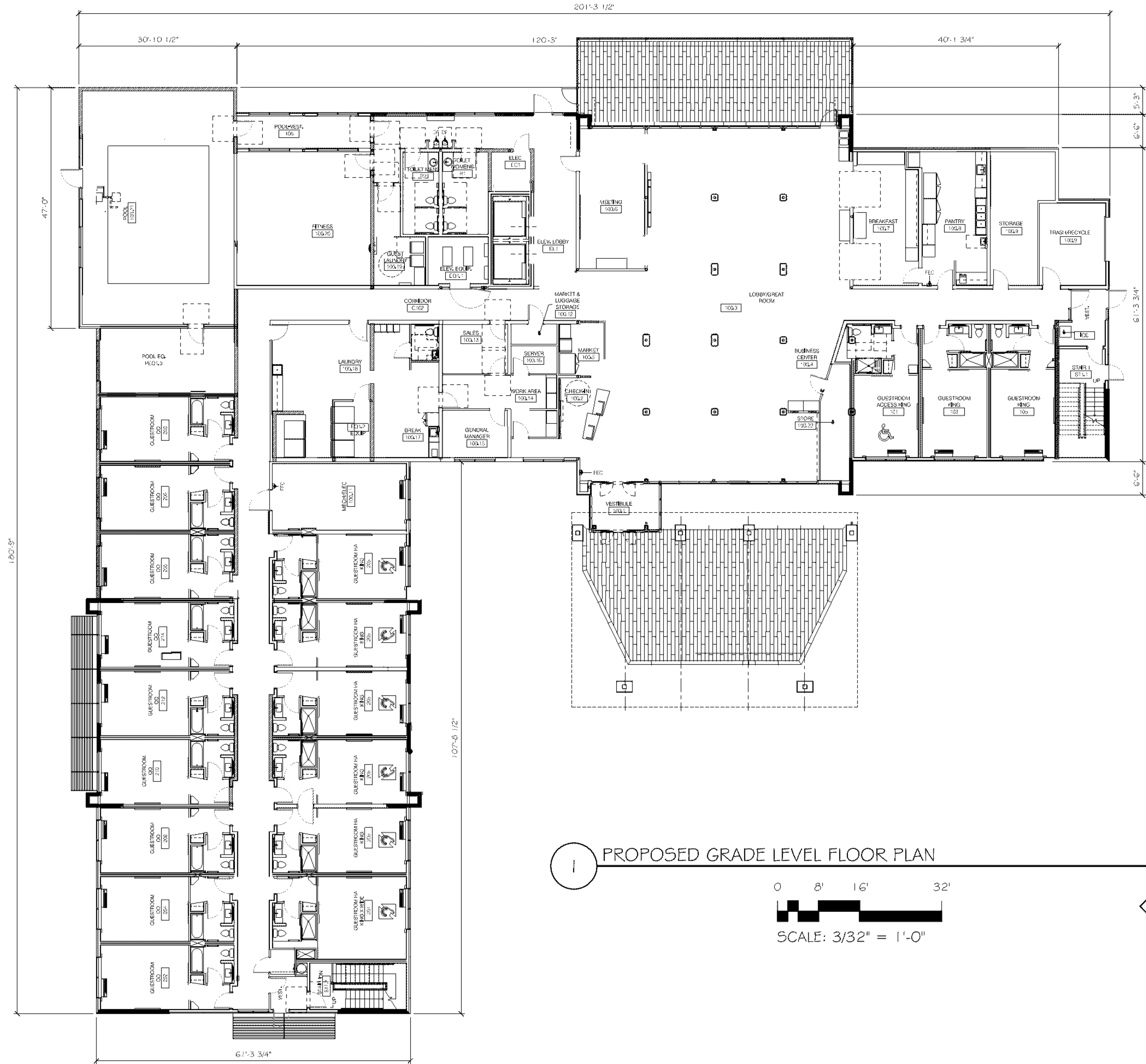


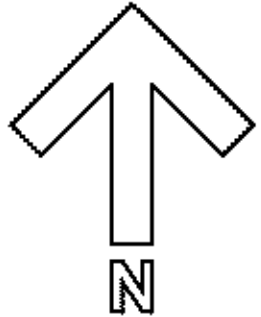


SHEET NUMBER A001



PROPOSED GRADE LEVEL FLOOR PLAN

0 8' 16' 32'  
SCALE: 3/32" = 1'-0"



Certification & Seal:

MARK DATE DESCRIPTION

DATE ISSUED: 01/06/2016

ISSUE PHASE: SCHEMATIC

PROJECT TITLE:

HOLIDAY INN  
EXPRESS

PROJECT OWNER:  
HAWKEYE HOTELS

PROJECT LOCATION:  
BLOOMINGTON  
MINNESOTA

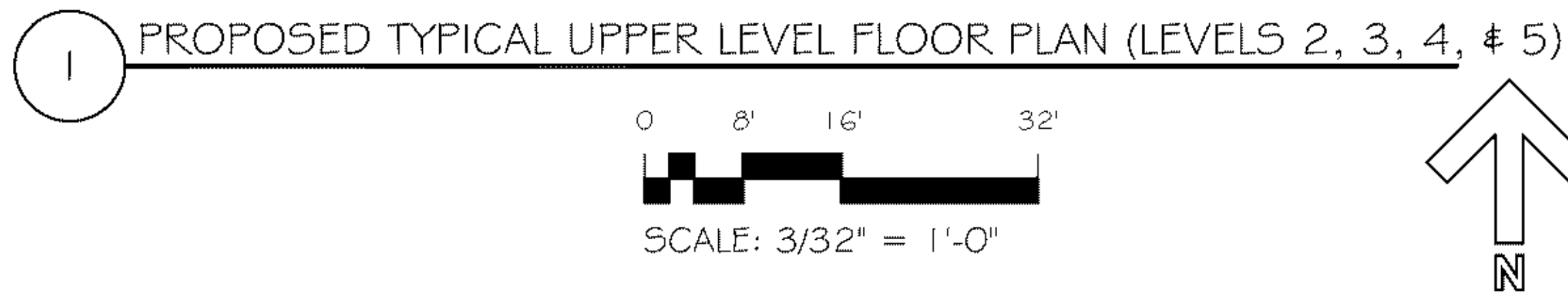
SHEET TITLE:

GRADE LEVEL  
FLOOR PLAN

SCALE:  
AS NOTED

PROJECT NUMBER 33476

SHEET NUMBER A101



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Certification & Seal:

| MARK           | DATE       | DESCRIPTION |
|----------------|------------|-------------|
| DATE ISSUED:   | 01/06/2016 |             |
| ISSUE PHASE:   | SCHEMATIC  |             |
| PROJECT TITLE: |            |             |

HOLIDAY INN  
EXPRESS

PROJECT OWNER:  
HAWKEYE HOTELS

|                   |             |
|-------------------|-------------|
| PROJECT LOCATION: | BLOOMINGTON |
|                   | MINNESOTA   |
| SHEET TITLE:      |             |

TYP. UPPER LEVEL  
FLOOR PLAN

SCALE:  
AS NOTED

|                   |       |
|-------------------|-------|
| PROJECT<br>NUMBER | 33476 |
| SHEET<br>NUMBER   | A102  |

Where is the sidewalk along 12th Avenue? It is needed.

Build sidewalk in ROW/easement along 12th Avenue if existing sidewalk is not remaining

Appears the setback is based on the current property line. The Master ROW plan calls for 50 feet from centerline along 12th Avenue. Currently there is 30 feet from center for the vacant lots and 40 feet from center for the hotel. The plans must be modified to account for the additional land area for right-of-way. Section 19.108(b)(2).

All Driveway access will need to follow Bloomington Non-Residential Driveway approach detail

Is this intended to be a right-in only entrance? If so, modify the curb to clearly let drivers know. If right-in and left-in are allowed, make sure signage clearly communicates to drivers that there is no exit allowed to 12th Avenue.

35' BUILDING SETBACK  
20' PARKING SETBACK  
PROPERTY LINE

Label streets - 12th Avenue

**PROPOSED LOT 'A'**  
+/- 123,387 SF (+/- 2.833 AC)  
5 STORY  
HOLIDAY INN EXPRESS = 174 GUEST ROOMS  
  
REQUIRED PARKING 192 STALLS (1.1 TO 1 RATIO)  
PARKING PROVIDED = 183 STALLS (1.05 TO 1)  
  
+/- 73% IMPERVIOUS COVERAGE

1 SITE PLAN WITH FIRST FLOOR  
1" = 25' - 0"

Add bar scale

Sidewalk would follow around the cul-de-sac. No need for curb ramps into the cul-de-sac and no

35' BUILDING SETBACK  
20' PARKING SETBACK  
PROPERTY LINE

Label all parking lot dimensions (aisle widths, parking space length and width, islands, etc.)

A SAC review is required prior to permit issuance.

