

k:\TWC\_LDEV\OPPIDAN\Bloomington - bank3 Design\CAD\plansheets\CO-COVER SHEET.dwg December 13, 2019 - 11:07am

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SITE DEVELOPMENT PLANS  
FOR

BANK OF AMERICA

SECTION 15, TOWNSHIP 27, RANGE 24  
BLOOMINGTON, HENNEPIN COUNTY, MN

PROJECT TEAM:

ENGINEER & LANDSCAPE ARCHTECT  
KIMLEY-HORN AND ASSOCIATES, INC.



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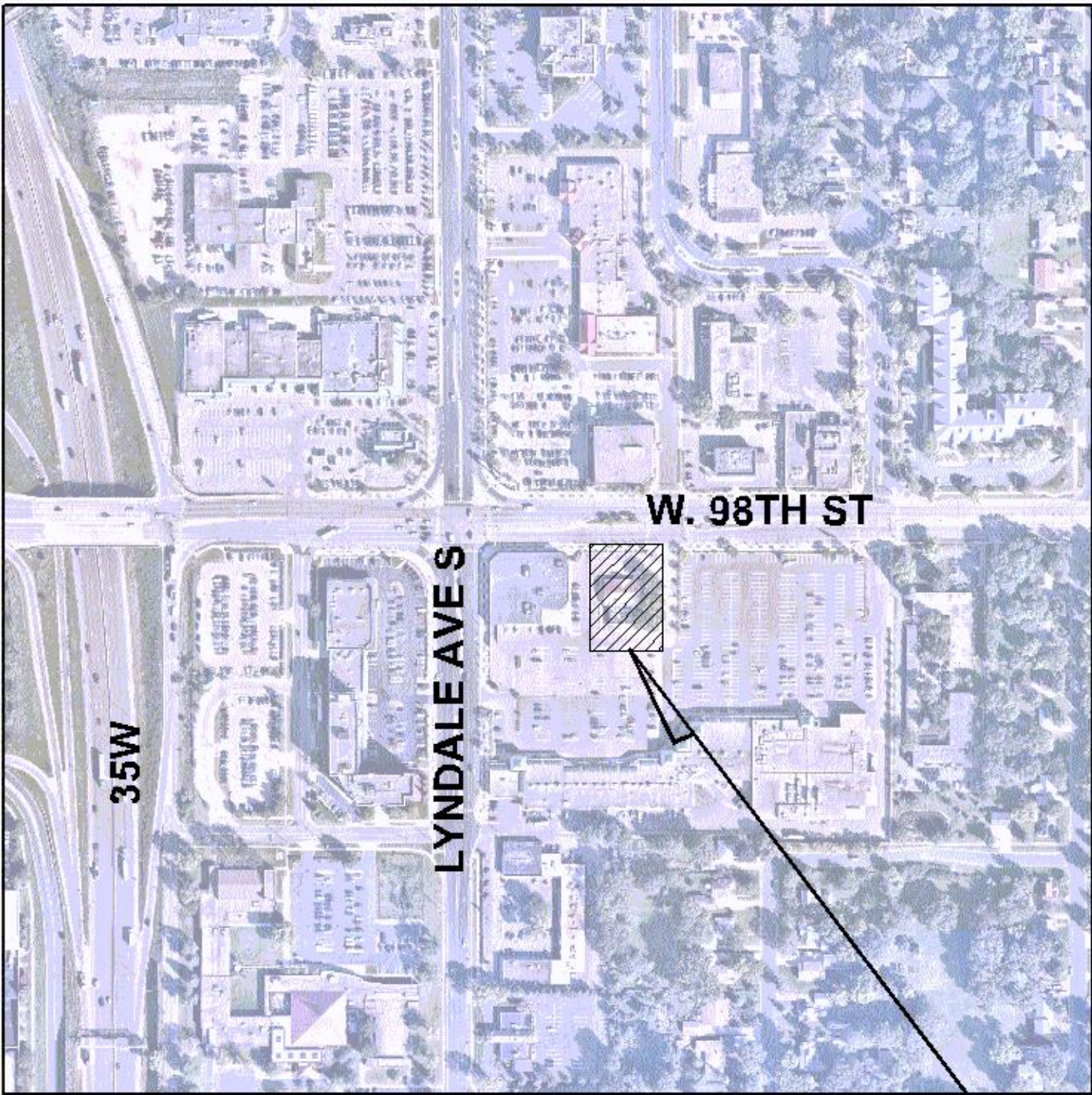
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CONTACT: MICHAEL P. MCCARTHY

OWNER / DEVELOPER  
OPPIDAN

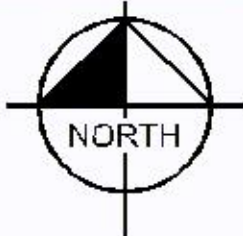


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EXCELSIOR, MN 55331  
TELEPHONE: 952-294-1259  
CONTACT: IAN HALKER

SURVEYOR  
EGAN, FIELD & NOWAK, INC  
1229 TYLER STREET NE, SUITE 100  
TELEPHONE: (612) 466-3300  
CONTACT: ERIC ROESER



VICINITY  
N.T.S.



SITE

NOTES:

1. CONTRACTOR SHALL CONFIRM THAT THE EXISTING CONDITIONS FOR THE SITE MATCH WHAT IS SHOWN ON THE DRAWINGS INCLUDED PRIOR TO CONSTRUCTION.
2. IF REPRODUCED, THE SCALES SHOWN ON THESE PLANS ARE BASED ON A Previous paper size (34.00 x 22.00 Inches) SHEET.
3. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICES COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
4. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

DRAWING INDEX

SHEET NO.	SHEET TITLE
C000	COVER SHEET
V100	ALTA NSPS LAND TITLE SURVEY
V101	ALTA NSPS LAND TITLE SURVEY
V200	PHOTOMETRIC PLAN - INITIAL
V201	PHOTOMETRIC PLAN - MAINTAINED
C100	GENERAL NOTES
C200	DEMO PLAN
C300	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
C301	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
C400	SITE PLAN
C500	GRADING PLAN
C501	STORM SEWER PLAN
C600	UTILITY PLAN
C700	CONSTRUCTION DETAILS
C701	CONSTRUCTION DETAILS
C702	CONSTRUCTION DETAILS
C703	CONSTRUCTION DETAILS
C704	CONSTRUCTION DETAILS
C705	CONSTRUCTION DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE DETAILS



Know what's below.  
Call before you dig.

