

Ikes at Cambria
8001 28th Avenue South
PL201900209

CAMBRIA RESTAURANT

Must meet current MN State Building Code

Must meet MN Accessibility Code

SAC review by MET council will be required.

When 80% of plans are completed, a preliminary plan review meeting can be set up with Building & Inspections manager.

Provide an Environmental Health Plan Review Application

Provide specification sheets for all new and used equipment being proposed for use in this facility

Provide floor, wall and ceiling finish schedule of kitchen and service area

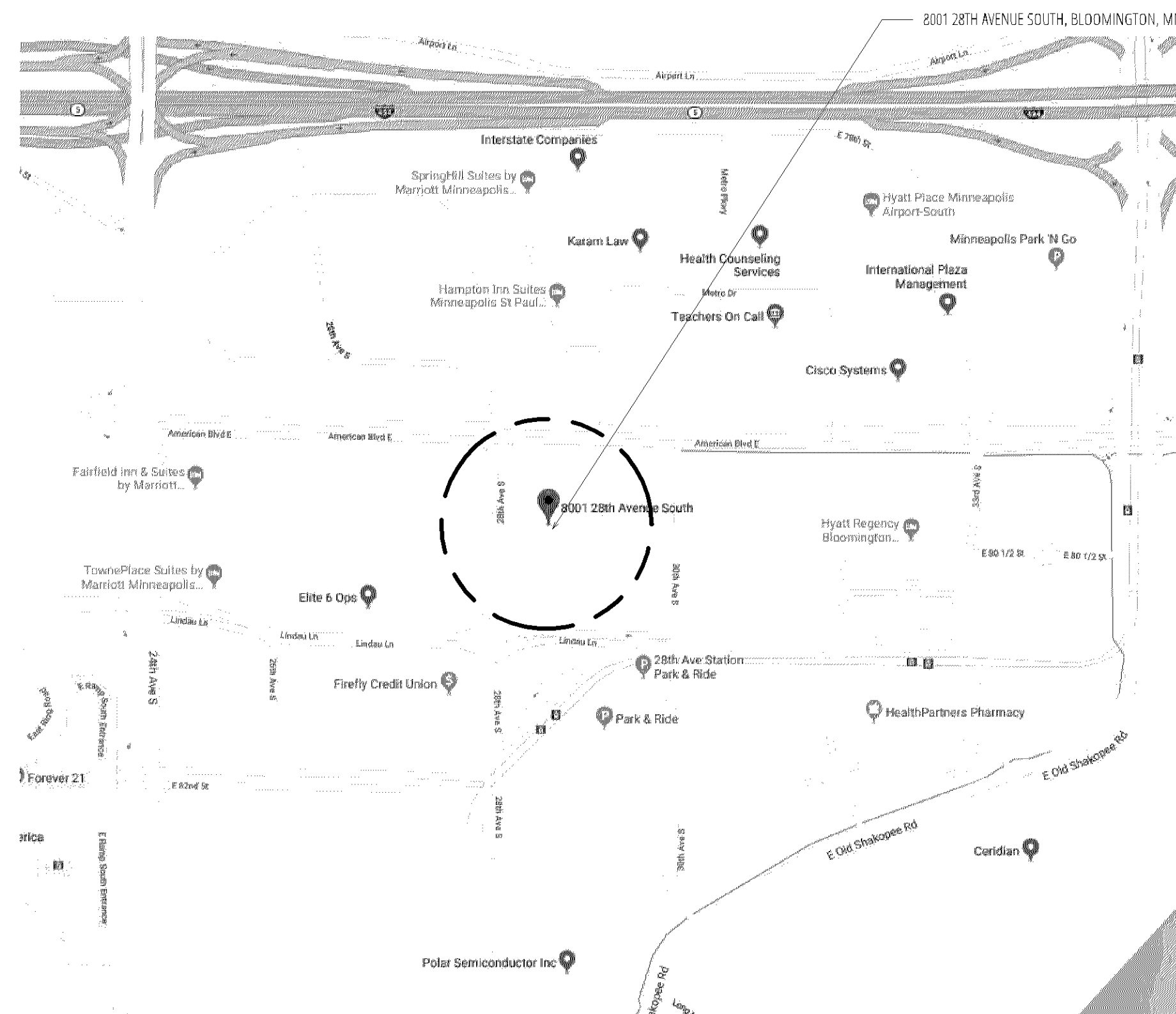
Trash and recycling storage must comply with Section 21.301.17 of the City Code.



Provide building elevations that identify proposed exterior building materials. EIFS is not a permitted primary material. A minimum 50 percent transparency between 2 and 10 feet is required along 28th Avenue S. and 25 percent along American Blvd. Include transparency percentages on building elevation drawings.

Provide an overall FAR calculation for the entire development. The minimum FAR in the LX district is 0.7. When the hotel development was approved, the City Council approved a small FAR deviation to go below 0.7. A further reduction approval may be necessary.

SITE LOCATION



SITE:

