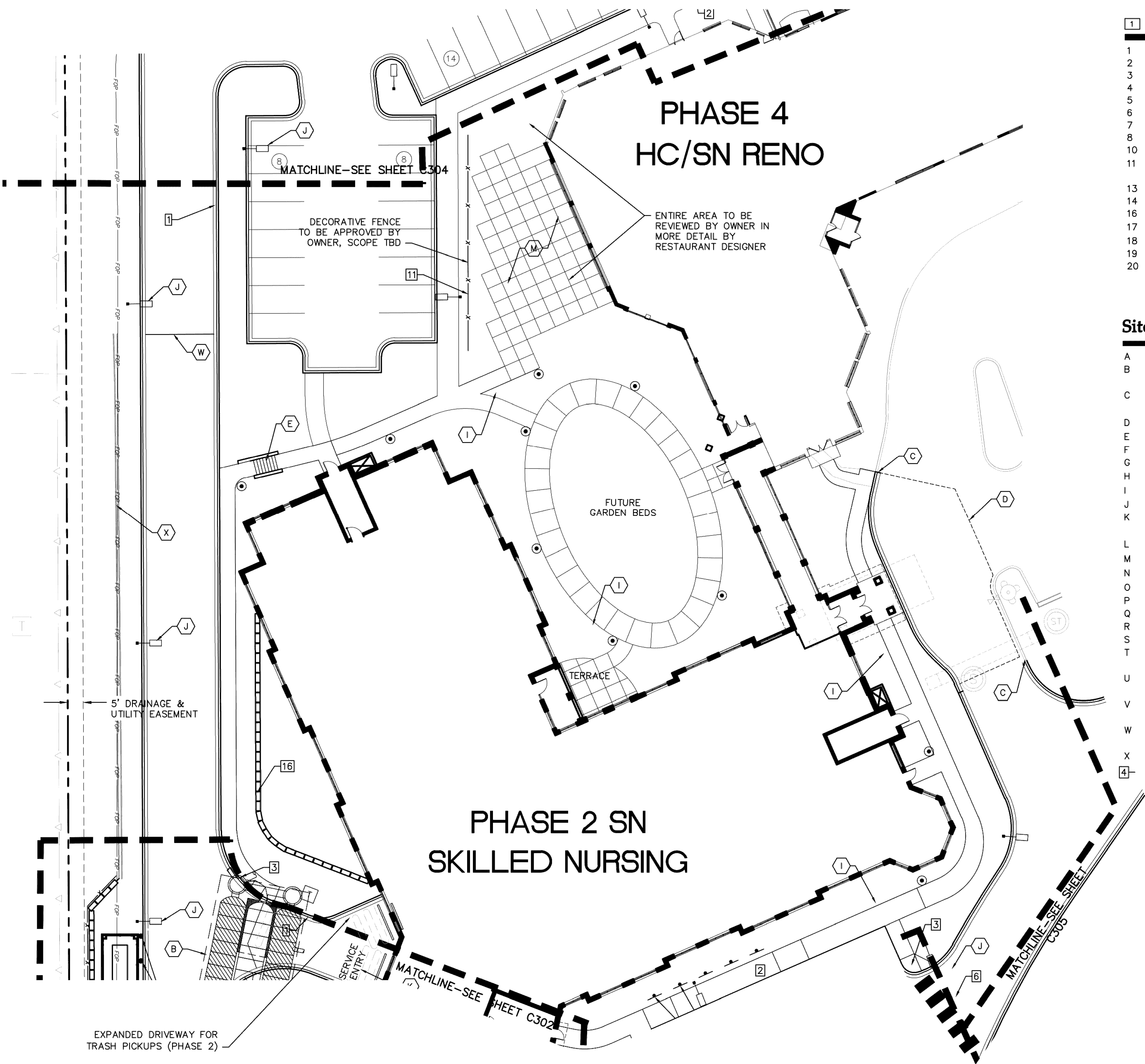
Bloomington, Minnesota

PHASE 1 HCC SITE
PLAN

Date: 05/10/17

Sheet: C302 OF 45

CASE FILE #PL201900190



SEE HARDSCAPE PLAN FOR PAVEMENT TYPES AND DIMENSIONS.

1 Site Details

- 1 B612 CURB & GUTTER
- 2 ACCESSIBLE DROPPED PEDESTRIAN RAMP
- 3 PEDESTRIAN CURB RAMP
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- 7 BIKE RACK - SEE ARCHITECTURAL PLANS
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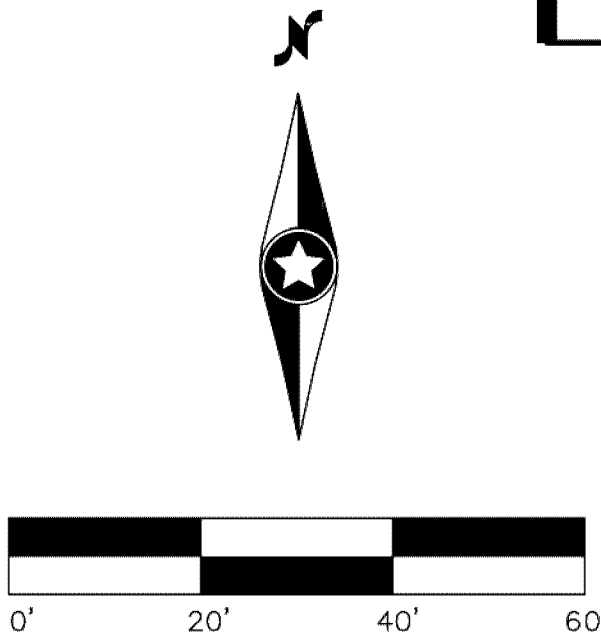
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		FLARED END SECTION (WITH RIPRAP)