PRELIMINARY - NOT FOR CONSTRUCTION

BANK OF  
AMERICA  
PREPARED FOR  
OPPIDAN

COVER SHEET

BLOOMINGTON  
MN

SHEET NUMBER  
C000

THESE PLANS WERE PREPARED BY  
KIMLEY-HORN AND ASSOCIATES, INC.  
ON BEHALF OF THE CLIENT AND  
THEY ARE NOT TO BE USED FOR ANY  
OTHER PROJECT WITHOUT THE WRITTEN  
CONSENT OF KIMLEY-HORN AND ASSOCIATES, INC.

DESIGNED BY: BENJAMIN R. JOHNSON  
DRAWN BY: RYAN HYLLESTEAD  
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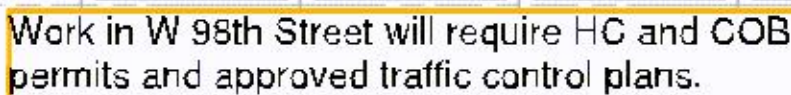
KHA PROJECT  
160774046  
DATE  
12/20/2019  
SCALE  
AS SHOWN  
DESIGNED BY  
BPG  
DRAWN BY  
BPG  
CHECKED BY  
BRJ

DATE  
12/20/2019  
LIC. NO.  
53084

Benjamin R. Johnson  
Benjamin R. Johnson

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PHONE: 651-645-4197  
WWW.KIMLEY-HORN.COM

Kimley-Horn



OWNER: OXBORO BLOOMINGTON  
RETAIL CENTER LLC.  
501 98TH STREET WEST,  
BLOOMINGTON, MINNESOTA 55420  
PID 150-27-24-32-0066

(A)	REMOVE EXISTING BITUMINOUS PAVEMENT
(B)	REMOVE EXISTING CONCRETE PAVEMENT SIDEWALK
(C)	REMOVE CURB AND GUTTER
(D)	REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATIONS/FEATURES
(E)	CLEARING AND GRUBBING
(F)	REMOVE STORM STRUCTURE
(G)	REMOVE EXISTING ELECTRICAL EQUIPMENT
(H)	REMOVE EXISTING LIGHT POLE AND ASSOCIATED FOUNDATIONS/FEATURES
(I)	REMOVE EXISTING TREE
(J)	REMOVE EXISTING UTILITIES
(K)	PROTECT EXISTING ELECTRICAL HANDHOLE
(L)	PROTECT EXISTING HYDRANT
(M)	PROTECT EXISTING UTILITIES
(N)	PROTECT EXISTING PYLON SIGN
(O)	PROTECT EXISTING SIDEWALK/PAVEMENT
(P)	PROTECT EXISTING CURB AND CUTTER
(Q)	REMOVE RETAINING WALL
(R)	PROTECT EXISTING TREE
(S)	SAFECUT LINE
(T)	REMOVE EXISTING SIGN/BOLLARDS
(U)	PROTECT EXISTING BRICK WALL
(V)	REMOVE EXISTING RAILING TO INSTALL PROPOSED MANHOLE REPLACE IN KIND
(W)	PROPOSED UTILITY SERVICE EXCAVATIONS, MATCH EXISTING PAVEMENT SECTION PER CITY OF BLOOMINGTON STANDARDS

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL COVERING AUTHORITIES) ALL STRUCTURES, PAD'S, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS WILL BE CONSTRUCTED. ALL EXISTING UTILITIES REMOVED SHALL BE UNDEVELOPED TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. (CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
6. ALL EXISTING SEWERS, DRAINAGE, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTAINANCE OF THE ROAD CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH BLOOMINGTON COUNTY AND MNDOT.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES BE UNDEVELOPED AND MAINTAIN ACCESS TO ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND PAYING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF BLOOMINGTON DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. REFER TO SURVEY FOR ALL EXISTING ELEVATION AND RIM ELEVATIONS.
14. ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
15. IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
16. IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
17. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINAGE IS ENCOUNTERED ON SITE. NO ACTIVE DRAINAGE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

	PROPERTY LINE
	REMOVE BITUMINOUS SURFACE
	REMOVE CONCRETE SURFACE
	REMOVE BUILDING
	CLEARING & GRUBBING
	FULL DEPTH SAWCUT
	REMOVE TREE
	REMOVE CONCRETE CURB & GUTTER
	REMOVE UTILITY LINES
	ABANDON UTILITY LINES
	LIMITS OF CONSTRUCTION
	EXISTING RIVERHED PRIMER LINE
	EXISTING CHAINLINK FENCE
	EXISTING J-BARRIER
	EXISTING RETAINING WALL
	EXISTING SANITARY SEWER
	EXISTING SLOAN SEWER
	EXISTING WATERMAIN
	EXISTING GAS MAIN
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING CONTOUR
	EXISTING CURB & CUTTER
	EXISTING SIGN
	EXISTING STORM MANHOLE
	EXISTING STORM CATCH-BASIN
	EXISTING GAS METER
	EXISTING ROOF DRAIN
	EXISTING GATE VALVE
	EXISTING HYDRANT
	EXISTING ELECTRICAL METER
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING TRFF



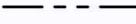
GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments. The first 10-foot segment is black, the next 10-foot segment is white, the next 10-foot segment is black, and the final 20-foot segment is white.

SHEET NUMBER <b>C200</b>	BANK OF AMERICA PREPARED FOR OPPIDAN	BLOOMINGTON	MIN	DEMO PLAN	KIVA PROJECT 1607770046	DATE 12/20/2019	SCALE AS SHOWN	DESIGNED BY BPG	UNKNOWN	CHECKED BY BPG	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. <i>Benjamin R. Johnson</i> BENJAMIN R. JOHNSON	DATE: 12/20/2019 LIC. NO. 53084	 2018 KIMLEY-HORN AND ASSOCIATES, INC. 707 ELUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-435-4187 WWW.KIMLEY-HORN.COM	No.	DATE	REVISIONS	BY

## ITEM 16

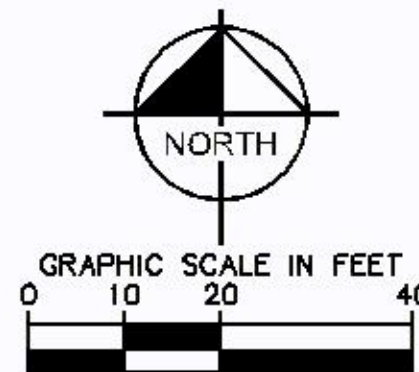
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DRIVKS, PRECISE BUILDING DIMENSIONS AND EXIST BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPPED RADII ARE TO BE 5'.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
7. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EFN, DATED 7/23/2019.
8. KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
9. Pylon Monument Signs shall be constructed by others. Signs are shown on graphical & informational purposes only. Contractor to verify size, location and any required permits necessary for the construction of the Pylon Monument Sign.
10. CONTRACTOR SHALL REFERENCE ARCHITECT PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
11. NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN 5' OF PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
12. REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
13. REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
14. ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
15. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
16. ALL PARKING STALLS TO BE 3' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.