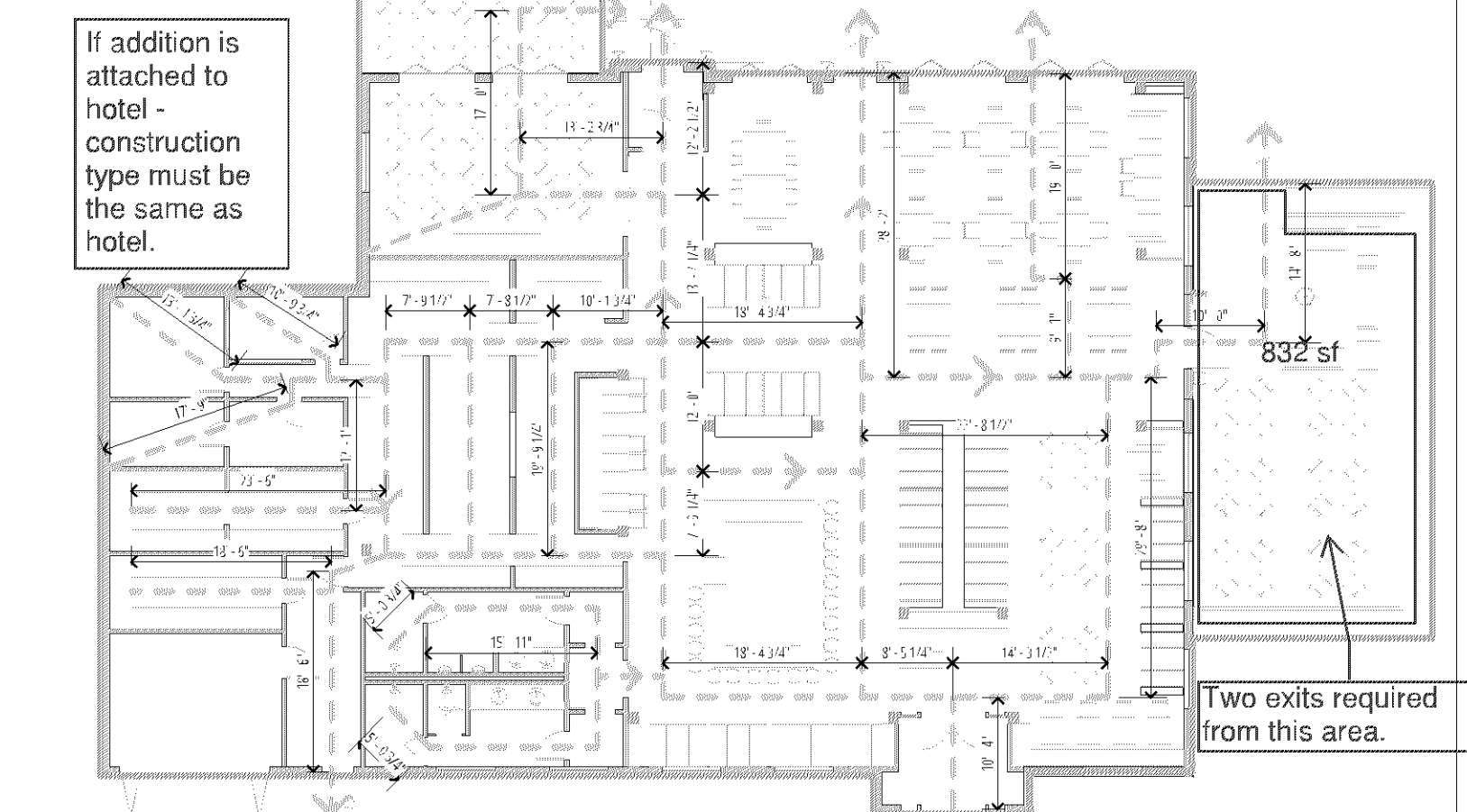
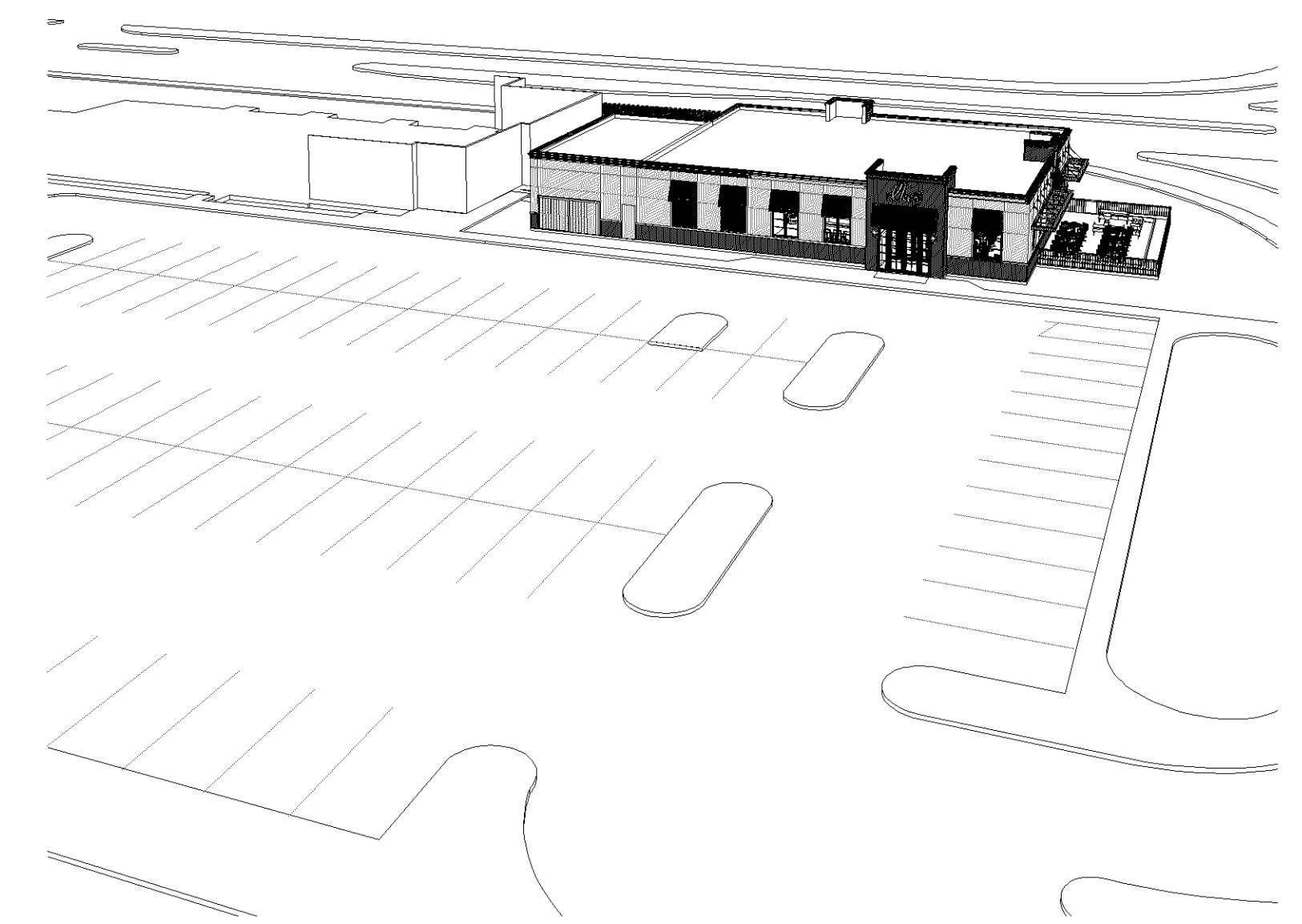