SEE C300 - OVERALL SITE PLAN FOR SITE DEVELOPMENT SUMMARY AND GENERAL SITE NOTES

APPROVED
ZONING REVIEW ONLY
NMJ 10/28/2019

ENGINEERING DIVISION
Approved By: Julie Long, PE
08/28/2019 4:20:08 PM



Westwood

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Ryan M. Blum

Date: 08/05/19 License No. 41257

Prepared for:

Lifespace
Communities

Friendship
Village

Bloomington, Minnesota

PHASE 2 SN SITE
PLAN

Date: 05/10/17

Sheet: C303 OF 45

CASE FILE #PL201900190

1 Site Details

- 1 B612 CURB & GUTTER
- 2 ACCESSIBLE DROPPED PEDESTRIAN RAMP
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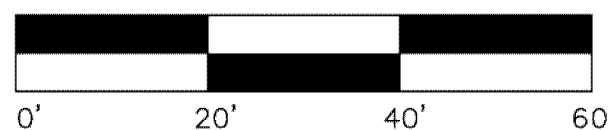
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---	---	BOLLARD LIGHT
---	---	4' DIAMETER CONCRETE PLANTER
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---	---	FLARED END SECTION (WITH RIPRAP)

SEE C300 - OVERALL SITE PLAN FOR SITE DEVELOPMENT SUMMARY AND GENERAL SITE NOTES

APPROVED
ZONING REVIEW ONLY
NMJ 10/28/2019

ENGINEERING DIVISION
Approved By: Julie Long, PE
08/28/2019 4:20:17 PM



Westwood

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Ryan M. Blum

Date: 08/05/19 License No. 41257

Prepared for:

Lifespace
Communities

Friendship
Village

Bloomington, Minnesota

PHASE 3 SITE PLAN

Date: 05/10/17

Sheet: C304 OF 45

CASE FILE #PL201900190

Site Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
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westwoodps.com

Designed:

Checked:

Drawn:

Record Drawing by/date:

Revisions:

6/05/10/19 Permit Revision #1
8/08/05/19 Permit Revision #3
10/08/21/19 Utility Revision
10/09/13/19 General Revision
10/09/30/19 General Revision

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly certified PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Bluhm
Date: 09/30/19 License No. 41257

Prepared for:

Lifespace
Communities

Friendship
Village

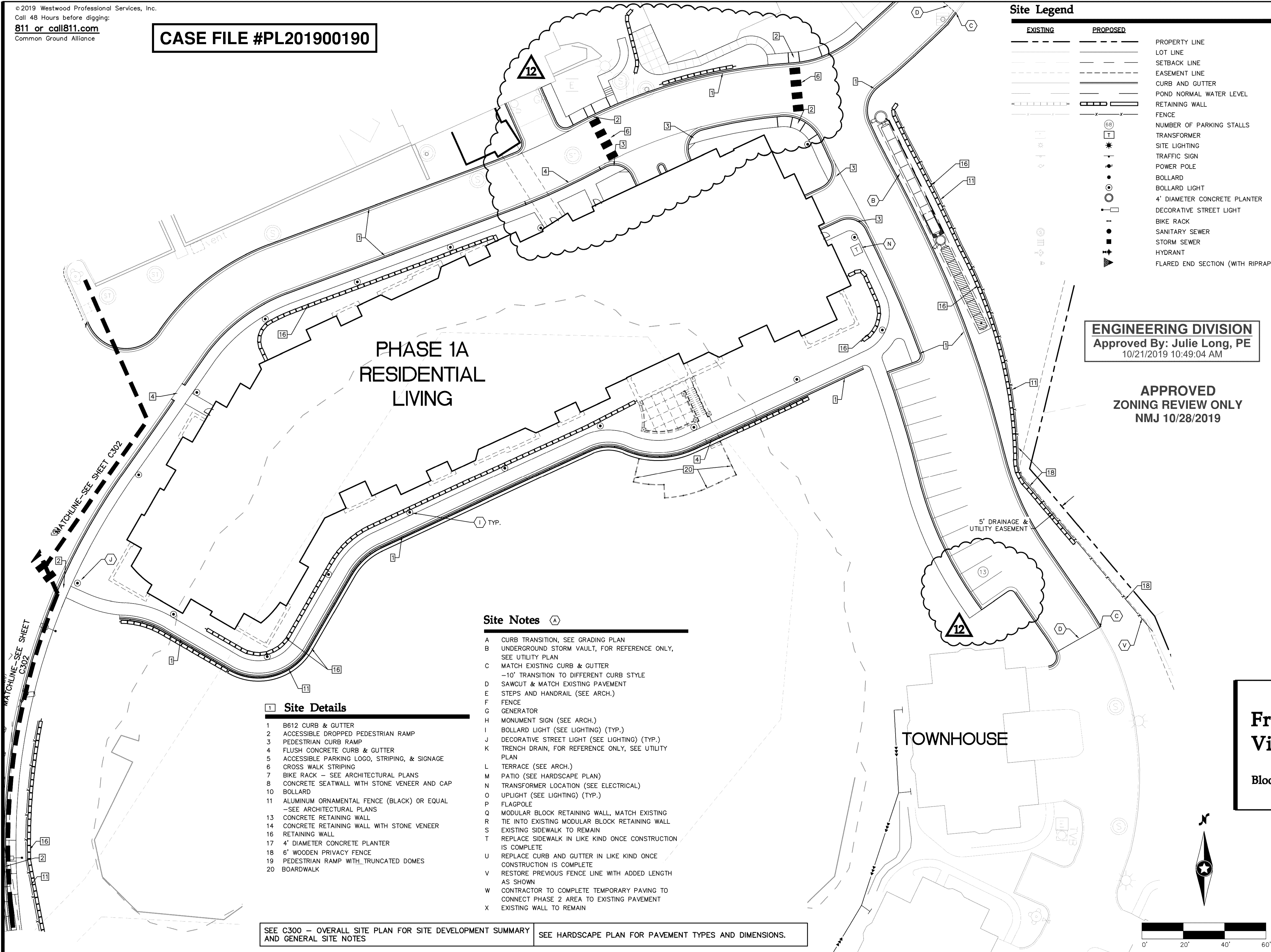
Bloomington, Minnesota

PHASE 1A RL SITE
PLAN

Date: 05/10/17

Sheet: C305 OF 45

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PHASE 1A
RESIDENTIAL
LIVING

TOWNHOUSE

Site Notes A

- A CURB TRANSITION, SEE GRADING PLAN
- B UNDERGROUND STORM VAULT, FOR REFERENCE ONLY, SEE UTILITY PLAN
- C MATCH EXISTING CURB & GUTTER
-10' TRANSITION TO DIFFERENT CURB STYLE
- D SAWCUT & MATCH EXISTING PAVEMENT
- E STEPS AND HANDRAIL (SEE ARCH.)
- F FENCE
- G GENERATOR
- H MONUMENT SIGN (SEE ARCH.)
- I BOLLARD LIGHT (SEE LIGHTING) (TYP.)
- J DECORATIVE STREET LIGHT (SEE LIGHTING) (TYP.)
- K TRENCH DRAIN, FOR REFERENCE ONLY, SEE UTILITY PLAN
- L TERRACE (SEE ARCH.)
- M PATIO (SEE HARDSCAPE PLAN)
- N TRANSFORMER LOCATION (SEE ELECTRICAL)
- O UPLIGHT (SEE LIGHTING) (TYP.)
- P FLAGPOLE
- Q MODULAR BLOCK RETAINING WALL, MATCH EXISTING
- R TIE INTO EXISTING MODULAR BLOCK RETAINING WALL
- S EXISTING SIDEWALK TO REMAIN
- T REPLACE SIDEWALK IN LIKE KIND ONCE CONSTRUCTION IS COMPLETE
- U REPLACE CURB AND GUTTER IN LIKE KIND ONCE CONSTRUCTION IS COMPLETE
- V RESTORE PREVIOUS FENCE LINE WITH ADDED LENGTH AS SHOWN
- W CONTRACTOR TO COMPLETE TEMPORARY PAVING TO CONNECT PHASE 2 AREA TO EXISTING PAVEMENT
- X EXISTING WALL TO REMAIN

1 Site Details

- 1 B612 CURB & GUTTER
- 2 ACCESSIBLE DROPPED PEDESTRIAN RAMP
- 3 PEDESTRIAN CURB RAMP
- 4 FLUSH CONCRETE CURB & GUTTER
- 5 ACCESSIBLE PARKING LOGO, STRIPING, & SIGNAGE
- 6 CROSS WALK STRIPING
- 7 BIKE RACK - SEE ARCHITECTURAL PLANS
- 8 CONCRETE SEATWALL WITH STONE VENEER AND CAP
- 10 BOLLARD
- 11 ALUMINUM ORNAMENTAL FENCE (BLACK) OR EQUAL -SEE ARCHITECTURAL PLANS
- 13 CONCRETE RETAINING WALL
- 14 CONCRETE RETAINING WALL WITH STONE VENEER
- 16 RETAINING WALL
- 17 4' DIAMETER CONCRETE PLANTER
- 18 6' WOODEN PRIVACY FENCE
- 19 PEDESTRIAN RAMP WITH TRUNCATED DOMES
- 20 BOARDWALK

SEE C300 - OVERALL SITE PLAN FOR SITE DEVELOPMENT SUMMARY AND GENERAL SITE NOTES

SEE HARDSCAPE PLAN FOR PAVEMENT TYPES AND DIMENSIONS.