	PROPERTY LINE SETBACK LINE
	PROPOSED STANDARD CURB AND GUTTER
	PROPOSED REVERSE PITCH CURB AND GUTTER
	ACCESSIBLE ROUTE, MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
	PROPOSED STANDARD DUTY ASPHALT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LANDSCAPING

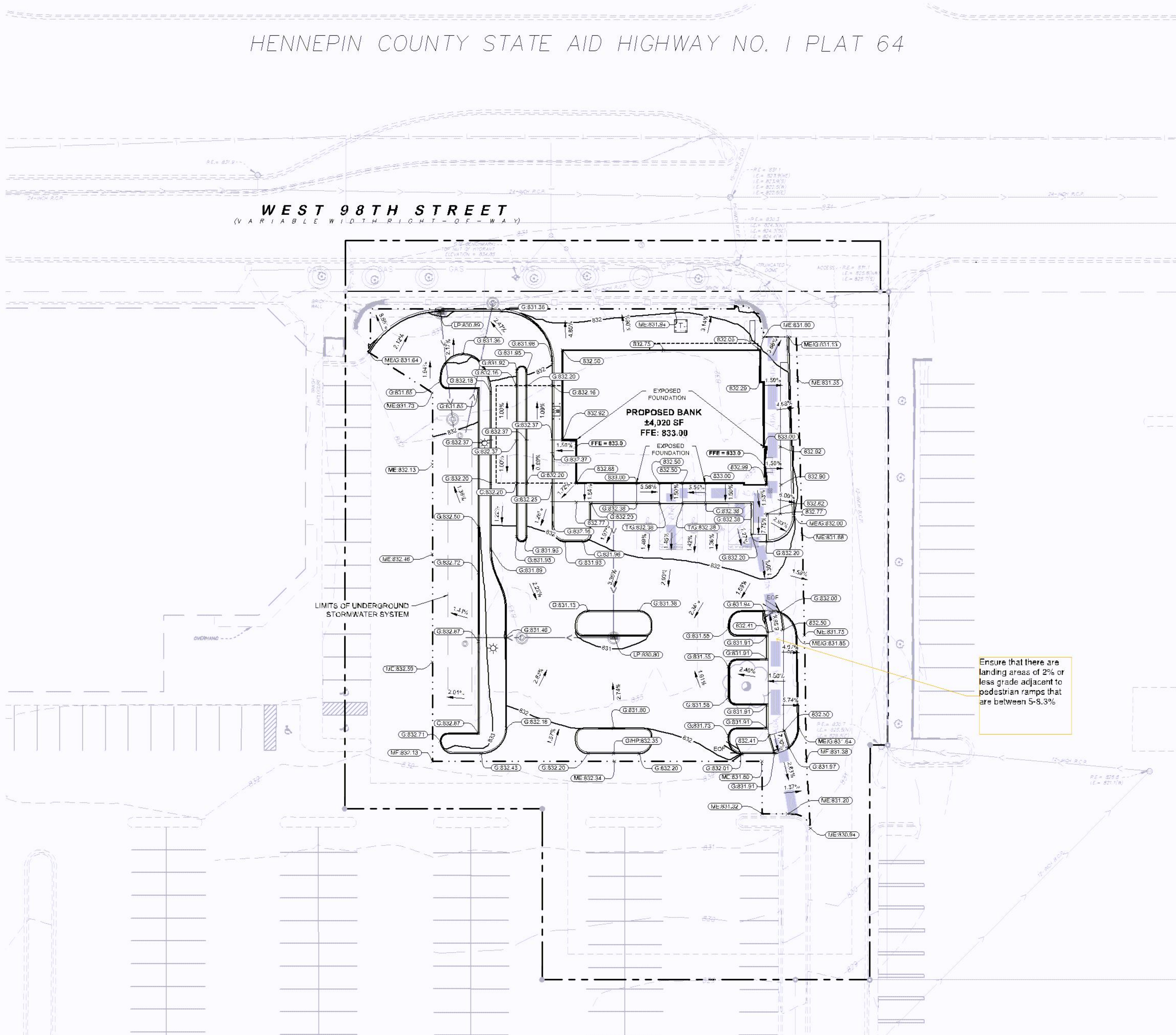
BANK OF AMERICA	
TOTAL PROPERTY AREA	55,774 SF (1.28 AC)
EXISTING RIGHT OF WAY EASEMENT	4,193 SF (0.10 AC)
NET PROPERTY AREA	51,581 SF (1.18 AC)
PROPOSED IMPERVIOUS AREA	45,369 SF (1.04 AC)
PROPOSED PERVIOUS AREA	6,212 SF (0.14 AC)
TOTAL DISTURBED AREA	26,163 SF (0.60 AC)
ZONING SUMMARY	
EXISTING ZONING	B4 COMMUNITY COMMERCIAL, PUD OVERLAY
PROPOSED ZONING	B4 COMMUNITY COMMERCIAL, PUD OVERLAY
SETBACK REQUIREMENTS	FRONT = 65' SIDE = 25' REAR = 25'

AREAS	
PROPOSED PROPERTY	55,774 SF (1.28 AC)
BUILDING AREA	4,020 SF (7.2% OF TOTAL PROPERTY AREA)
PARKING	
REQUIRED PARKING	18 SPACES @ 1/240 SF
PROPOSED PARKING	64 SPACES (SHARED)
ADA STALLS REQ'D / PROVIDED	3 STALLS / 3 STALLS

