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SITE DEVELOPMENT PLANS FOR BANK OF AMERICA

SECTION 15, TOWNSHIP 27, RANGE 24 BLOOMINGTON, HENNEPIN COUNTY, MN

PROJECT TEAM:

ENGINEER & LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.



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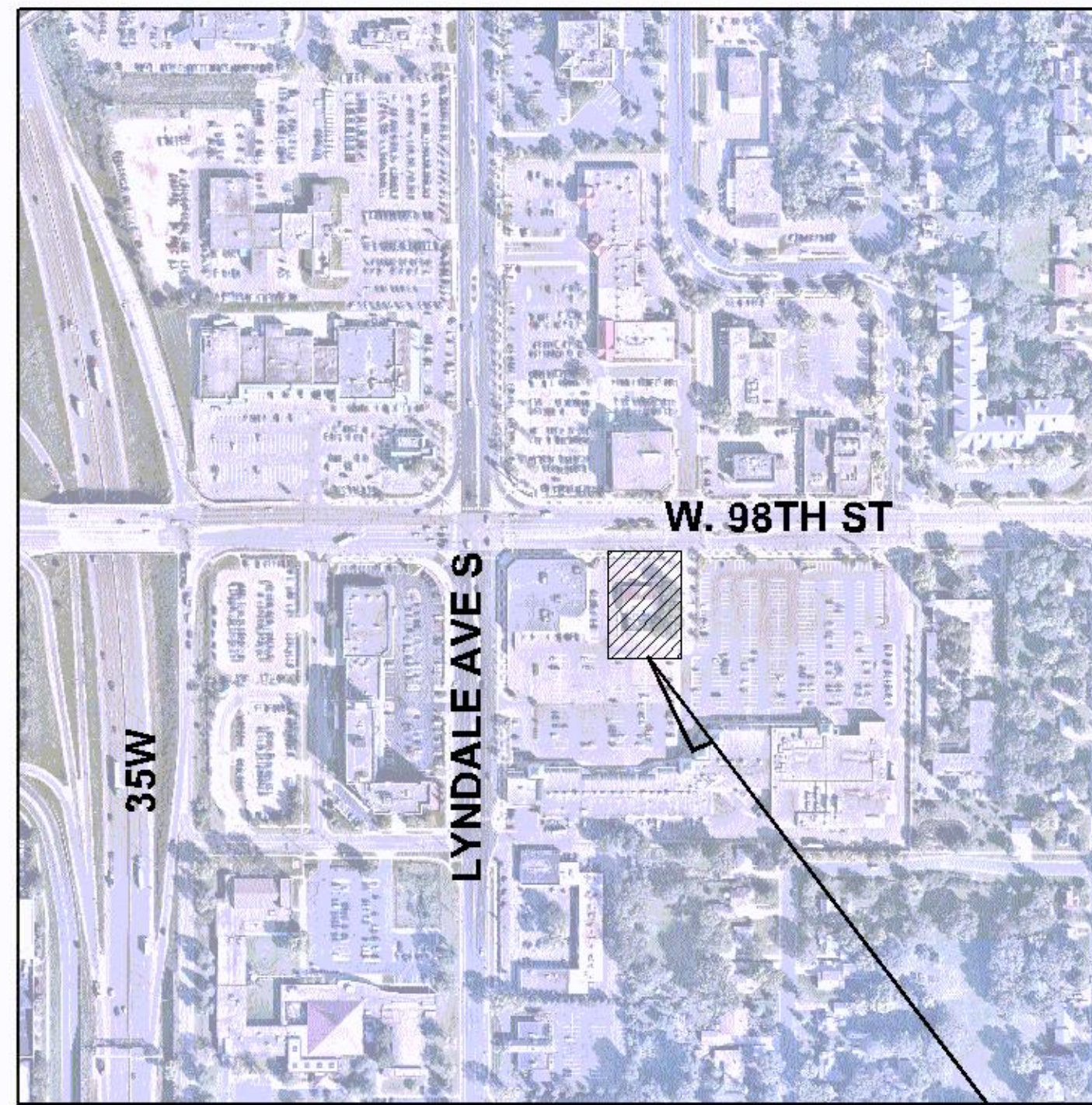
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**VICINITY
N.T.S.**



SITE

NOTES:

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A Previous paper size (34.00 x 22.00 Inches) SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

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C704	CONSTRUCTION DETAILS
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L101	LANDSCAPE DETAILS



No.	REVISIONS	DATE	BY

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KHA PROJECT: 160774046
DATE: 12/20/2019
SCALE: AS SHOWN
DESIGNED BY: BPG
DRAWN BY: BFG
CHECKED BY: BRU

COVER SHEET

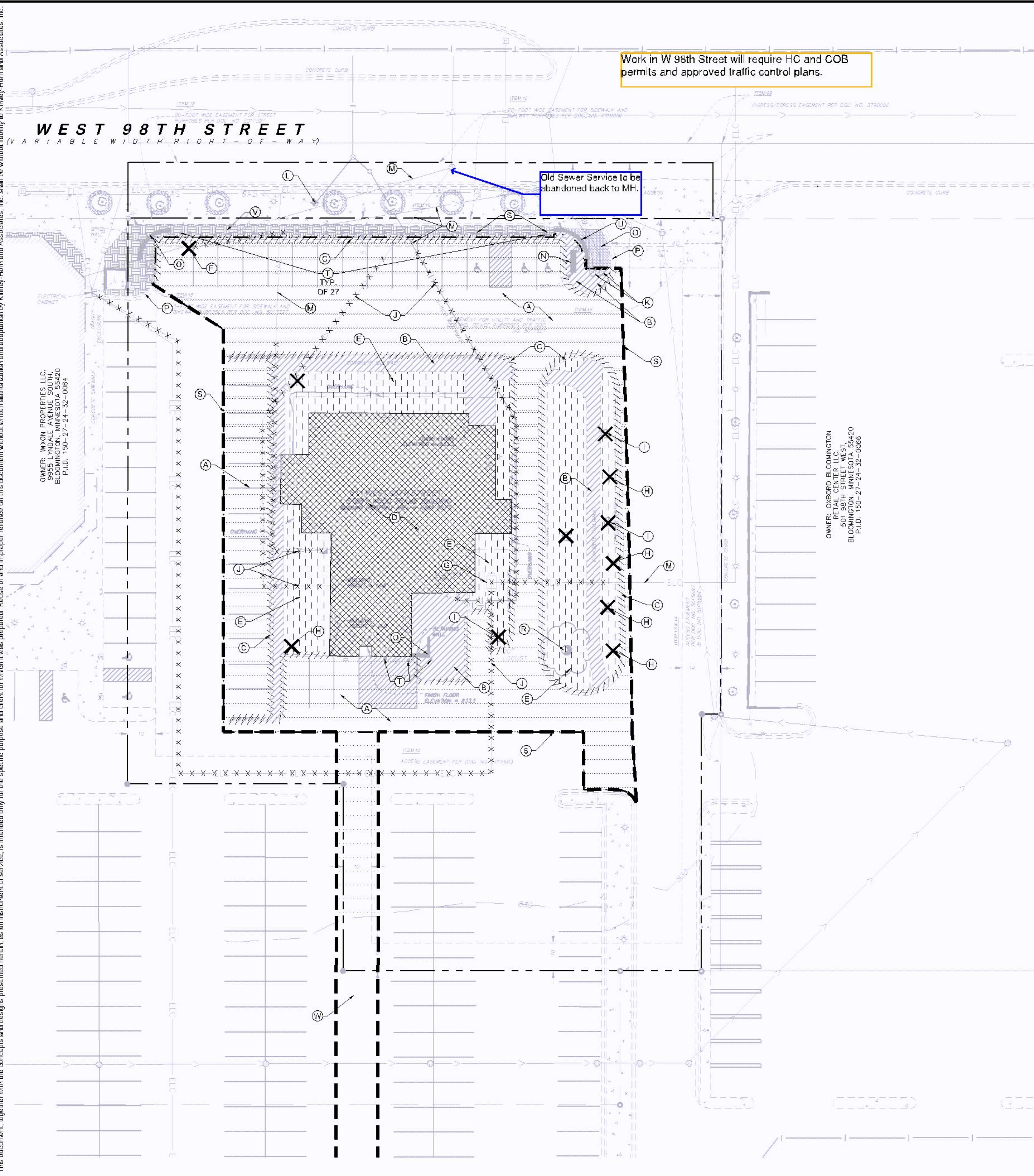
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BANK OF AMERICA
PREPARED FOR
OPPIDAN

BLOOMINGTON MN

SHEET NUMBER
C000

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Work in W 98th Street will require HC and COB permits and approved traffic control plans.

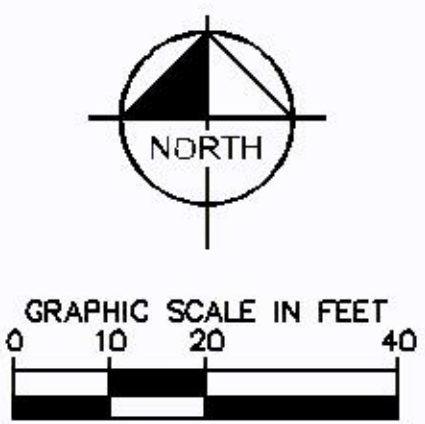
Old Sewer Service to be abandoned back to MH.