PROJECT LOCATION

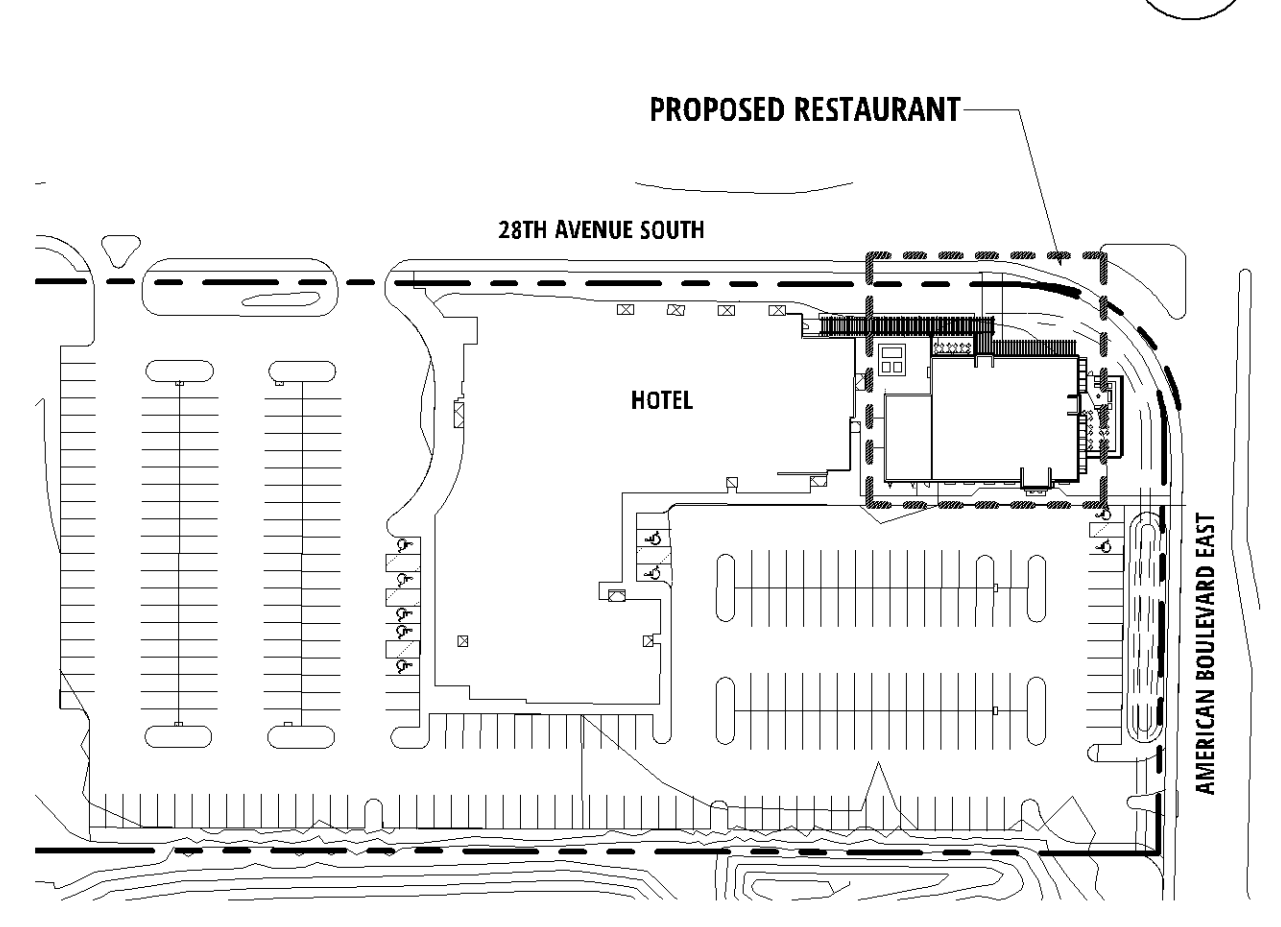
8001 28th Avenue South, Bloomington, MN

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- AI.1 SITE PLAN
- AI.2 ENLARGED SITE PLAN
- AI.3 SITE DETAILS
- AI.4 LANDSCAPE PLAN
- A2.0 FOUNDATION, ROOF & ROOF FRAMING PLAN
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- AS.1 EXTERIOR ELEVATIONS
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- A7.4 INTERIOR ELEVATIONS W/O FFE
- A7.5 INTERIOR ELEVATIONS W/O FFE
- A8.0 EXTERIOR PERSPECTIVES
- SP1 SPECIFICATIONS

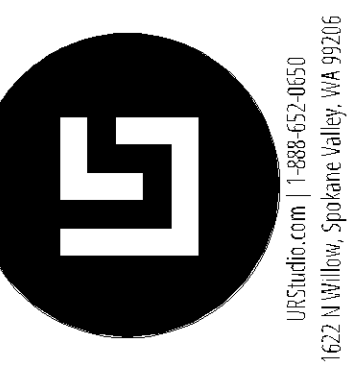


EGRESS PLAN



BUILDING PLAN

PRICING SET, 08-27-19



DATE: _____
 REVISIONS: _____

BRUCE KNOTSON Architects
 8001 34th AVENUE
 BLOOMINGTON, MN 55425
 PHONE 612-332-8000 FAX 952-941-6515
 WWW.KNUTSON-ARCHITECTS.COM

DATE: 12-15-14
 I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION PORT WAS PREPARED BY ME OR UNDER MY DIRECT SUP. I AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

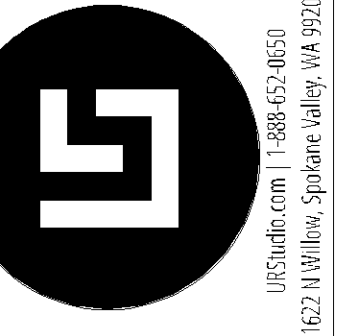
Cambria Restaurant
 8001 28th Avenue South, Bloomington, MN

JOB NO: 4404

SHEET NO:
T
 TITLE SHEET

REGISTRATION NO: 117789

8/29/2019 11:52:56 AM



105000.com | 1.888.652.0650
1622 N Willow, Spokane Valley, WA 99216

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Cambria Restaurant
8001 28th Avenue South, Bloomington, MN

JOB NO: 4404

SHEET NO:

A1.1

SITE PLAN

9/29/2018 9:58:57 AM

Ikes at Cambria
8001 28th Avenue South
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28TH AVENUE SOUTH

LINDAU LANE

HOTEL
25,094 SF
178 SUITES
FFE= 212.50

The Cambria Suites preliminary development plan included fully enclosed corridor between the hotel and restaurant. Consider retaining the shared corridor for the proposed restaurant.

PROPOSED RESTAURANT

Hydrant coverage shall be provided within 50' of the FDC and within 150' of all portions of the structure.

Fire alarm and annunciator panels and Knox box locations to be determined by the Fire Prevention Division.

Emergency responder radio coverage meeting the requirements of appendix L in the 2015 MSFC shall be provided throughout the property and within the structures.

Insure kitchen hood suppression system is an approved UL300 listed system connected to the building's fire sprinkler system.

Fire Department Connection Shall Be front (main entrance) side of building.

insure the proposed landscaping doesn't interfere with access to the building.

Show easements: sidewalk/bikeway and drainage/utility. No pond or patio in easement area.

Correct demolished parking island line work.

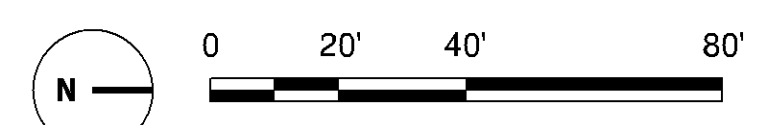
13 stalls are depicted along American Blvd. The plan label is 14.

Radius on adjacent parcel.

Proposed location of right-in right-out driveway aligns ingress and egress traffic nearly head on, depicts radius extending onto adjacent parcel, and also does not position egress traffic well for accessing the eastbound left turn bay to facilitate an EB to WB u-turn movement (pink highlight).