- (A) CONCRETE SIDEWALK
- (B) B812 CURB & GUTTER (TYP.)
- (C) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (D) ACCESSIBLE CURB RAMP
- (E) ACCESSIBLE PARKING SIGN W/ BOLLARD BASE
- (F) ACCESSIBLE PARKING
- (G) AREA STRIPED WITH 4" S/WSL @ 45° 2' O.C.
- (H) STANDARD DUTY ASPHALT PAVEMENT
- (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
- (J) DRIVE-UP ATM KIOSK - SEE ARCHITECT PLANS
- (K) OVERHEAD BUILDING CANOPY - SEE ARCH PLANS
- (L) EXISTING PYLON SIGN TO REMAIN
- (M) FLAT CURB
- (N) DIRECTIONAL STRIPING
- (O) 6" STEEL PIPE BOLLARD
- (P) BICYCLE RACK
- (Q) R5-1 "DO NOT ENTER" SIGN, 30" X 30"
- (R) R1-1 "STOP" SIGN, 30" X 30"
- (S) 15' SIDE IRRIANGLE, FREE OF SIGNAGE AND LANDSCAPING
- (T) 24" WIDE STOP BAR
- (U) PROPOSED LIGHT POLE - SEE LIGHTING PLANS
- (V) EXISTING TREE TO REMAIN
- (W) REMOVE EXISTING RAILING TO INSTALL PROPOSED MANHOLE REPLACE IN KIND
- (X) PROPOSED TRANSFORMER PAD



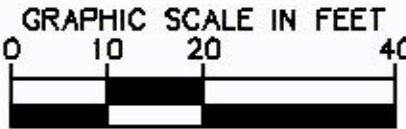
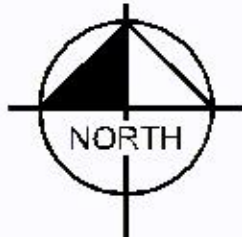
BANK OF AMERICA PREPARED FOR OPPIDAN BLOOMINGTON	SHEET NUMBER C400	MIN	SITE PLAN	<div>KHA PROJECT 160774046</div> <div>DATE 12/20/2019</div> <div>SCALE AS SHOWN</div> <div>DESIGNED BY BPG</div> <div>DRAWN BY BPG</div> <div>CHECKED BY BRJ</div>	<div>I HEREBY CERTIFY THAT THIS PLAN, FOR THE PROJECT OR PROJECTS DESCRIBED BY THIS CERTIFICATE, WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.</div> <div> BENJAMIN JOHNSON</div> <div>DATE: 12/20/2019 MIN 53084 LIC. NO. 53084</div>	<div><b>Kimley»»Horn</b> © 2019 KIMLEY-HORN AND ASSOCIATES, INC. 707 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE 651-455-4187 WWW.KIMLEY-HORN.COM</div>	No.	REVISIONS	DATE	BY



**LEGEND**

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED STORM MANHOLE (SOLID CASING)
- PROPOSED STORM MANHOLE (ROUND INLET CASING)
- PROPOSED STORM MANHOLE CATCH BASIN (CURB INLET CASING)
- PROPOSED STORM SEWER (DRENCH)
- PROPOSED STORM SEWER
- PROPOSED SPOT ELEVATION
- PROPOSED HIGH POINT ELEVATION
- PROPOSED LOW POINT ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED FINISH PAVEMENT ELEVATION
- MATCH EXISTING ELEVATION
- PROPOSED EMERGENCY OVERFLOW
- PROPOSED DRAINAGE DIRECTION
- PROPOSED ADA SLOPE
- ADA ACCESSIBLE ROUTE, SEE NOTE 14

- GRADING PLAN NOTES**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
  - CONTRACTOR TO CALL Gopher State Call One @ 1-800-252-1155 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
  - CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
  - SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
  - CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
  - GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL ROUGH GRADE TO SUBGRADE ELEVATION AND LEAVE STREET READY FOR SUBBASE.
  - ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OFF THE CONSTRUCTION SITE.
  - REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT, AND ELEVATIONS AND CASING / STRUCTURE NOTATION.
  - CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF PAVEMENTS AND CURB AND GUTTER WITH SMOOTH UNIFORM SLOPES TO PROVIDE POSITIVE DRAINAGE.
  - INSTALL A MINIMUM OF 4" CLASS 5 AGGREGATE BASE UNDER CURB AND GUTTER AND CONCRETE SIDEWALKS.
  - UPON COMPLETION OF EXCAVATION AND FILLING, CONTRACTOR SHALL RESTORE ALL STREETS AND DISTURBED AREAS ON SITE. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH A MINIMUM OF 6" OF TOPSOIL.
  - ALL SPOT ELEVATIONS/CONTOURS ARE TO GUTTER / FLOW LINE UNLESS OTHERWISE NOTED.
  - GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO CURRENT ADA STATE/NATIONAL STANDARDS. IN NO CASE SHALL ACCESSIBLE RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2%. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5%. IN NO CASE SHALL ACCESSIBLE PARKING STALLS OR AISLES EXCEED 2% (1:5% TARGET) IN ALL DIRECTIONS. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS AND GATES SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET IN ANY LOCATION PRIOR TO PAVING. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA COMPLIANCE ISSUES.
  - MAINTAIN A MINIMUM OF 0.5% GUTTER SLOPE TOWARDS LOW POINTS.
  - MAINTAIN A MINIMUM OF 1.25% SLOPE IN BITUMINOUS PAVEMENT AREAS. 0.5% SLOPE IN CONCRETE PAVEMENT AREAS.
  - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "INFALL CURB" WHERE PAVEMENT DRAINS TOWARD GUTTER, AND "OUTFALL" CURB WHERE PAVEMENT DRAINS AWAY FROM GUTTER.



PRELIMINARY - NOT FOR CONSTRUCTION

BANK OF AMERICA  
PREPARED FOR  
OPPIDAN

SHEET NUMBER  
C500

GRADING PLAN

DESIGNED BY: Benjamin Johnson  
CHECKED BY: BENJAMIN R. JOHNSON  
DATE: 12/20/2019  
SCALE: AS SHOWN  
UNITS: BPG  
BY: BPG