Hernepin County

- ### KEYNOTE LEGEND
- (A) REMOVE EXISTING BITUMINOUS PAVEMENT
 - (B) REMOVE EXISTING CONCRETE PAVEMENT/SIDEWALK
 - (C) REMOVE CURB AND GUTTER
 - (D) REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATION FEATURES
 - (E) CLEARING AND GRUBBING
 - (F) REMOVE STORM STRUCTURE
 - (G) REMOVE EXISTING ELECTRICAL EQUIPMENT
 - (H) REMOVE EXISTING LIGHT POLE AND ASSOCIATED FOUNDATION FEATURES
 - (I) REMOVE EXISTING TREE
 - (J) REMOVE EXISTING UTILITIES
 - (K) PROTECT EXISTING ELECTRICAL HANDHOLE
 - (L) PROTECT EXISTING HYDRANT
 - (M) PROTECT EXISTING UTILITIES
 - (N) PROTECT EXISTING SIDEWALK/PAVEMENT
 - (O) PROTECT EXISTING CURB AND CUTTER
 - (P) REMOVE RETAINING WALL
 - (Q) PROTECT EXISTING TREE
 - (R) SAWCUT LINE
 - (S) REMOVE EXISTING SIGN/BOLLARDS
 - (T) PROTECT EXISTING BRICK WALL
 - (U) REMOVE EXISTING RAILING TO INSTALL PROPOSED MANHOLE, REPLACE IN KIND
 - (V) PROPOSED UTILITY SERVICE EXCAVATIONS, MATCH EXISTING PAVEMENT SECTION PER CITY OF BLOOMINGTON STANDARDS
 - (W)

- ### DEMOLITION PLAN NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL IN A LOCATION APPROVED BY ALL COVERING AUTHORITIES ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REMAINING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
 - THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PERTINENT WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 - THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONFINEMENT OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
 - ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PRECEDING WITH THE WORK.
 - FICTITIOUS TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
 - CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCL. CURBS, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH BLOOMINGTON, MINNESOTA COUNTY AND MN/DOT.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
 - PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
 - CONTRACTOR MAY LIMIT SAW-OUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
 - THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING AND MAINTAINING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF BLOOMINGTON DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
 - REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
 - ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
 - IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
 - IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAIN TILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAIN TILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

- ### LEGEND
- PROPERTY LINE
 - REMOVE BITUMINOUS SURFACE
 - REMOVE CONCRETE SURFACE
 - REMOVE BUILDING
 - CLEARING & GRUBBING
 - FULL DEPTH SAWCUT
 - X REMOVE TREE
 - REMOVE CONCRETE CURB & GUTTER
 - - - - - REMOVE UTILITY LINES
 - ⊗ ⊗ ⊗ ⊗ ⊗ ABANDON UTILITY LINES
 - LIMITS OF CONSTRUCTION
 - ELC EXISTING OVERHEAD POWER LINE
 - EXISTING CHAINLINK FENCE
 - EXISTING J-BARRIER
 - EXISTING RETAINING WALL
 - EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - EXISTING WATER MAIN
 - EXISTING GAS MAIN
 - EXISTING UNDERGROUND TELEPHONE
 - EXISTING UNDERGROUND CABLE
 - EXISTING CONTOUR
 - EXISTING CURB & CUTTER
 - EXISTING SIGN
 - EXISTING SIGN HANDHOLE
 - EXISTING STORM CATCHBASIN
 - EXISTING GAS METER
 - EXISTING ROOF DRAIN
 - EXISTING GATE VALVE
 - EXISTING HYDRANT
 - EXISTING ELECTRICAL METER
 - EXISTING POWER POLE
 - EXISTING LIGHT POLE
 - EXISTING TRFF



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NO.	REVISIONS	DATE	BY

KIM PROJECT: 160774046
DATE: 12/20/2019
SCALE: AS SHOWN
DESIGNED BY: BPG
DRAWN BY: BFG
CHECKED BY: BRJ

DEMO PLAN

MINN.

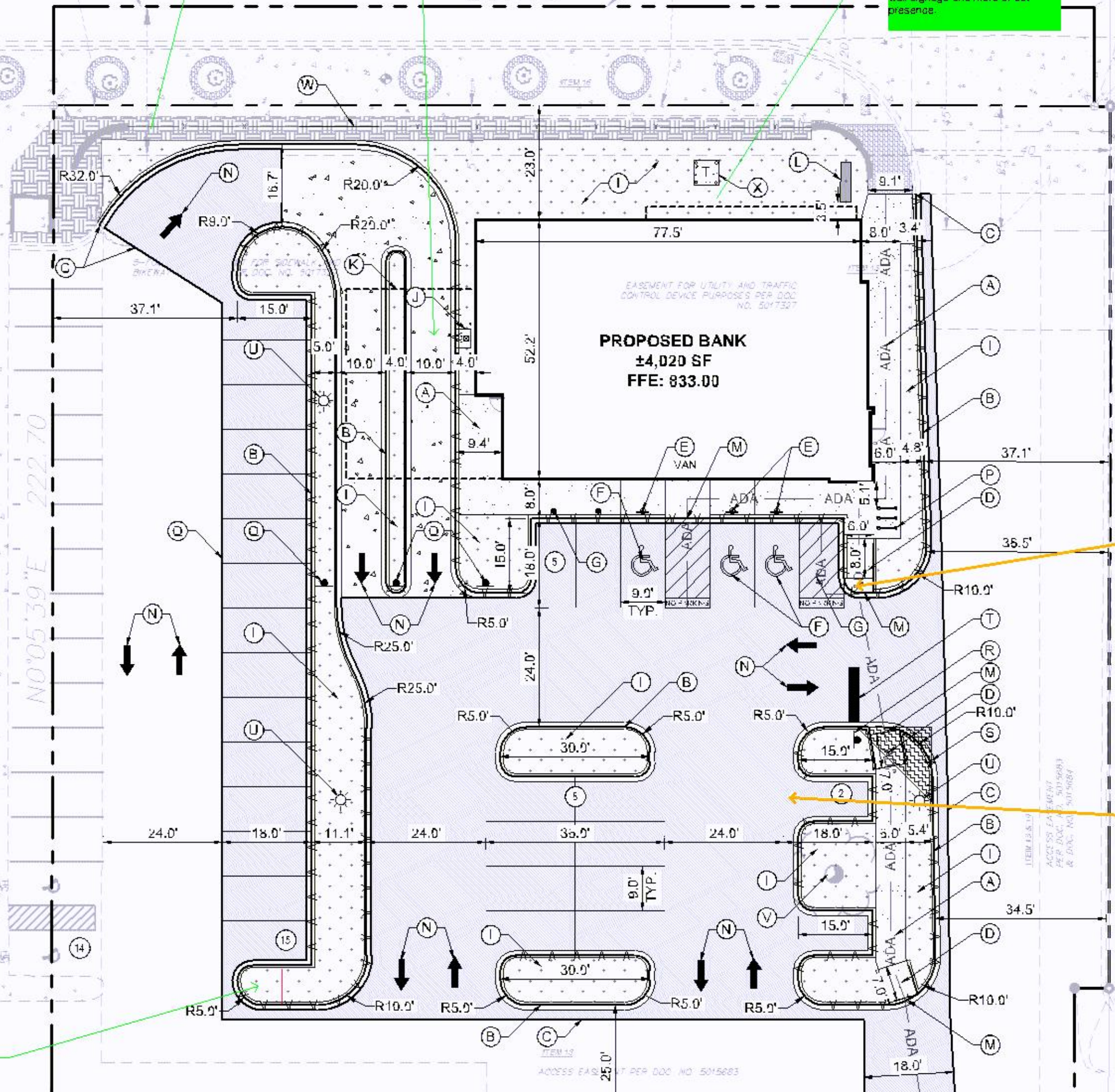
BLOOMINGTON

SHEET NUMBER
C200

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HENNEPIN COUNTY STATE AID HIGHWAY NO. 1 PLAT 64

WEST 98TH STREET (VARIABLE WIDTH RIGHT-OF-WAY)



Drive through must be screened from public street (Sec. 21.301.02(f)(7)) by extending a wall from the north west corner or installing evergreen plantings.

Plan estimates that there are four stacking spaces available for the driveway (see 21.301.05(a) requires six stacking spaces. Please clarify if you are seeking a deviation to reduce the number of drive through stacking spaces.

Can the building be shifted further north? Moving the building north would provide greater visibility to wall signage and more street presence.

Try to line up the north-south sidewalk so the crosswalk is straight across the driveway. As shown a user has to turn around the building, there may not be enough clearance if the bike rack is in use and the crosswalk will be angled across the driveway.

Add bike rack installation detail that shows rack type as well as spacing and required clearance around each rack.