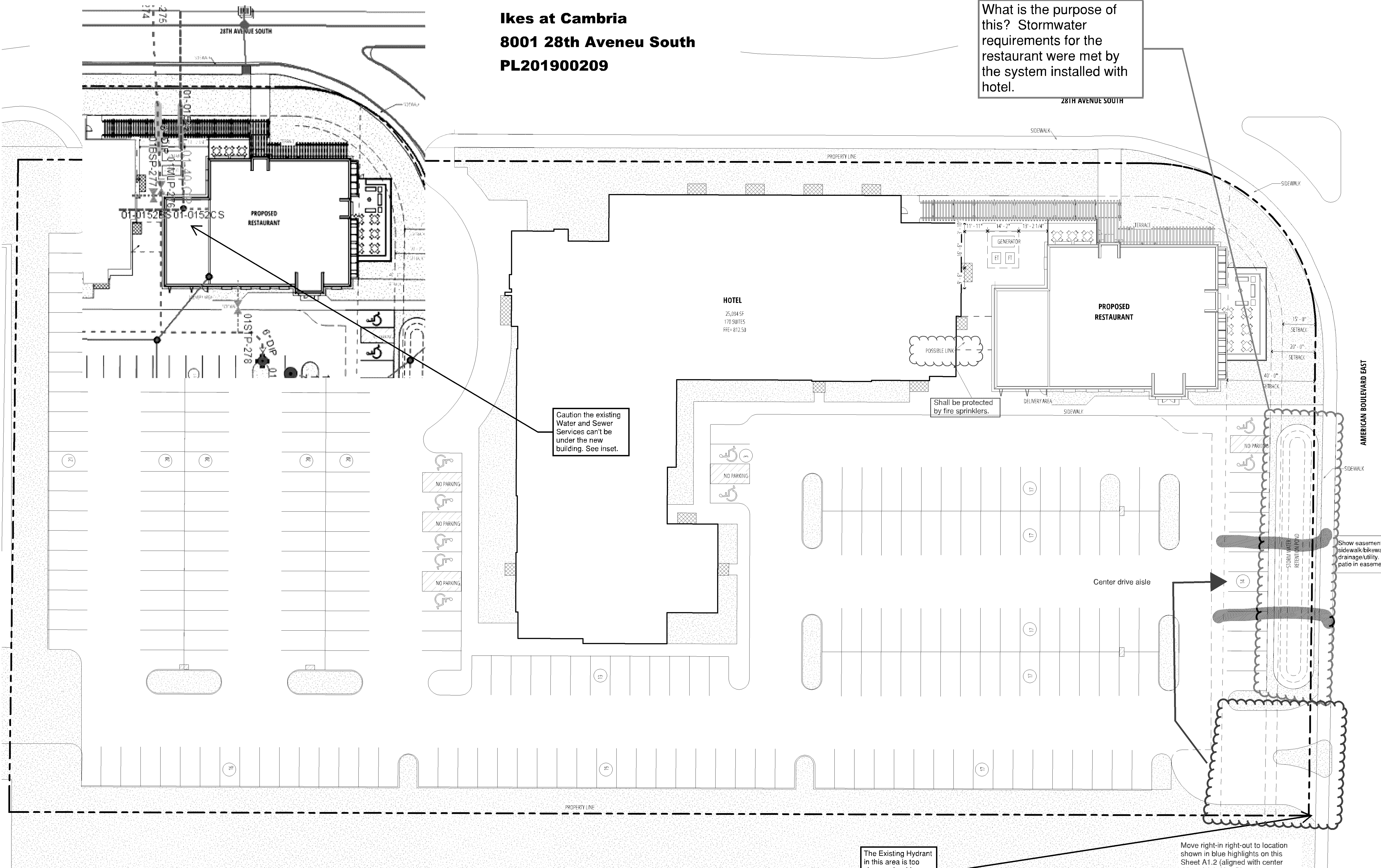
Move right-in right-out to location shown in blue highlights which will facilitate access into the start of the EB left turn bay. Use Bloomington standard commercial driveway detail and no splitter island.

1 SITE PLAN
A1.1 SCALE: 1" = 30'-0"

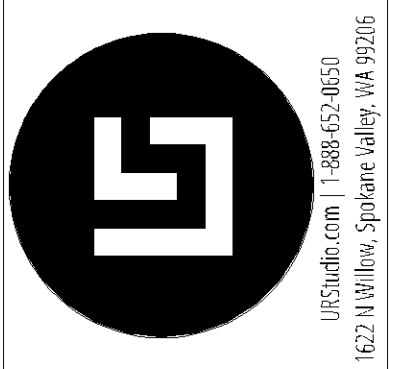
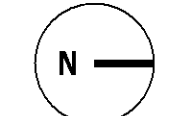


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What is the purpose of this? Stormwater requirements for the restaurant were met by the system installed with hotel.



1 ENLARGED SITE PLAN
A1.2 SCALE: 1" = 20'-0"



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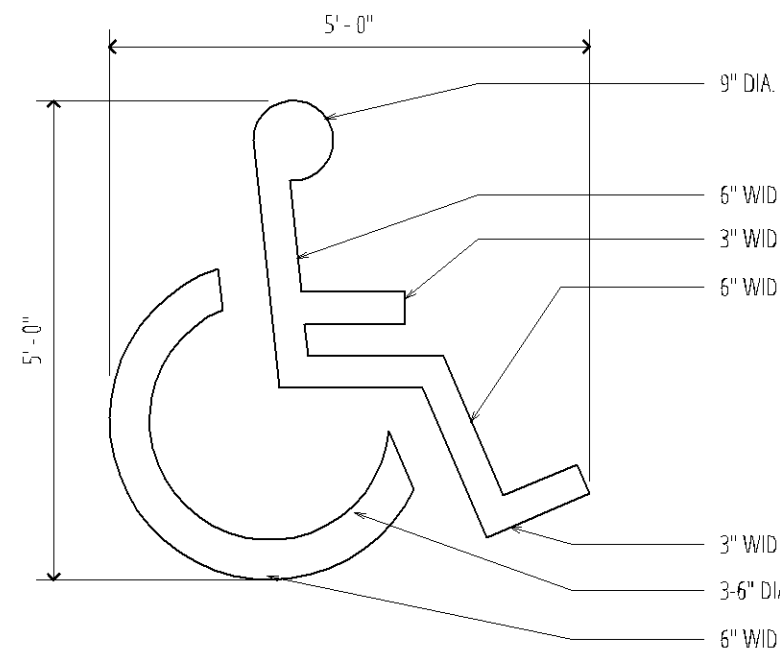
JOB NO: 4404