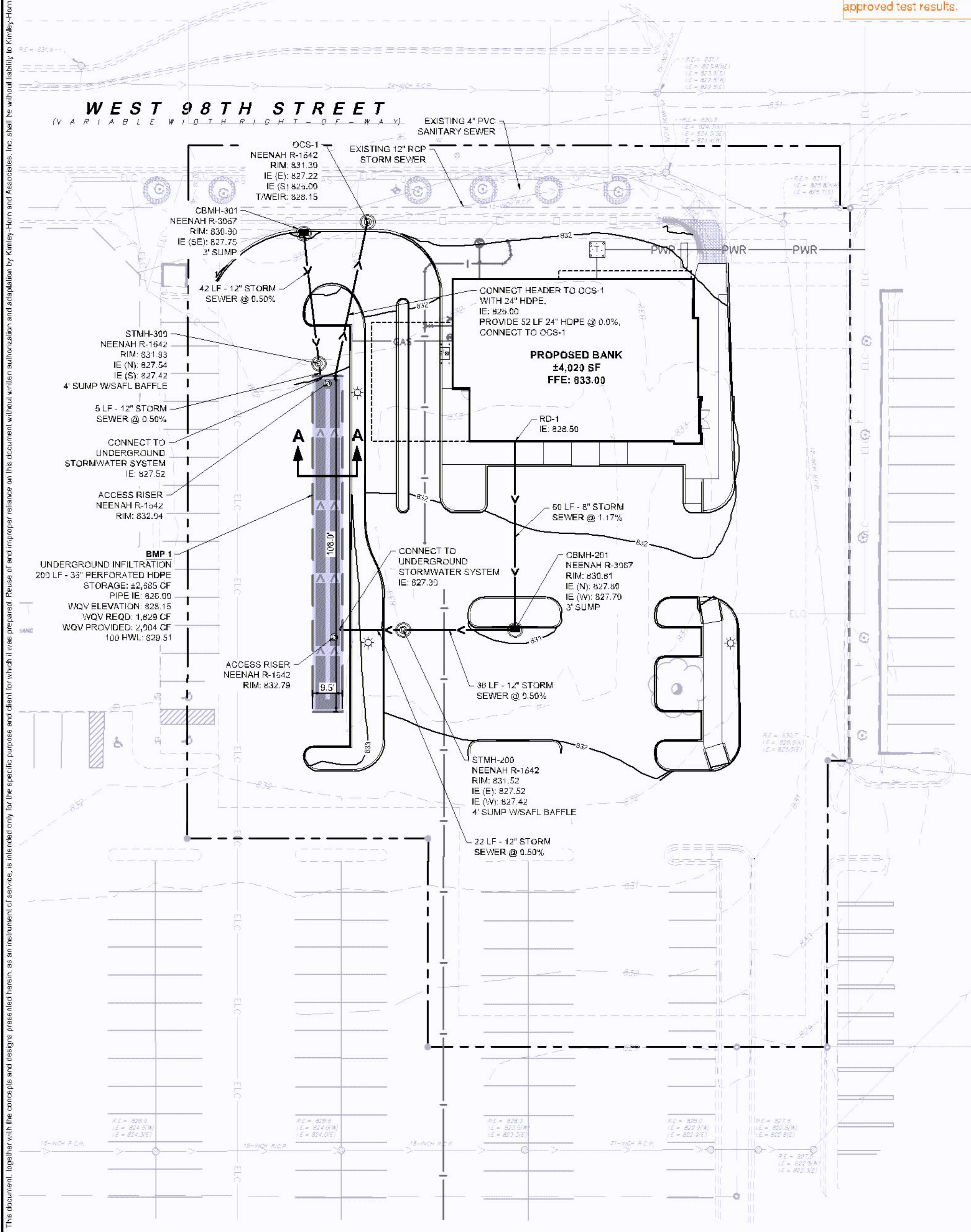
PROJECT: KHA PROJECT 160774046  
DATE: 12/20/2019

LOCATION: 24101 KIMLEY-HORN AND ASSOCIATES, INC.  
767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114  
PHONE: 651-454-1187  
WWW.KIMLEY-HORN.COM

Kimley-Horn

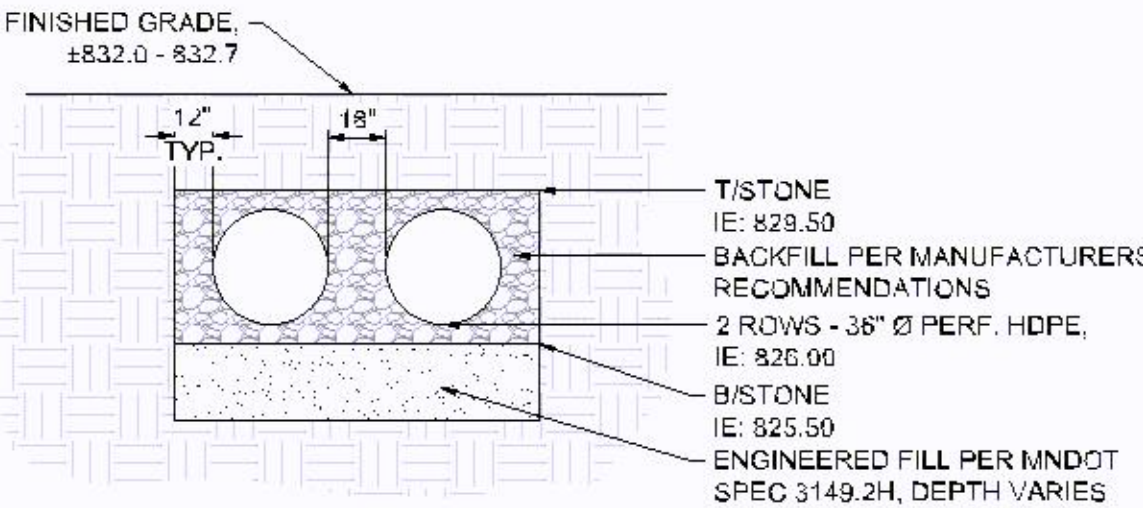
BY: DATE: REVISIONS: No.

Engineer to provide Bloomington Engineering with copy of approved test results.