I think you need to add parking stall markings to these two stalls since there are no existing cues that the stalls extend beyond the curb.

Parking island must have eight feet of internal width.

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PATHS, TRUCK DRIVAYS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 5' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EFN, DATED 7/23/2019.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- PYLON / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PYLON / MONUMENT SIGN.
- CONTRACTOR SHALL REFER TO ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS, ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL PARKING STALLS TO BE 8' IN WIDTH AND 16' IN LENGTH UNLESS OTHERWISE INDICATED.

LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED STANDARD CURB AND GUTTER
- PROPOSED REVERSE PITCH CURB AND GUTTER
- ADA
- ACCESSIBLE ROUTE, MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LANDSCAPING

PROPERTY SUMMARY

BANK OF AMERICA	
TOTAL PROPERTY AREA	55,774 SF (1.28 AC)
EXISTING RIGHT OF WAY EASEMENT	4,193 SF (0.10 AC)
NET PROPERTY AREA	51,581 SF (1.18 AC)
PROPOSED IMPERVIOUS AREA	45,369 SF (1.04 AC)
PROPOSED PERVIOUS AREA	6,212 SF (0.14 AC)
TOTAL DISTURBED AREA	26,163 SF (0.60 AC)

ZONING SUMMARY

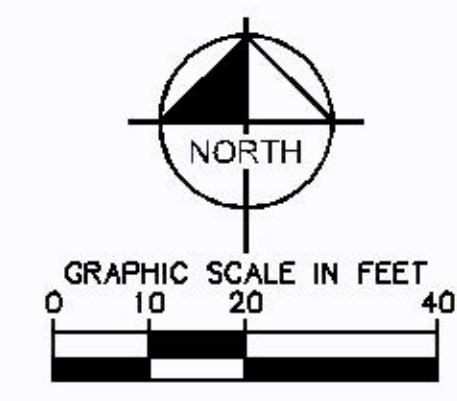
EXISTING ZONING	B4 COMMUNITY COMMERCIAL, PUD OVERLAY
PROPOSED ZONING	B4 COMMUNITY COMMERCIAL, PUD OVERLAY
SETBACK REQUIREMENTS	FRONT = 65' SIDE = 25' REAR = 25'

BUILDING DATA SUMMARY

AREAS	
PROPOSED PROPERTY	55,774 SF (1.28 AC)
BUILDING AREA	4,020 SF (7.2% OF TOTAL PROPERTY AREA)
PARKING	
REQUIRED PARKING	18 SPACES @ 1/240 SF
PROPOSED PARKING	64 SPACES (SHARED)
ADA STALLS REQ'D / PROVIDED	3 STALLS / 3 STALLS

KEYNOTE LEGEND

- (A) CONCRETE SIDEWALK
- (B) B612 CURB & GUTTER (TYP.)
- (C) MATCH EXISTING EDGE OF PAVEMENT CURB & GUTTER
- (D) ACCESSIBLE CURB RAMP
- (E) ACCESSIBLE PARKING SIGN W/ BOLLARD BASE
- (F) ACCESSIBLE PARKING
- (G) AREA STRIPED WITH 4" SWSL @ 45° 2' O.C.
- (H) STANDARD DUTY ASPHALT PAVEMENT
- (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
- (J) DRIVE-UP ATM KIOSK - SEE ARCH/MECH PLANS
- (K) OVERHEAD BUILDING CANOPY - SEE ARCH PLANS
- (L) EXISTING PYLON SIGN TO REMAIN
- (M) FLAT CURB
- (N) DIRECTIONAL STRIPING
- (O) 6" STEEL PIPE BOLLARD
- (P) BICYCLE RACK
- (Q) R5-1 "DO NOT ENTER" SIGN, 30" X 30"
- (R) R1-1 "STOP" SIGN, 30" X 30"
- (S) 15" SILE TRIANGLE, FREE OF SIGNAGE AND LANDSCAPING
- (T) 24" WIDE STOP BAR
- (U) PROPOSED LIGHT POLE - SEE LIGHTING PLANS
- (V) EXISTING TREE TO REMAIN
- (W) REMOVE EXISTING RAILING TO INSTALL PROPOSED MANHOLE, REPLACE IN KIND
- (X) PROPOSED TRANSFORMER PAD



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ENGINEER UNDER THE LAWS OF THE STATE OF
MINNESOTA.
Benjamin Johnson
BENJAMIN R. JOHNSON
IN LIC. NO. 53084
DATE: 12/20/2019
BY: BRJ

SITE PLAN

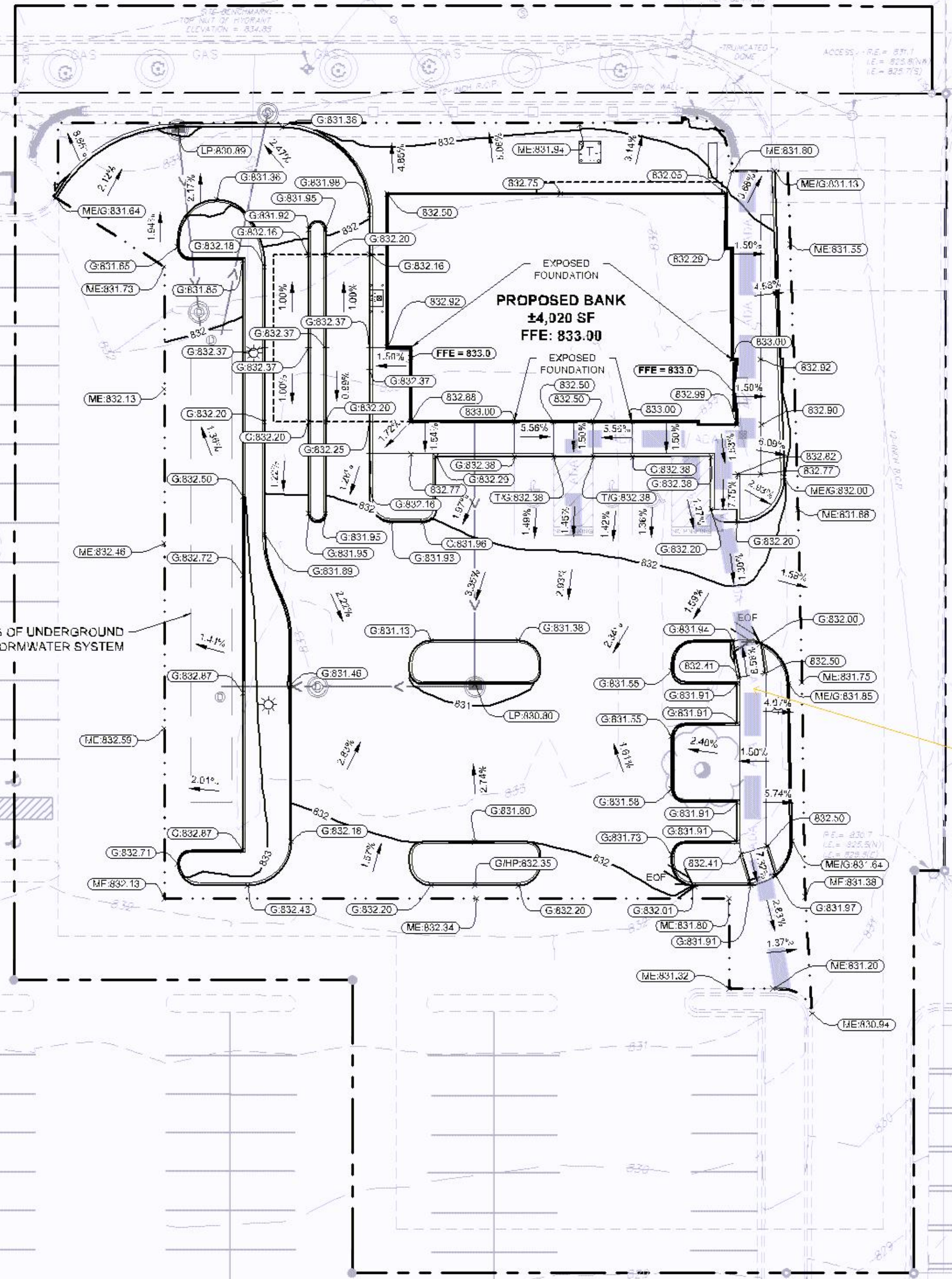
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HENNEPIN COUNTY STATE AID HIGHWAY NO. 1 PLAT 64

WEST 98TH STREET (VARIABLE WIDTH RIGHT-OF-WAY)

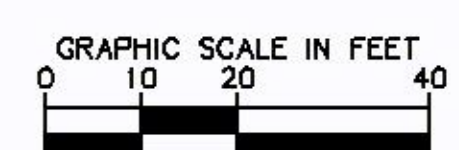
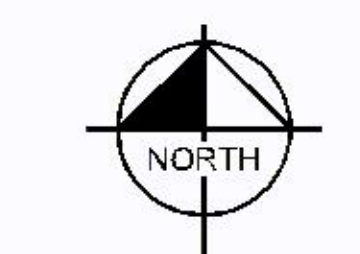