SHEET NO:
A1.2
 ENLARGED SITE PLAN

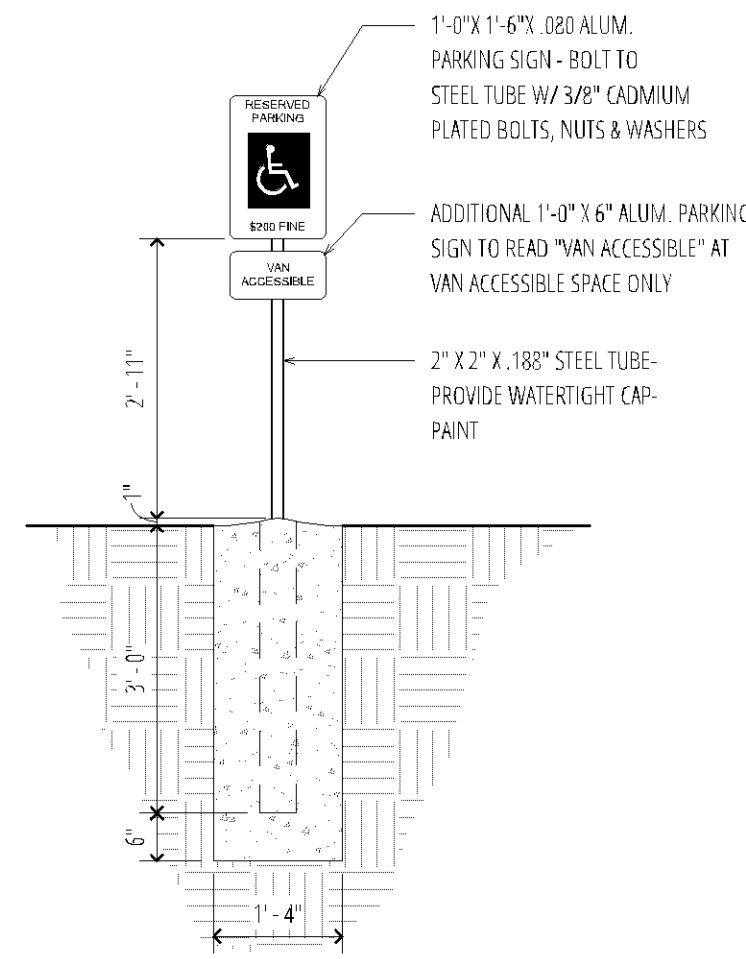
REGISTRATION NO: 11789

9/29/2019 9:58:59 AM

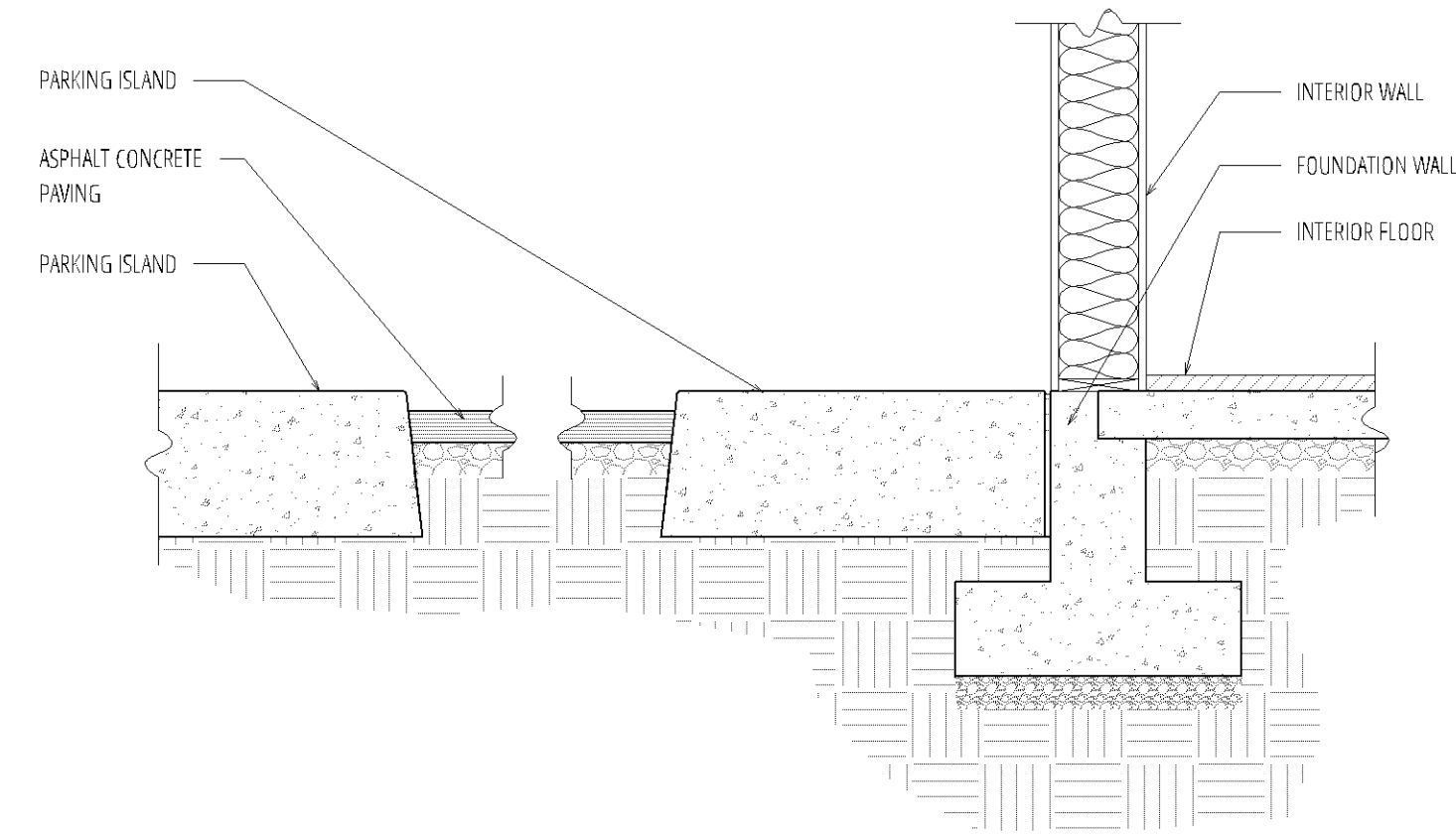
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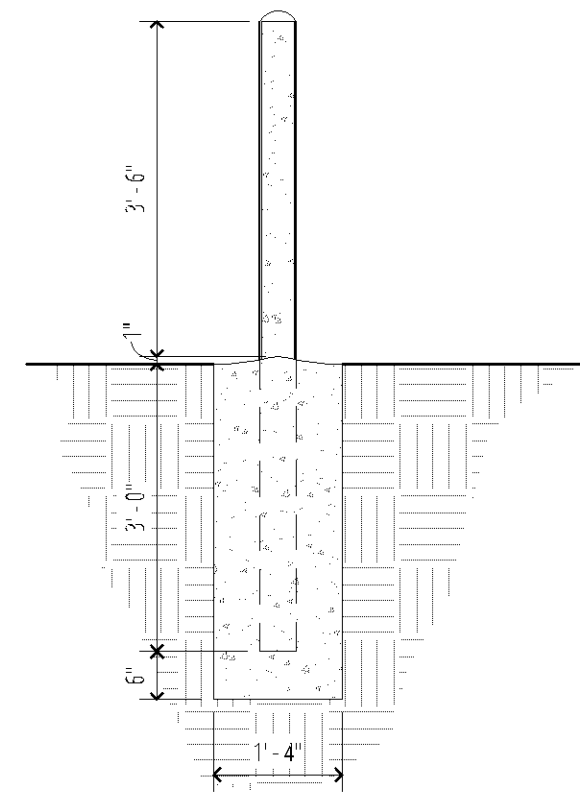
7 HANDICAP SYMBOL
A1.3 SCALE: 1/2" = 1'-0"