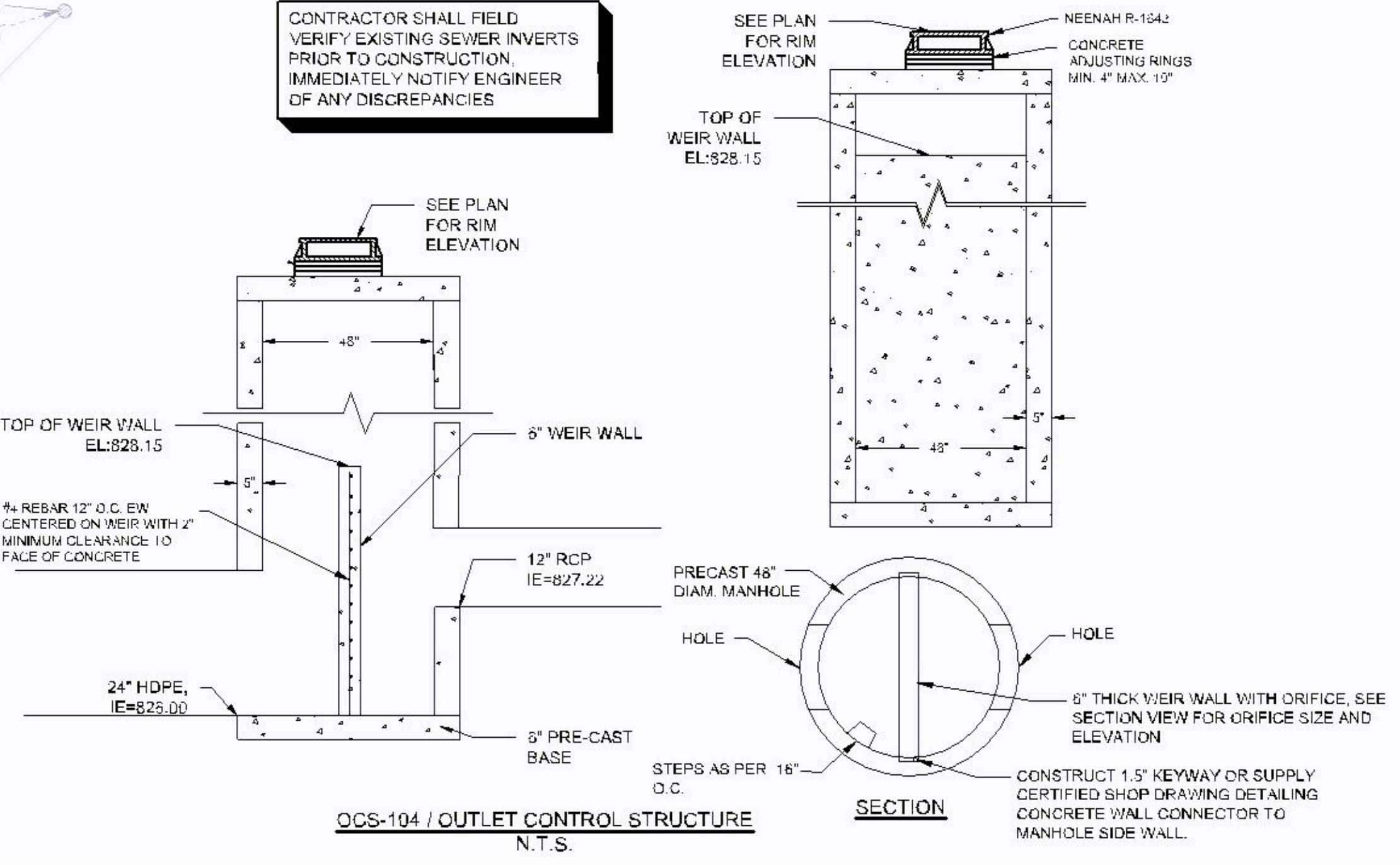
UNDERGROUND STORMWATER MANAGEMENT NOTES

- CONTRACTOR TO PROVIDE (2) DOUBLE RING INFILTRATOR TESTS WITHIN THE UNDERGROUND SYSTEM EXCAVATION PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM. THE CONTRACTOR SHALL PROVIDE THE RESULTS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM.
- CONTRACTOR SHALL OVER-EXCAVATE ALL FILL/URBAN FILL TO A ELEVATION OF APPROXIMATELY 822.00. EXCAVATION SHALL BE REPLACED WITH SUITABLE ENGINEERED FILL MEETING THE MNDOT SPECIFICATION FOR COARSE FILTER AGGREGATE PER SECTION 3149.2H. DEPTHS OF FILL/URBAN FILL EXPECTED TO VARY. CONTRACTOR SHALL VERIFY DEPTHS OF EXCAVATION AND PERFORM INFILTRATOR TESTS PRIOR TO INSTALLING UNDERGROUND SYSTEM.
- IF NATIVE SUBGRADE SOILS BELOW FILL/URBAN FILL ARE DETERMINED TO NOT BE CONDUCTIVE TO THE DESIGN INFILTRATION REQUIREMENTS, THE CONTRACTOR SHALL REMOVE AND REPLACE THE POORLY INFILTRATING SOILS TO A DEPTH WHERE THE EXISTING NATIVE SUBGRADE SOILS MEET OR EXCEED THE DESIGN INFILTRATION RATE AS REVIEWED BY THE ENGINEER.
- UPON COMPLETION OF THE STORMWATER BMP AND FINAL STABILIZATION OF THE TRIBUTARY DRAINAGE AREA, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION THE BMP AFTER A SIGNIFICANT RAIN EVENT THAT SHOWS THE BMP'S DRAWS DOWN WITHIN 48 HOURS.
- NO CONSTRUCTION EQUIPMENT SHALL TRAVEL WITHIN THE UNDERGROUND INFILTRATION SYSTEM AREA. USE EXCAVATOR WITH TOOTHED BUCKET FOR INFILTRATION BASIN EXCAVATION TO AVOID COMPACTING OR SMEARING OF SOILS.
- FINAL EXCAVATION OF UNDERGROUND INFILTRATION SYSTEM AREA AND INSTALLATION OF OF ENGINEERED SOIL MUST OCCUR IN DRY SOIL CONDITIONS TO PREVENT SMEARING AND COMPACTION. DO NOT WORK IN INFILTRATION SYSTEM AREA IF SOIL CONDITIONS ARE WET.
- IMMEDIATELY FOLLOWING SYSTEM CONSTRUCTION, THE EXCAVATION FOR THE TRENCH SHALL BE IMMEDIATELY BACKFILLED WITH APPROVED BACKFILL MATERIAL PER MANUFACTURER'S RECOMMENDATION. OR THE EXCAVATION SHALL BE PROTECTED WITH SILT FENCE AND OR BIO-ROLLS SUCH THAT ON-SITE SOILS DO NOT ENTER THE TRENCH EXCAVATION AND CLOG UP THE BOTTOM/SIDES OF THE TRENCH LIMITING THE INFILTRATION CAPACITY OF THE UNDERGROUND SYSTEM.
- IF ANY SOILS ENTER THE TRENCH PRIOR TO BACKFILLING, THE CONTRACTOR SHALL REMOVE SOILS AND CONFIRM THE INFILTRATION CAPACITY OF THE NATIVE SUBGRADE SOILS IS MET WITH INFILTRATOR TESTS.
- CONTRACTOR SHALL COORDINATE AND COMPLETE CERTIFIED AS-BUILT PLANS DEMONSTRATING ALL CONSTRUCTED STORMWATER CONVEYANCE STRUCTURES, AND STORMWATER MANAGEMENT FACILITIES (INCLUDING AS-BUILT VOLUMES) CONFORM TO DESIGN AND/OR PLANS AS APPROVED BY THE CITY.