LEGEND

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM MANHOLE (SOLID CASING)
	PROPOSED STORM MANHOLE (ROUND INLET CASING)
	PROPOSED STORM MANHOLE CATCH BASIN (CURB INLET CASING)
	PROPOSED STORM SEWER (DRENCH)
	PROPOSED STORM SEWER
	PROPOSED SPOT ELEVATION
	PROPOSED HIGH POINT ELEVATION
	PROPOSED LOW POINT ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED FLUSH PAVEMENT ELEVATION
	MATCH EXISTING ELEVATION
	PROPOSED EMERGENCY OVERTFLOW
	PROPOSED DRAINAGE DIRECTION
	PROPOSED ADA SLOPE
	ACCESSIBLE ROUTE; SEE NOTE 14

- ### GRADING PLAN NOTES
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
 - CONTRACTOR TO CALL Gopher State Call One @ 1-800-252-1158 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
 - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
 - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
 - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
 - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE SITE READY FOR SUBBASE.
 - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF THE CONSTRUCTION SITE.
 - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASINGS / STRUCTURE NOTATION.
 - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
 - INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
 - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 6" OF TOPSOIL.
 - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOWLINE UNLESS OTHERWISE NOTED.
 - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATUTORY STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2% . IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5% . IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1.5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
 - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
 - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS. 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.

Ensure that there are landing areas of 2% or less grade adjacent to pedestrian ramps that are between 5'-8.3%



K:\TWC_LDEV\OPPIDAN\blomington - bank3 Design\CAD\plansheets\C5-GRADING PLAN.dwg December 19, 2019 - 11:09am
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Kimley >>> Horn
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787 EUBANK STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-485-4187
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GRADING PLAN

BLOOMINGTON MN

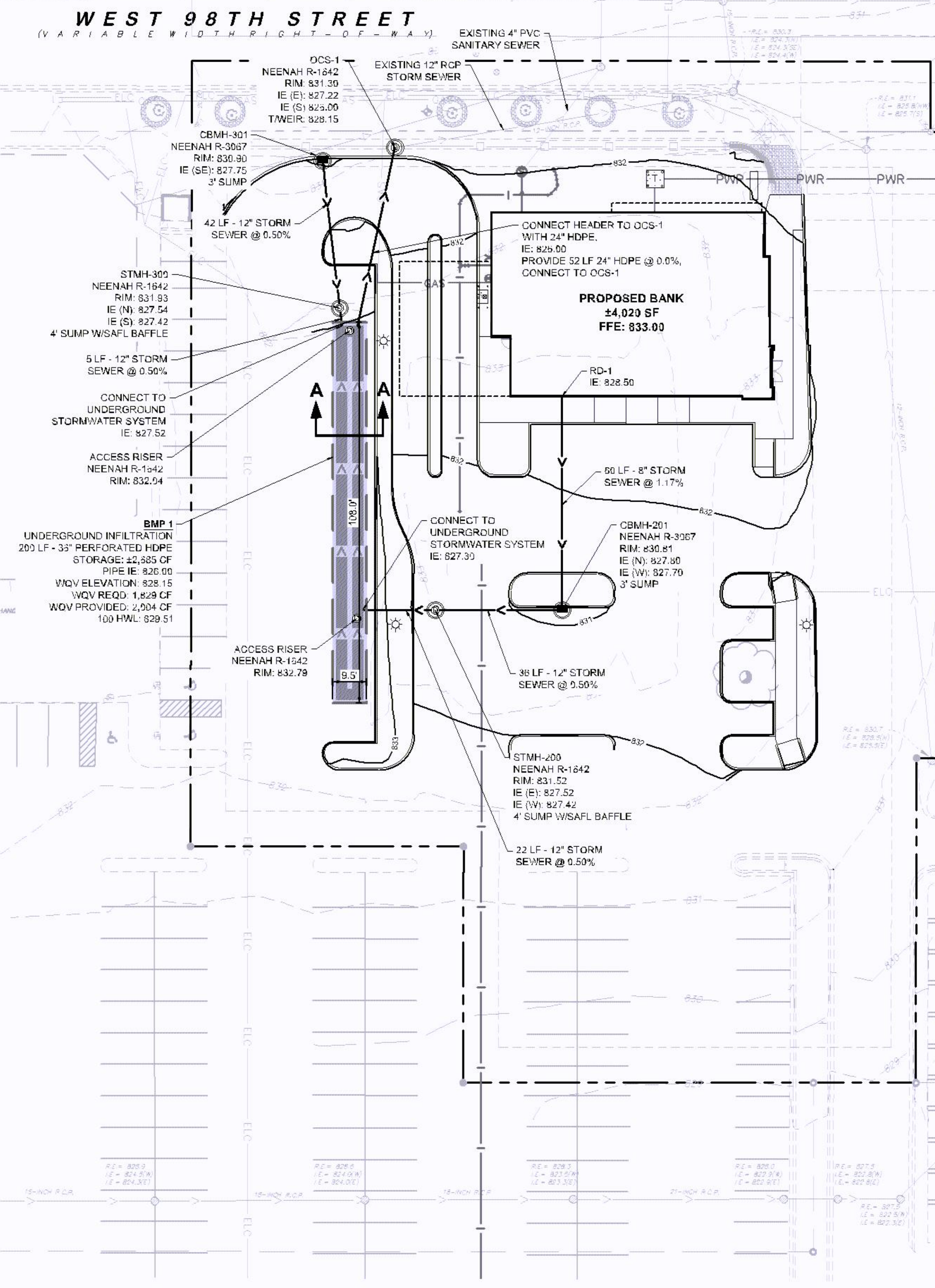
NO.	REVISIONS	DATE	BY

KHA PROJECT 160774046	DATE 12/20/2019	SCALE AS SHOWN	DESIGNED BY BPG	CHECKED BY BRJ
 BENJAMIN R. JOHNSON IN LIC. NO. 50084 DATE: 12/20/2019				
LIBRARY (SEE PLAN SHEET 160774046) FOR SPECIFICATIONS AND REQUIREMENTS PREPARED BY ME ON UNDER DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.				

SHEET NUMBER
C500

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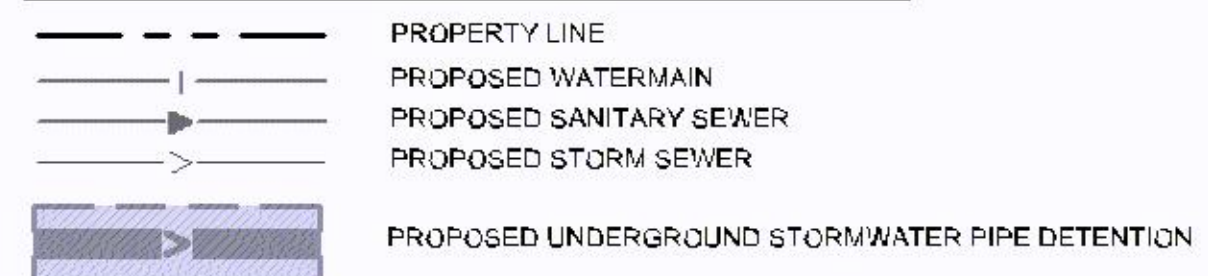
Engineer to provide Bloomington Engineering with copy of approved test results.