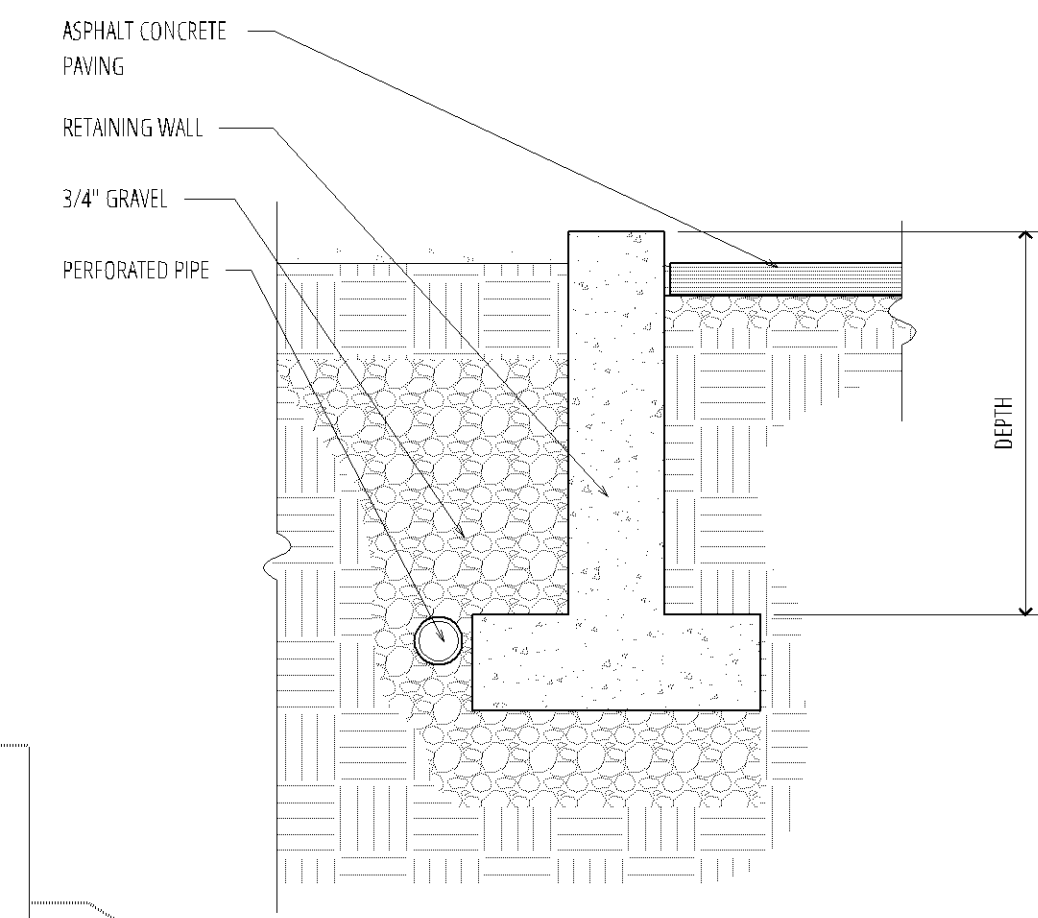
6 HANDICAP SIGN ELEVATION
A1.3 SCALE: 1/2" = 1'-0"