A-A INFILTRATION SYSTEM PIPE SECTION SCALE 1"=5'

CONTRACTOR SHALL FIELD VERIFY EXISTING SEWER INVERTS PRIOR TO CONSTRUCTION IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES



LEGEND

- PROPERTY LINE
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED UNDERGROUND STORMWATER PIPE DETENTION

STORM SEWER PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- ON-SITE STORM SEWER SHALL BE AS FOLLOWS:  
PVC SDR 26 PER ASTM D-3034 OR  
HDPE PER ASTM F-2305  
ROP PER ASTM C-78  
  
ON-SITE STORM SEWER FITTINGS SHALL BE AS FOLLOWS:  
PVC SDR 26 PER ASTM D-3034, JOINTS PER ASTM D-3212 OR  
HDPE PER ASTM 3212  
ROP PER ASTM C-361 AND C-443
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- UPON PROJECT'S COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.
- SEWER DISCONNECTIONS ARE REQUIRED TO BE CUT AND BULKHEADED AT THE MAIN.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, CHAPTER 474, SECTION 1109.

PRELIMINARY - NOT FOR CONSTRUCTION

STORM SEWER PLAN

BANK OF AMERICA  
PREPARED FOR  
OPPIDAN

SHEET NUMBER  
C501

Kimley-Horn & Associates, Inc. logo and contact information.

Project information including project name, date, scale, and designer.

Revision table with columns for revision number, description, and date.

Project location map showing the site within Bloomington, MN.

WEST 98TH STREET  
(VARIABLE WIDTH RIGHT-OF-WAY)

City records indicate this may be a 60 year old 6" Asbestos Cement Pipe Sewer service. There were some indications of issues/repairs in the past but not much detail is known. Project Engineer and Contractor should verify the condition of the pipe via CCTV for the owner. It may be necessary to rehab/line or replace the service.

Need a new valve to perform testing of the new water main and straighten out water service.

SEE SHEET C501 FOR  
STORMWATER MANAGEMENT  
AND STORM SEWER DESIGN

(A)	CONNECT TO EXISTING WATERMAIN
(B)	TEE W/ GATE VALVE
(C)	PROPOSED POWER SERVICE, COORDINATE W/ UTILITY
(D)	PROPOSED GAS SERVICE, COORDINATE W/ UTILITY
(E)	8" TO 6" REDUCER W/ VALVE
(F)	BEND
(G)	CONSTRUCT MANHOLE OVER EXISTING SANITARY SEWER
(H)	FDC
(I)	GAS METER
(J)	PROPOSED UTILITY SERVICE EXCAVATIONS, MATCH EXISTING PAVEMENT SECTION PER CITY OF BLOOMINGTON STANDARDS
(K)	PROPOSED 8" DIP WATER SERVICE
(L)	EXISTING 12" RCP STORM SEWER
(M)	EXISTING 4" PVC SANITARY SEWER
(N)	EXISTING 8" WATERMAIN
(O)	EXISTING FIRE HYDRANT
(P)	PROPOSED LIGHT POLE - SEE LIGHTING PLANS
(Q)	PROTECT EXISTING UTILITY, MAINTAIN COVER
(R)	PROPOSED TRANSFORMER