UNDERGROUND STORMWATER MANAGEMENT NOTES

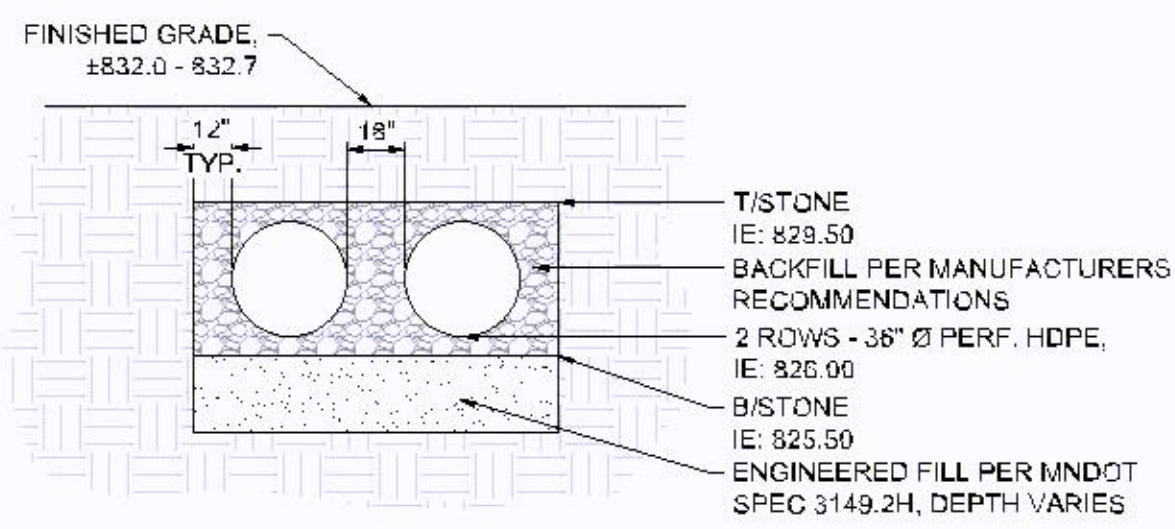
- CONTRACTOR TO PROVIDE (2) DOUBLE RING INFILTRATOR TESTS WITHIN THE UNDERGROUND SYSTEM EXCAVATION PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM. THE CONTRACTOR SHALL PROVIDE THE RESULTS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM.
- CONTRACTOR SHALL OVER-EXCAVATE ALL FILL/URBAN FILL TO A ELEVATION OF APPROXIMATELY 822.00. EXCAVATION SHALL BE REPLACED WITH SUITABLE ENGINEERED FILL MEETING THE MNDOT SPECIFICATION FOR COARSE FILTER AGGREGATE PER SECTION 3149.2H. DEPTHS OF FILL/URBAN FILL EXPECTED TO VARY. CONTRACTOR SHALL VERIFY DEPTHS OF EXCAVATION AND PERFORM INFILTRATOR TESTS PRIOR TO INSTALLING UNDERGROUND SYSTEM.
- IF NATIVE SUBGRADE SOILS BELOW FILL/URBAN FILL ARE DETERMINED TO NOT BE CONDUCTIVE TO THE DESIGN INFILTRATION REQUIREMENTS, THE CONTRACTOR SHALL REMOVE AND REPLACE THE POORLY INFILTRATING SOILS TO A DEPTH WHERE THE EXISTING NATIVE SUBGRADE SOILS MEET OR EXCEED THE DESIGN INFILTRATION RATE AS REVIEWED BY THE ENGINEER.
- UPON COMPLETION OF THE STORMWATER BMP AND FINAL STABILIZATION OF THE TRIBUTARY DRAINAGE AREA, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION THE BMP AFTER A SIGNIFICANT RAIN EVENT THAT SHOWS THE BMP'S DRAWS DOWN WITHIN 48 HOURS.
- NO CONSTRUCTION EQUIPMENT SHALL TRAVEL WITHIN THE UNDERGROUND INFILTRATION SYSTEM AREA. USE EXCAVATOR WITH TOOTHED BUCKET FOR INFILTRATION BASIN EXCAVATION TO AVOID COMPACTING OR SMEARING OF SOILS.
- FINAL EXCAVATION OF UNDERGROUND INFILTRATION SYSTEM AREA AND INSTALLATION OF OF ENGINEERED SOIL MUST OCCUR IN DRY SOIL CONDITIONS TO PREVENT SMEARING AND COMPACTION. DO NOT WORK IN INFILTRATION SYSTEM AREA IF SOIL CONDITIONS ARE WET.
- IMMEDIATELY FOLLOWING SYSTEM CONSTRUCTION, THE EXCAVATION FOR THE TRENCH SHALL BE IMMEDIATELY BACKFILLED WITH APPROVED BACKFILL MATERIAL PER MANUFACTURER'S RECOMMENDATION, OR THE EXCAVATION SHALL BE PROTECTED WITH SILT FENCE AND OR BIO-ROLLS SUCH THAT ON-SITE SOILS DO NOT ENTER THE TRENCH EXCAVATION AND CLOG UP THE BOTTOM/SIDES OF THE TRENCH LIMITING THE INFILTRATION CAPACITY OF THE UNDERGROUND SYSTEM.
- IF ANY SOILS ENTER THE TRENCH PRIOR TO BACKFILLING, THE CONTRACTOR SHALL REMOVE SOILS AND CONFIRM THE INFILTRATION CAPACITY OF THE NATIVE SUBGRADE SOILS IS MET WITH INFILTRATOR TESTS.
- CONTRACTOR SHALL COORDINATE AND COMPLETE CERTIFIED AS-BUILT PLANS DEMONSTRATING ALL CONSTRUCTED STORMWATER CONVEYANCE STRUCTURES, AND STORMWATER MANAGEMENT FACILITIES (INCLUDING AS-BUILT VOLUMES) CONFORM TO DESIGN AND/OR PLANS AS APPROVED BY THE CITY.

LEGEND

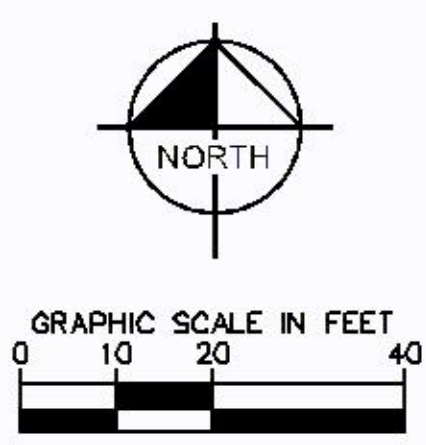
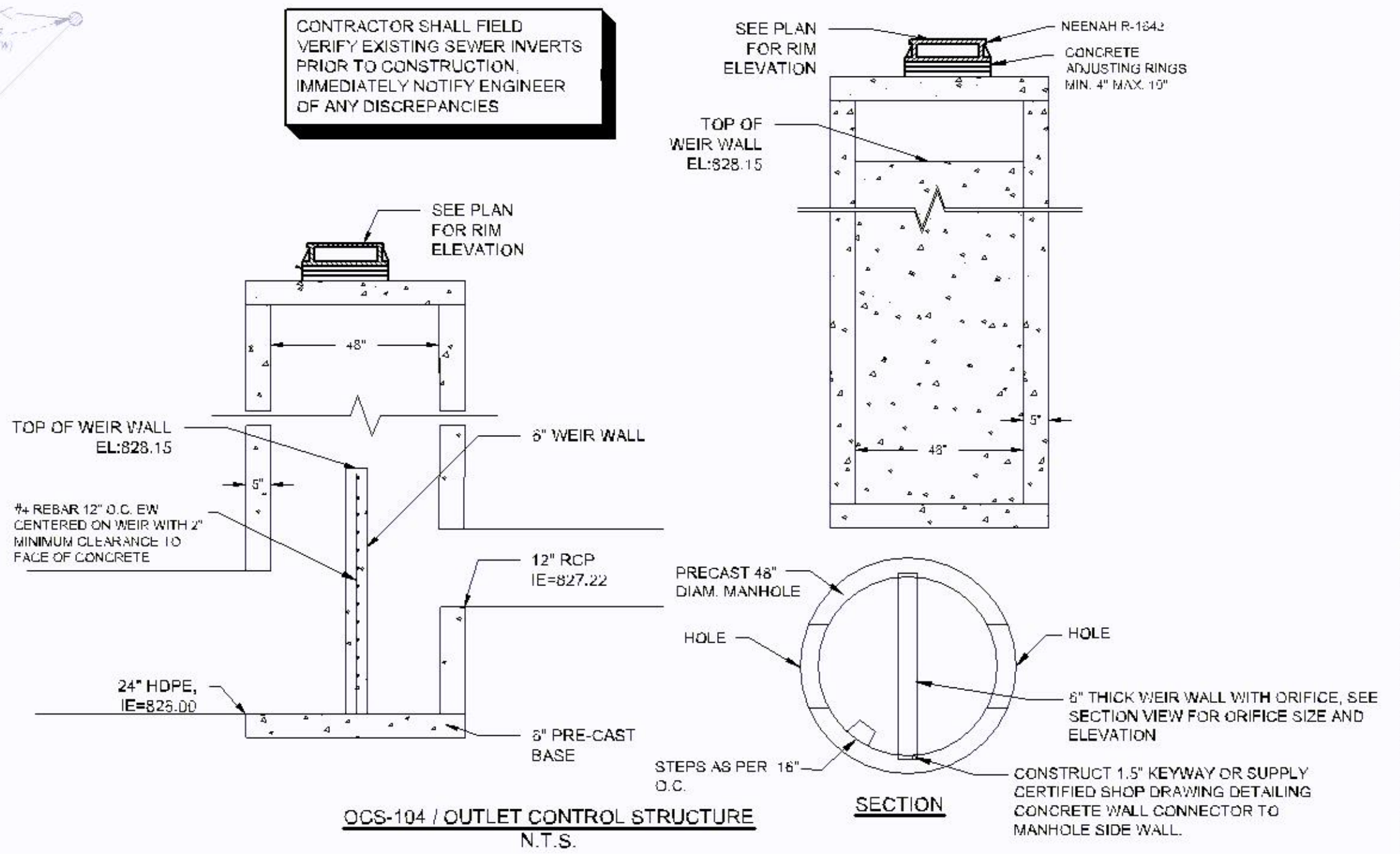


STORM SEWER PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- ON-SITE STORM SEWER SHALL BE AS FOLLOWS:
PVC SDR 26 PER ASTM D-3034 OR
HDPE PER ASTM F-2003
RCP PER ASTM C-76
- ON-SITE STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
PVC SDR 26 PER ASTM D-3034, JOINTS PER ASTM D-3212 OR
HDPE PER ASTM 3212
RCP PER ASTM C-361 AND C-443
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- UPON PROJECT'S COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.
- SEWER DISCONNECTIONS ARE REQUIRED TO BE CUT AND BULKHEADED AT THE MAIN.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, CHAPTER 474, SECTION 1109.