3 PARKING CURB DETAIL
A1.3 SCALE: 1/2" = 1'-0"

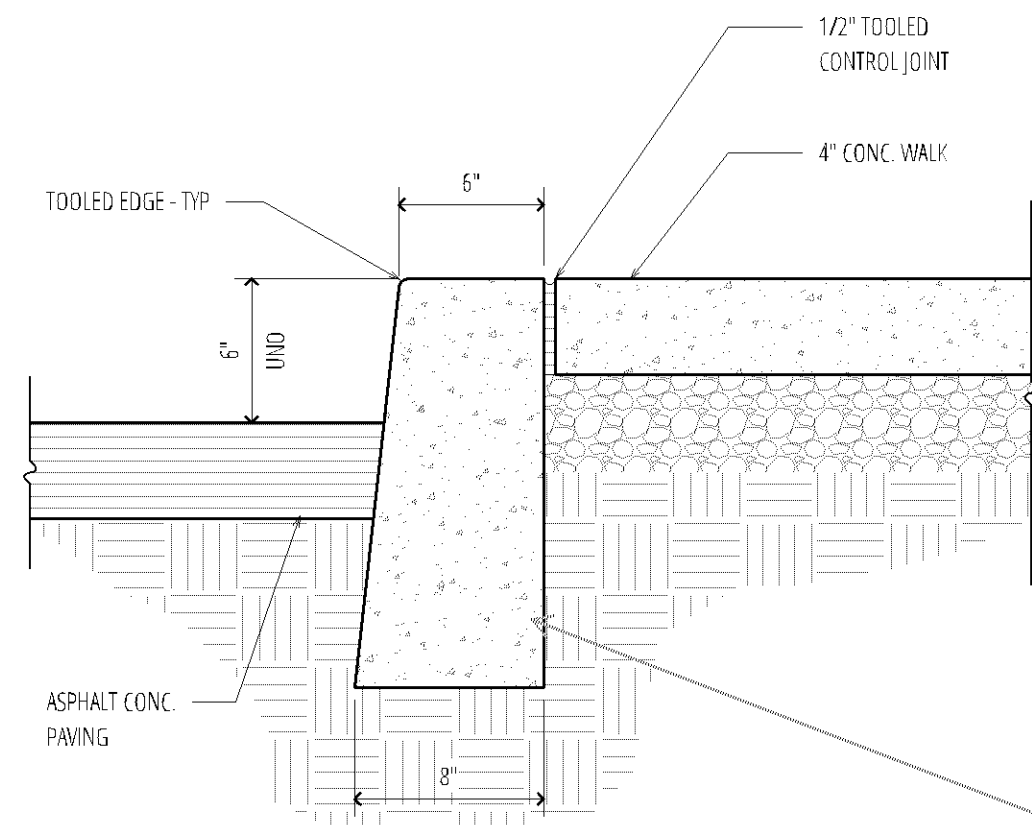


5 TYP. BOLLARD
A1.3 SCALE: 1/2" = 1'-0"



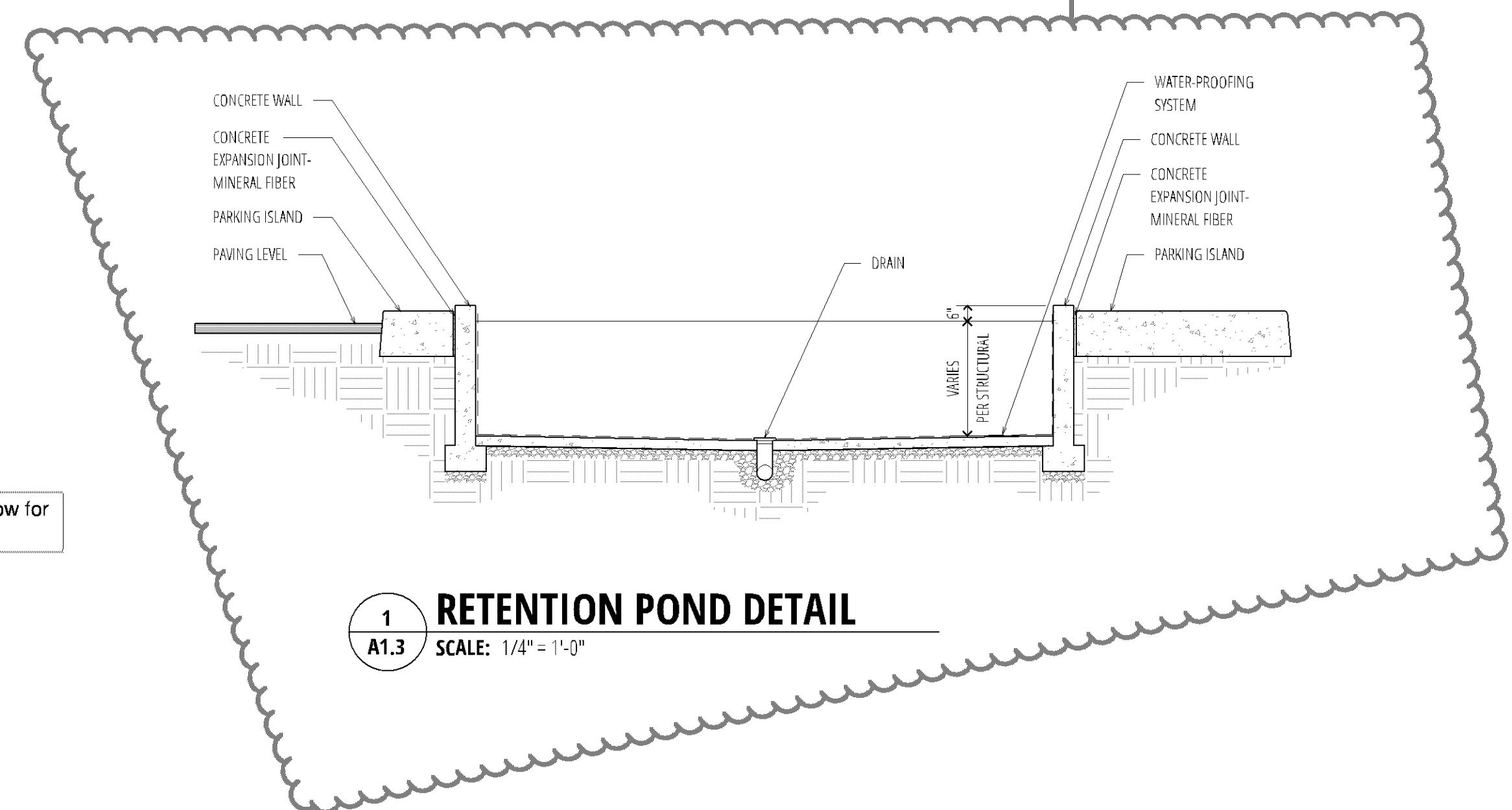
2 RETAINING WALL DETAIL
A1.3 SCALE: 1/2" = 1'-0"

This detail does not match grading plan.

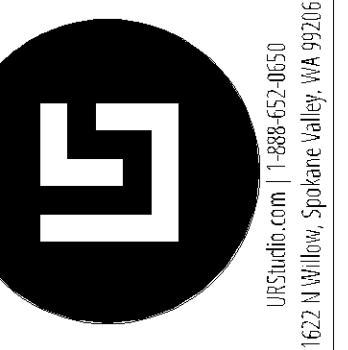


4 CONCRETE CURB DETAIL
A1.3 SCALE: 1 1/2" = 1'-0"

Depth is not show for curb detail



1 RETENTION POND DETAIL
A1.3 SCALE: 1/4" = 1'-0"



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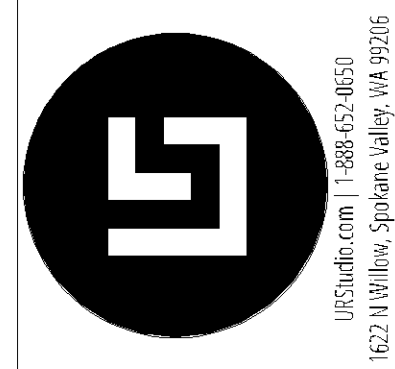
SHEET NO:
A1.3
 SITE DETAILS

REGISTRATION NO: 11789

9/29/2019 9:59:00 AM

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The LX zoning district has a maximum 20-foot front yard building setback. The depicted setback is well beyond the maximum 20-foot setback. This is an issue because the development overall would not meet the minimum 50 percent building enclosure requirement - less than 50 percent of the street frontage (28th Avenue) is "enclosed" with a building meeting the setback requirement.



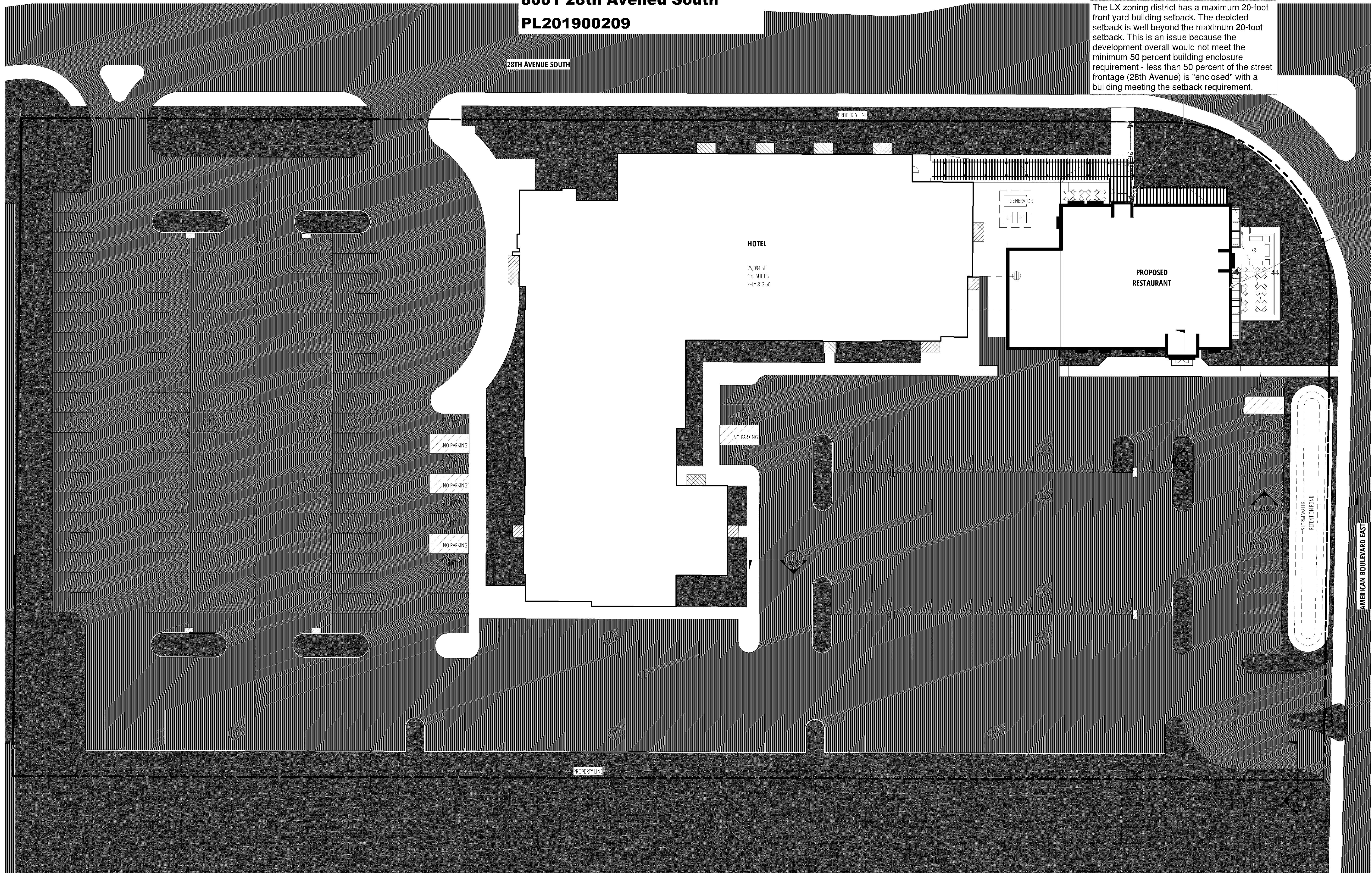
DATE: _____
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The American Blvd. frontage does not meet the minimum 30 percent building enclosure requirement.