All islands must be 8 feet wide (inside curb) and have one tree. (Section 21.301.06(c)(2)(H))

Be sure all access aisles are a minimum 8 ft wide

25' BUILDING SETBACK  
5' PARKING SETBACK  
PROPERTY LINE

Label streets - 13th Avenue

No crosswalk through the middle of a cul de sac

Cul de sacs need ROW radius of 60' minimum and 48' radius for the pavement 108'-8 3/4"

35' BUILDING SETBACK  
20' PARKING SETBACK  
PROPERTY LINE

Sidewalk adjacent to parking must be 7 feet wide to accommodate vehicle turning. Code requires 5 feet clear. Section 21.301.04(c)(4)(B)

35' BUILDING SETBACK  
20' PARKING SETBACK  
PROPERTY LINE

Cul de sacs need ROW radius of 60' minimum and 48' radius for the pavement. Add dimension labels

110'-3"  
35' BUILDING SETBACK  
20' PARKING SETBACK  
PROPERTY LINE

35' BUILDING SETBACK  
20' PARKING SETBACK  
PROPERTY LINE

All islands must be 8 feet wide (inside curb) and have one tree. (Section 21.301.06(c)(2)(H))

25' BUILDING SETBACK  
5' PARKING SETBACK  
PROPERTY LINE

This is a difficult driveway to navigate with the two drive aisles and the cul de sac

had:sp oas:dfpas  
vpad:fu pda:lj pdj ad  
jfbv:bnps:fjbj npz:xjbnv  
:zjnzp:jxlbnp:zdjfbn:zx  
jnb:zdjfbn :vzjbz vxb  
zcv

MARK DATE DESCRIPTION  
DATE ISSUED: 01/06/2016  
ISSUE PHASE: SCHEMATIC  
PROJECT TITLE:

HOLIDAY INN EXPRESS

PROJECT OWNER:  
HAWKEYE HOTELS

PROJECT LOCATION:  
BLOOMINGTON MINNESOTA

SHEET TITLE:

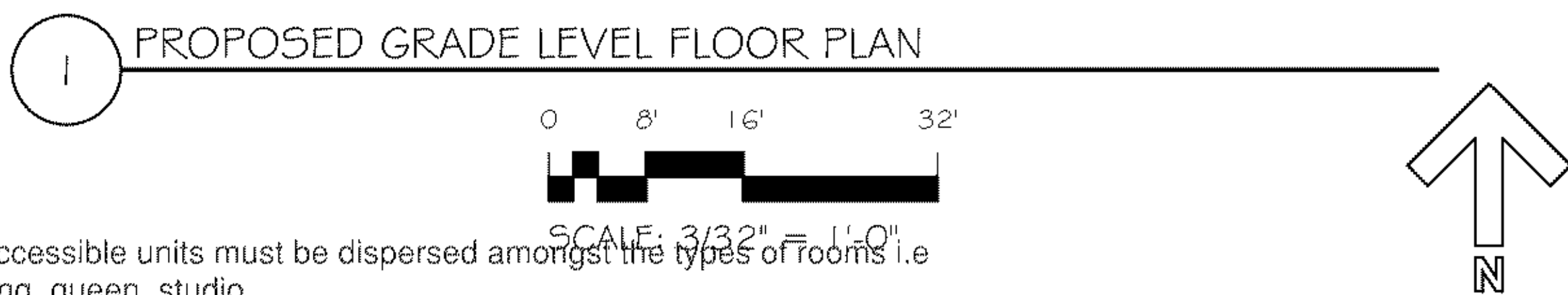
SITE PLAN

SCALE:  
AS NOTED

PROJECT NUMBER 33476  
SHEET NUMBER A001

**CITIES EDGE ARCHITECTS**  
103 Fifteenth Ave NW, Willmar, MN 56201  
Phone: 320-235-7775 Fax: 320-235-0673  
www.CitiesEdgeArchitects.com  
CITIES EDGE, LLC IS A WHOLLY OWNED SUBSIDIARY OF HAWKEYE HOTELS, LLC.





| MARK                                       | DATE       | DESCRIPTION |
|--------------------------------------------|------------|-------------|
| DATE ISSUED:                               | 01/06/2016 |             |
| ISSUE PHASE:                               | SCHEMATIC  |             |
| PROJECT TITLE:                             |            |             |
| HOLIDAY INN EXPRESS                        |            |             |
| PROJECT OWNER:<br>HAWKEYE HOTELS           |            |             |
| PROJECT LOCATION:<br>BLOOMINGTON MINNESOTA |            |             |
| SHEET TITLE:                               |            |             |
| GRADE LEVEL FLOOR PLAN                     |            |             |
| SCALE:<br>AS NOTED                         |            |             |
| PROJECT NUMBER                             | 33476      |             |
| SHEET NUMBER                               | A101       |             |