A-A



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BLOOMINGTON

MINN

SHEET NUMBER
C501

Kimley»Horn

2019 KIMLEY-HORN AND ASSOCIATES, INC.
787 EUBANK STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-485-4187
WWW.KIMLEY-HORN.COM

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Benjamin Johnson
BENJAMIN R. JOHNSON
P.E. NO. 12292019, L.C. NO. 53084

NO.	REVISIONS	DATE	BY

KHA PROJECT: 160774046
DATE: 12/20/2019
SCALE: AS SHOWN
DESIGNED BY: BPG
DRAWN BY: BFG
CHECKED BY: BRJ

HENNEPIN COUNTY STATE AID HIGHWAY NO. 1 PLAT 64

WEST 98TH STREET (VARIABLE WIDTH RIGHT-OF-WAY)

If any utility work occurs in 95th St, keep removal limits out of vehicle paths and extend to lane lines.

City records indicate this may be a 60 year old 5" Asbestos Cement Pipe Sewer service. There were some indications of issues/repairs in the past but not much detail is known. Project Engineer and Contractor should verify the condition of the pipe via CCTV for the owner. It may be necessary to rehab/line or replace the service.

Sewer will be abandoned back to this MH, show new service pipe straight into the Bldg and another MH will not be needed. This will eliminate the water and sewer service crisscross.

Need a new valve to perform testing of the new water main and straighten out water services.

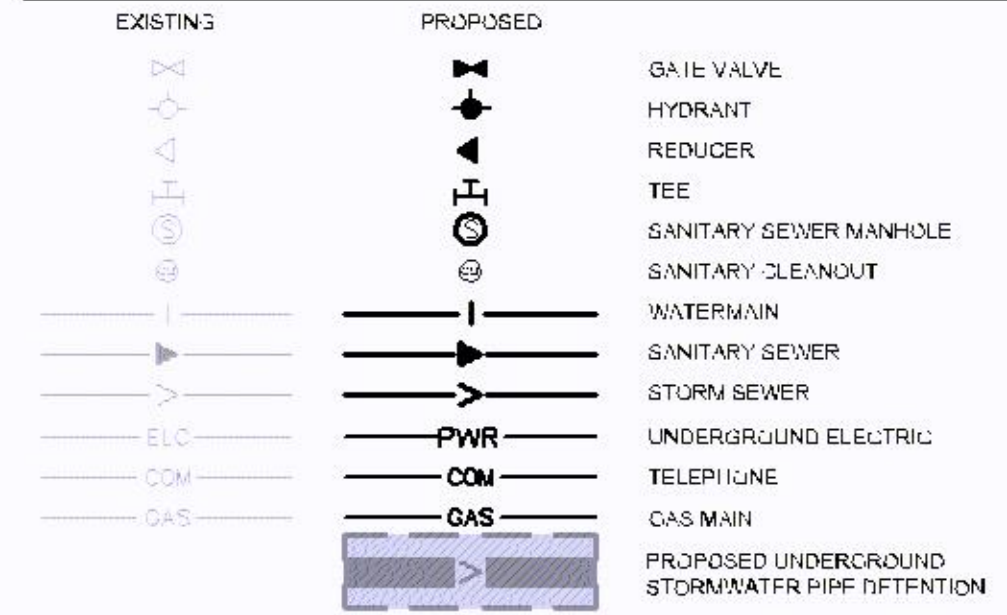
Please clearly indicate all pipe sizes.

SEE SHEET C501 FOR STORMWATER MANAGEMENT AND STORM SEWER DESIGN

KEYNOTE LEGEND

- (A) CONNECT TO EXISTING WATERMAIN
- (B) TEE W/ GATE VALVE
- (C) PROPOSED POWER SERVICE, COORDINATE W/ UTILITY
- (D) PROPOSED GAS SERVICE, COORDINATE W/ UTILITY
- (E) 8" TO 6" REDUCER W/ VALVE
- (F) BEND
- (G) CONSTRUCT MANHOLE OVER EXISTING SANITARY SEWER
- (H) FDC
- (I) GAS METER
- (J) PROPOSED UTILITY SERVICE EXCAVATIONS, MATCH EXISTING PAVEMENT SECTION PER CITY OF BLOOMINGTON STANDARDS
- (K) PROPOSED 8" DIP WATER SERVICE
- (L) EXISTING 12" RCP STORM SEWER
- (M) EXISTING 4" PVC SANITARY SEWER
- (N) EXISTING 8" WATERMAIN
- (O) EXISTING FIRE HYDRANT
- (P) PROPOSED LIGHT POLE - SEE LIGHTING PLANS
- (Q) PROTECT EXISTING UTILITY, MAINTAIN COVER
- (R) PROPOSED TRANSFORMER

LEGEND



UTILITY PLAN NOTES

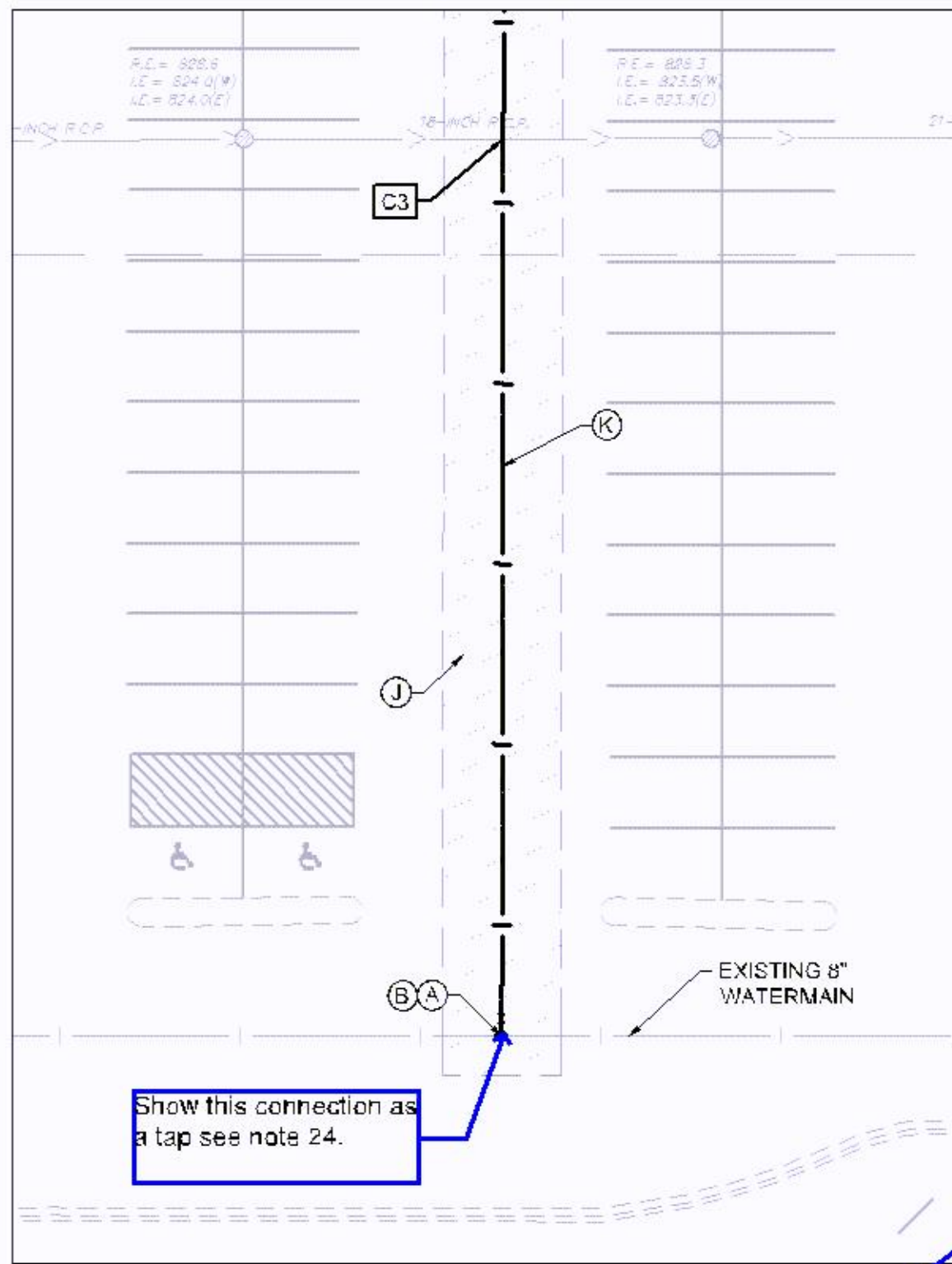
1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED REFOR. INSTALLATION OF PROPOSED UTILITIES.
2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PVC SDR35 PER ASTM D-3034 INSTALLED PER ASTM D-2241
3. WATER LINES SHALL BE AS FOLLOWS:
CLASS 52 DIP PER ANSI/AWWA A-24.31(C) WITH JOINTING PER ANSI/AWWA A-21.11(C) (1). MINIMUM 8 MIL POLYWRAP REQUIRED ON ALL DIP.
4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL ANCHOR BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
7. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 8" AND MAXIMUM OF 10" COVER ON ALL WATERLINES.
8. INSTALL HIGH DENSITY POLYSTYRENE INSULATION TO PREVENT FREEZING ON SANITARY SEWER MAINLINES, CLEANOUTS, MANHOLES AND SERVICES WITHOUT ADEQUATE COVER.
9. A MINIMUM 10'-FOOT HORIZONTAL SEPARATION AND 18-INCH VERTICAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND SEWERS.
10. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE SCH. 40 OR C300 WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION (MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 52).
11. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATER-TIGHT LIDS.
13. ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
15. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF BLOOMINGTON AND/OR STATE OF MN WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
18. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
19. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
20. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
21. BACKFLOW DEVICES (DDCV AND PRZ ASSEMBLIES) AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING, REF. ARCH / MEP PLANS.
22. ALL ON-SITE WATERMAINS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
23. ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.
24. TAPS OF LIVE WATERMAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
25. UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
26. COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAD ON FLANGE OR AN NJ TO FLANGE ADAPTER. THE WATER METER MUST BE LOCATED WITHIN 10' OF WHERE THE SERVICE CROSSES THE OUTSIDE WALL OF THE BUILDING.
27. ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANSI/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED PIPE IS NOT ALLOWED.
28. UTILITY AS-BUILT'S MUST BE PROVIDED PRIOR TO CERTIFICATE OF OCCUPANCY.
29. CONTRACTOR SHALL OBTAIN A PUBLIC WORKS PERMIT FOR UNDERGROUND WORK WITHIN THE RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVAL OR INSTALLATION. CONTACT UTILITIES (652-263-4638) FOR PERMIT INFORMATION.
30. UTILITY PERMITS ARE REQUIRED FOR CONNECTIONS TO THE PUBLIC STORM, SANITARY, AND WATER SYSTEM. CONTACT UTILITIES (652-263-8777) FOR PERMIT INFORMATION.
31. TAPS OF LIVE WATERMAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
32. UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
33. COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAD ON FLANGE OR AN NJ TO FLANGE ADAPTER. ALSO THE WATER METER MUST BE LOCATED WITHIN 10' OF WHERE THE SERVICE CROSSES THE OUTSIDE WALL OF THE BUILDING.
34. ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANSI/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED PIPE IS NOT ALLOWED.