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1 LANDSCAPE PLAN
A1.4 SCALE: 1" = 20'-0"

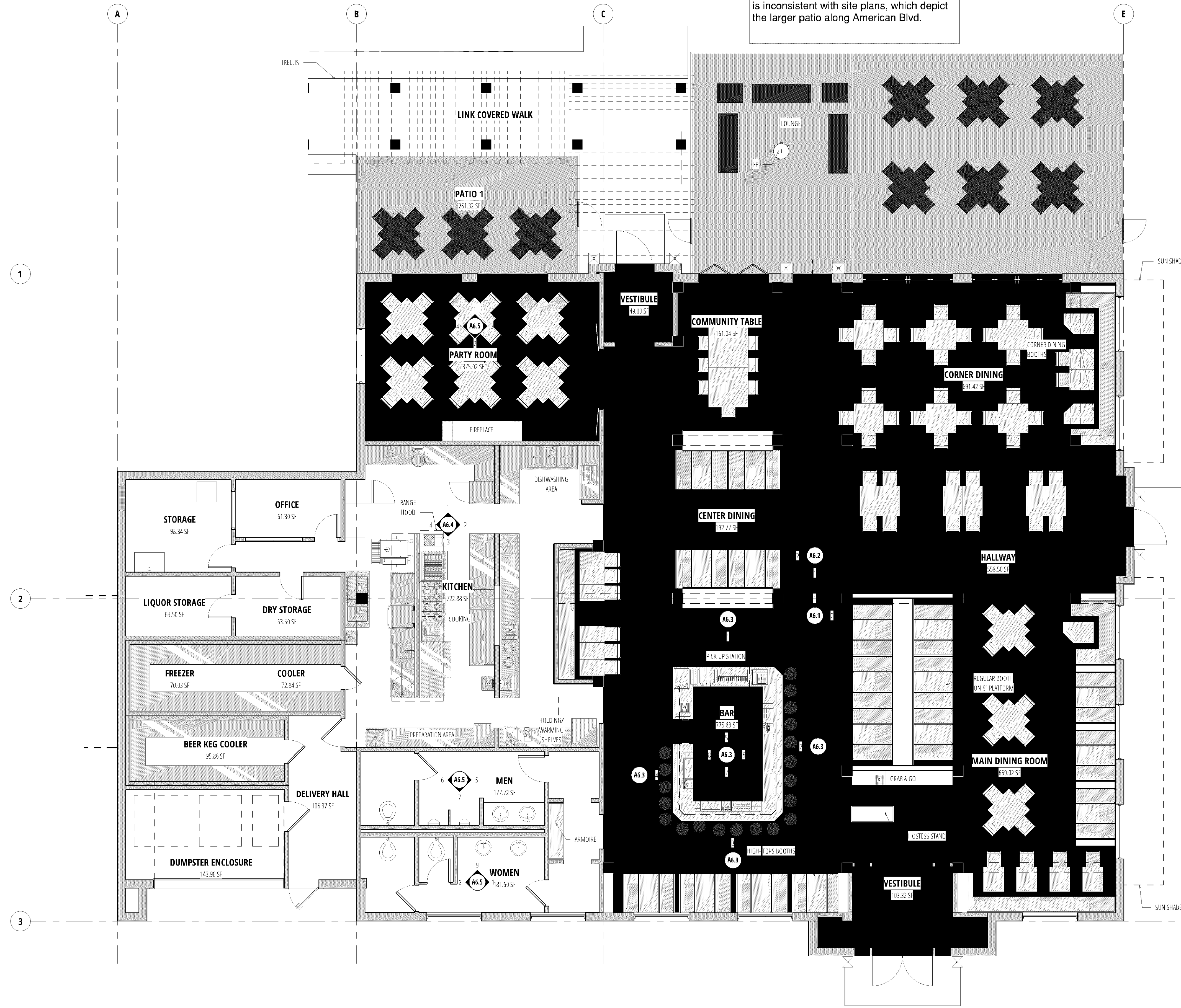
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SHEET NO:
A1.4
 LANDSCAPE PLAN

9/29/2018 9:59:06 AM

Ikes at Cambria
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SEATING TABULATION (Int.)

BAR	20
BAR TABLES	33
CENTER DINING	28
MAIN DINING ROOM	50
CORNER DINING	48
COMMUNITY TABLE	8
PARTY ROOM	24
TOTAL:	209 SEATS

SEATING TABULATION (Ext.)

PARTY PATIO	12
TERRACE PATIO	28
TOTAL:	40 SEATS

INTERIOR FLOOR AREA TABULATION

Name	Area
KITCHEN	722.88 SF
PARTY ROOM	375.02 SF
WOMEN	181.60 SF
MEN	177.72 SF
OFFICE	61.30 SF
STORAGE	88.94 SF
LIQUOR STORAGE	63.50 SF
DRY STORAGE	63.50 SF
FREEZER	70.03 SF
COOLER	72.24 SF
COMMUNITY TABLE	161.04 SF
MAIN DINING ROOM	669.02 SF
BAR	775.83 SF
VESTIBULE	103.32 SF
DUMPSTER ENCLOSURE	143.96 SF
CORNER DINING	691.42 SF
HALLWAY	558.50 SF
CENTER DINING	192.77 SF
BEER KEG COOLER	95.25 SF
DELIVERY HALL	106.37 SF
Total Gross Floor Area	5384.81 SF

Based on City Code, the parking requirement for the restaurant would be 89 parking stalls. The parking study conducted in preparation for a development application demonstrated a substantial parking reduction would not lead to parking deficiency.

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Son of Ike's Restaurant

8001 28th Avenue South, Bloomington, MN

JOB NO: 4404

SHEET NO:

P2.3

FFE PLAN (Colored)

10/3/2019 7:04:18 AM

Freestanding restaurants must be a minimum 10,000 square feet. The proposed restaurant, about 6,000 square feet, does not meet the minimum requirement.

Physically attaching the building to the hotel would alleviate the floor area issue.

1 FFE PLAN (Colored)
 P2.3 SCALE: 3/16" = 1'-0"