UTILITY CROSSING LEGEND

C1	4" SANITARY 8" WATER	B.P. - 825.52 T.P. - 823.41
C2	12" STORM 8" WATER	B.P. - 827.58 T.P. - 823.75
C3	18" STORM 8" WATER	B.P. - 823.71 T.P. - 820.95

Use SDR26 or Sch 40.

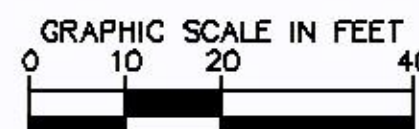
Only Stainless.



1 WATERMAIN LOOP EXTENSION

SCALE: 1"=20'

Notes 31 - 34 are repeated.



Kimley-Horn

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PHONE: 651-484-1187
WWW.KIMLEY-HORN.COM

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THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER AND REGISTERED UNDER THE STATE OF
MINNESOTA.

Benjamin Johnson
BENJAMIN R. JOHNSON
MN LIC. NO. 53084
DATE: 12/20/2019
BY: BRJ

KHA PROJECT: 160774046
DATE: 12/20/2019
SCALE: AS SHOWN
DESIGNED BY: BPG
DRAWN BY: BPG
CHECKED BY: BRJ

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UTILITY PLAN

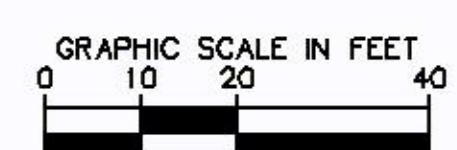
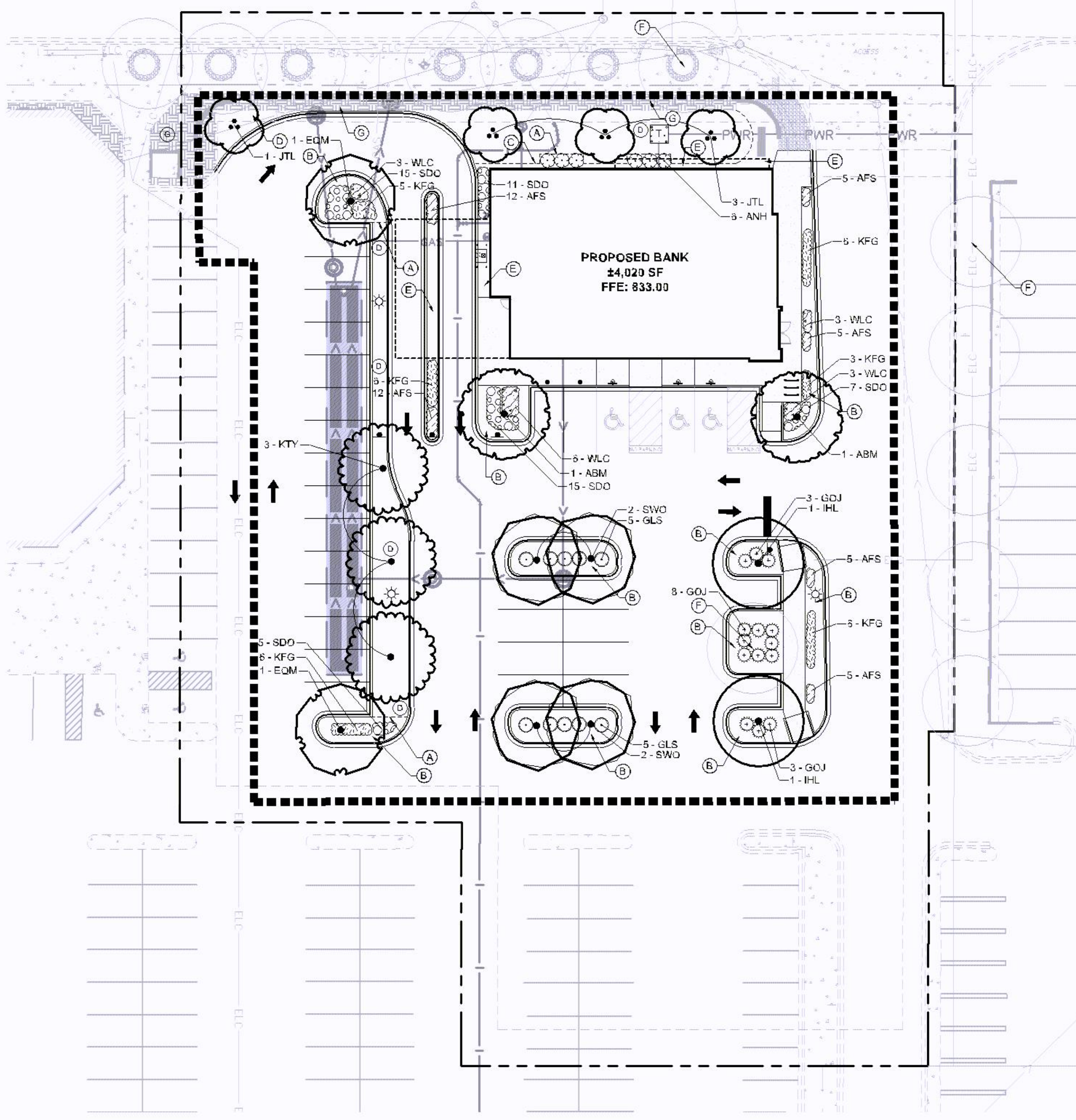
BLOOMINGTON MN

SHEET NUMBER
C600

K:\TWC_LDEV\OPPIDAN\Bloomington - bank3 Design\CAD\plansheets\L1-LANDSCAPE PLAN.dwg December 10, 2019 - 8:25pm

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WEST 98TH STREET
(VARIABLE WIDTH RIGHT-OF-WAY)

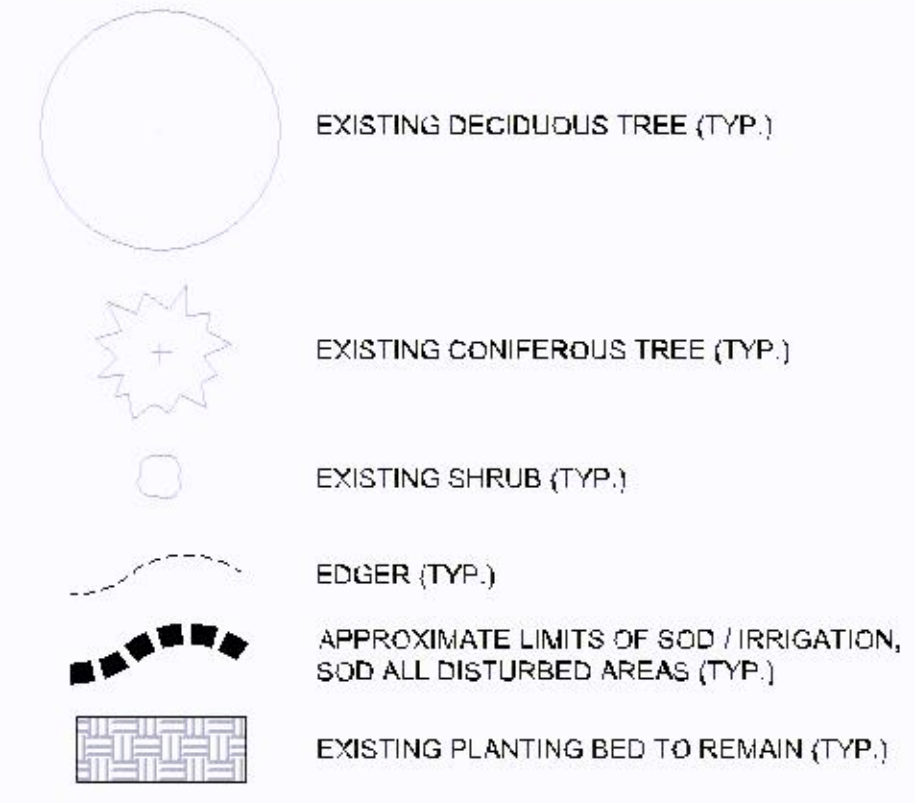


LANDSCAPE REQUIREMENTS

DEVELOPABLE LANDSCAPE AREA: 55,774 S.F.
 REQUIRED TREES: 23 TREES* = (55,774 S.F./2,500)
 PROVIDED TREES: 23 TREES* = (17 PROPOSED TREES + 6 EXISTING TREES)
 REQUIRED SHRUBS: 56 SHRUBS* = (55,774 S.F./1,000)
 PROVIDED SHRUBS: 56 SHRUBS* = (30 PROPOSED SHRUBS + (144 PROPOSED PERENNIALS/4)
 * 4 PERENNIAL PLANTS EQUAL 1 SHRUB
 PARKING ISLAND TREES REQUIRED: ONE DECIDUOUS TREE PER PARKING LOT ISLAND
 PARKING ISLAND TREES PROVIDED: SEE PLAN

Document species of existing trees to verify they are not on the City's prohibited list (Sec. 18.03).

LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) MAINTENANCE STRIP (TYP.)
- (D) SOD (TYP.)
- (E) ROCK MULCH (TYP.)
- (F) EXISTING TREE TO REMAIN (TYP.)
- (G) EXISTING PLANTING BED TO REMAIN (TYP.)

PLANT SCHEDULE

ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	JTL	4	SYRINGA RETICULATA	JAPANESE TREE LILAC CLUMP	B & B		6' HT.	
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	ABM	2	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2.5" CAL.		
	EQM	2	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN MAPLE	B & B	2.5" CAL.		
	IHL	2	GLEDITSIA TRIACANTHOS VAR 'INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2.5" CAL.		
	KTY	3	GYMNOCLADUS DIOICA 'UMNSYNERGY'™	TRUE NORTH KENTUCKY COFFEE TREE	B & B	2.5" CAL.		
	SWO	4	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL.		
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	SPACING
	GOJ	14	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	4" O.C.		48" o.c.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	SPACING
	ANH	5	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4" O.C.		45" o.c.
	GLS	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4" O.C.		45" o.c.
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	SPACING
	AFS	44	SEDUM X 'AUTUMN FIRE'	AUTUMN FIRE SEDUM	#1 CONT.		18" O.C.	18" o.c.
	KFG	32	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT.		30" OC	30" o.c.
	SDO	53	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	#1 CONT.		24" OC	24" o.c.
	WLC	15	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	#1 CONT.		30" OC	30" o.c.

PRELIMINARY - NOT FOR CONSTRUCTION

BANK OF AMERICA
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 OPPERAN

LANDSCAPE PLAN

KHA PROJECT: 16065006
 DATE: 10/11/2019
 SCALE: AS SHOWN
 DESIGNED BY: RAH/JDR
 DRAWN BY: JDR
 CHECKED BY: RAH

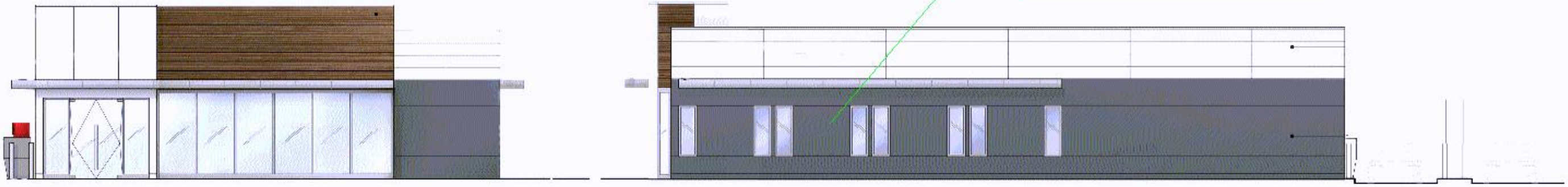
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 787 EAST 15TH STREET, SUITE 100, ST. PAUL, MN 55114
 PHONE: 651-485-4187
 WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY

SHEET NUMBER
L100

Section 21.301.03(a)(3) of the City Code requires architectural unity in terms of style, color and exterior materials among non-residential buildings constructed on one site. The other structures in the planned development are constructed of brick and are brown and dark red in color. The proposed building is not related in style, color or exterior material and requires modification.

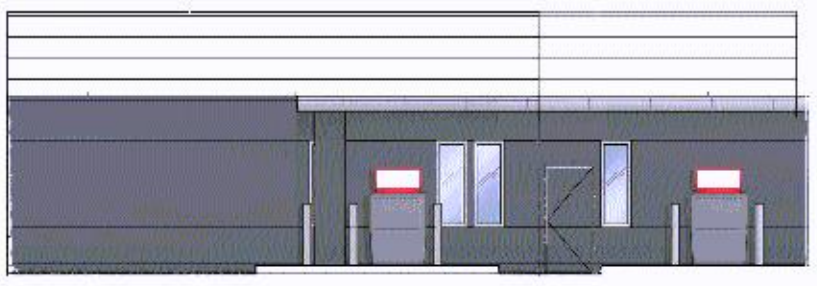
50% of the northern elevation between two and ten feet in height must consist of transparent windows (Sec. 21.301.03(b)(1)). West 98th Street is the primary facade. More transparent windows are needed on this north building elevation.



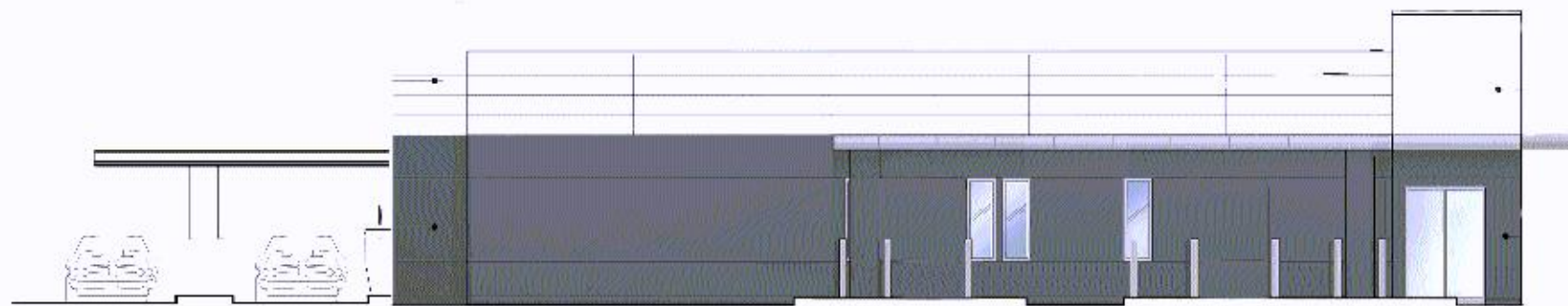
A East Elevations

B North Elevations

Metal panels must comply with the City's Exterior Materials and Finish Policies and Procedures Guide. Panels will be reviewed for thickness, durability and finish warranty (30-year minimum required).



C West Elevations



D South Elevations

EXTERIOR DESIGN | FINISH LEGEND

	FINISH PF-01 MFC: Pure + Proform Color: Clear/White Anodized Finish: Satin
	FINISH PF-02 MFC: Pure + Proform Color: To Match Benjamin Moore, HC-128 DM-8 (Darkened) Satin
	FINISH PF-03 MFC: Pure + Proform Color: White/SS #105 Finish: Satin
	FINISH PF-05 MFC: Pure + Proform Color: Nova Plank #51042 Finish: Satin