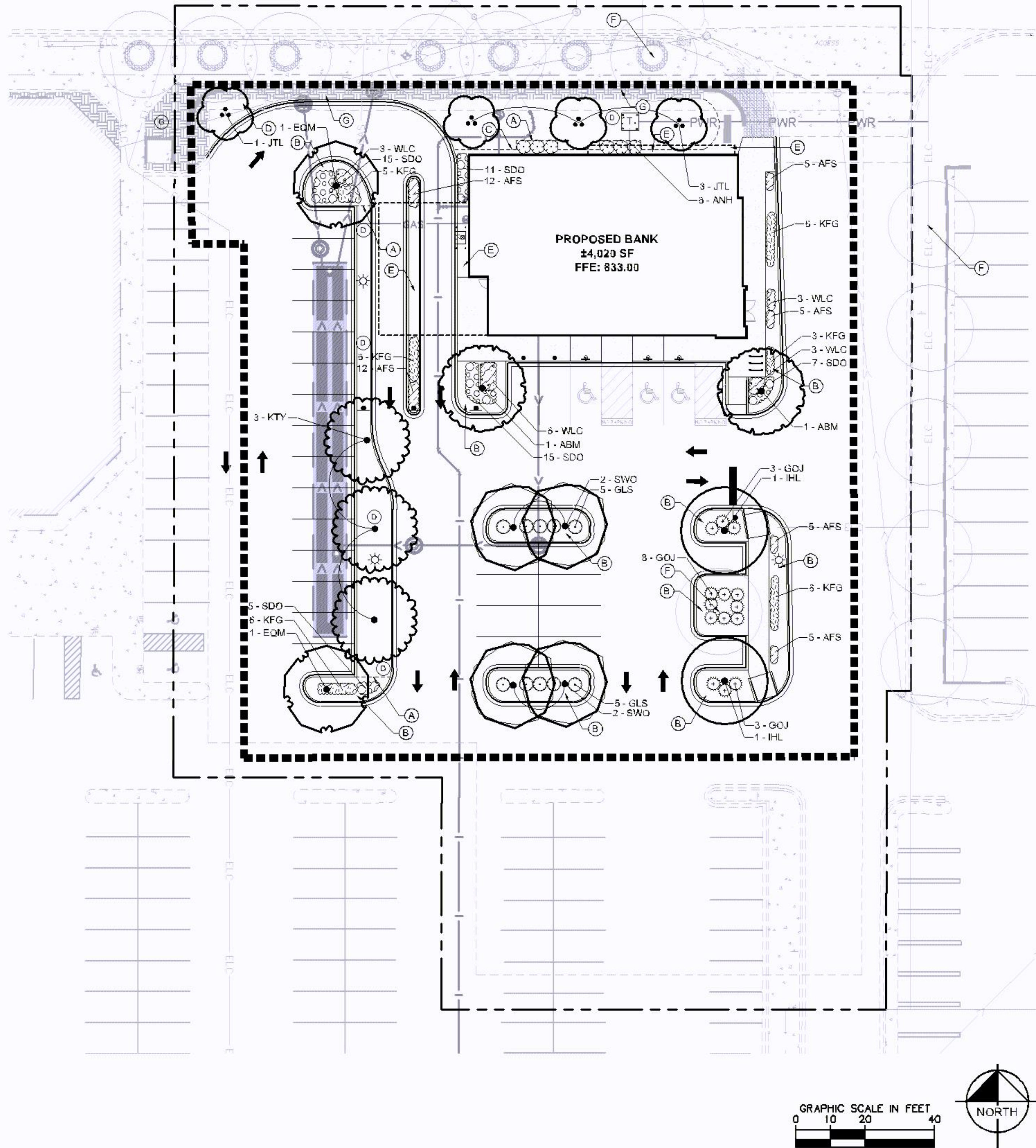
Use SDR26 or Sch 40

<b>C1</b>	4" SANITARY 8" WATER	B/P - 825.52 T/P - 823.41
<b>C2</b>	12" STORM 8" WATER	B/P - 827.58 T/P - 823.75
<b>C3</b>	18" STORM 8" WATER	B/P - 823.71 T/P - 820.95

EXISTING	PROPOSED	
		SILE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		PWR
		COM
		GAS
		PROPOSED UNDERGROUND STORMWATER PIPE DETENTION

1. ALL FILL MATERIAL IS TO BE IN ACF, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
PVC SDR35 PER ASTM D-2634 INSTALLED PER ASTM D-2241
3. WATER LINES SHALL BE AS FOLLOWS:  
CLASS 52 DIP PER ANSI/AWWA A-24.31(15) WITH JOINTS PER ANSI/AWWA A-21.1(11). MINIMUM 8 MIL POLYWRAP REQUIRED ON ALL DIP.
4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR CARBIDUM BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
7. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 8" AND MAXIMUM OF 10" COVER ON ALL WATER LINES.
8. INSTALL HIGH DENSITY POLYSTYRENE INSULATION TO PREVENT FREEZING ON SANITARY SEWER MAINLINES, CLEANOUTS, MANHOLES AND SERVICES WITHOUT ADEQUATE COVER.  
A MINIMUM 10-FOOT HORIZONTAL SEPARATION AND 18-INCH VERTICAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND SEWERS.
9. IN THE EVENT OF A POTENTIAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE 6"CH, 40 OR 60"CH WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION, MEETING REQUIREMENTS 7" ANS A21.10 OR ANSI 21.11 (AWWA C-151) CLASS 501.
11. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PARKING ELEVATIONS, AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS WITH WATERTIGHT LIDS.
13. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
15. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF FREDERICK AND/OR STATE OF MD WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD, THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
18. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
19. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
20. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
21. BACKFLOW DEVICES (DDCV AND PRE AIRSTOP PLANS), AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING, REF. ARCHITECT PLANS.
22. ALL ONSITE WATERMAINS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
23. ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.
24. TAPS OF LIVE WATERMAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
25. UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
26. COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THRUST ON FLANGE OR ANTI-TO FLANGE CHAPTER. ALSO THE WATER METER MUST BE LOCATED WITHIN 10' OF WHERE THE SERVICE CROSSES THE OUTSIDE WALL OF THE BUILDING.
27. ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANSI/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNCOATED PIPE IS NOT ALLOWED.
28. UTILITY AS-BUILT'S MUST BE PROVIDED PRIOR TO CERTIFICATE OF OCCUPANCY.
29. CONTRACTOR'S MUST OBTAIN A PUBLIC WORKS PERMIT FOR UNDERGROUND WORK WITHIN THE RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVAL OR INSTALLATION. CONTACT UTILITIES (410-526-1454) FOR PERMIT INFORMATION.
30. UTILITY PERMITS ARE REQUIRED FOR CONNECTIONS TO THE PUBLIC STORM, SANITARY, AND WATER SYSTEM. CONTACT UTILITIES (855-583-8777) FOR PERMIT INFORMATION.
31. TAPS OF LIVE WATERMAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
32. UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
33. COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THRUST ON FLANGE OR ANTI-TO FLANGE CHAPTER. ALSO THE WATER METER MUST BE LOCATED WITHIN 10' OF WHERE THE SERVICE CROSSES THE OUTSIDE WALL OF THE BUILDING.
34. ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANSI/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED PIPE IS NOT ALLOWED.

SCAIF 1"=20'



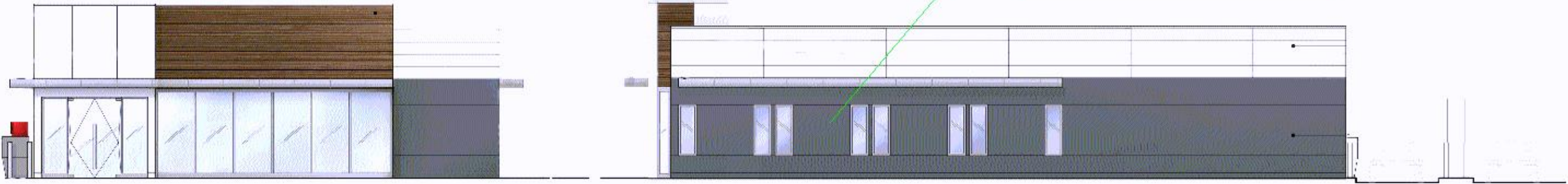
Document species of existing trees to verify they are not on the City's prohibited list (Sec. 18.03).

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) MAINTENANCE STRIP (TYP.)
- (D) SOD (TYP.)
- (E) ROCK MULCH (TYP.)
- (F) EXISTING TREE TO REMAIN (TYP.)
- (G) EXISTING PLANTING BED TO REMAIN (TYP.)

ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	GAL	SIZE	
	JTL	4	SYRINGA RETICULATA	JAPANESE TREE LILAC CLUMP	B & B		5' HT.	
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	GAL	SIZE	
	ABM	2	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2.5" CAL.		
	EQM	2	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN MAPLE	B & B	2.5" CAL.		
	IHL	2	GLEDITSIA TRIACANTHOS VAR. 'INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2.5" CAL.		
	KTY	3	GYMNOCLADUS DIOICA 'UMNSYNERGY' TM	TRUE NORTH KENTUCKY COFFEE TREE	B & B	2.5" CAL.		
	SWO	4	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL.		
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	SPACING
	GOJ	14	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	4' O.C.		48" o.c.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	SPACING
	ANH	5	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4' O.C.		48" o.c.
	GLS	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4' O.C.		48" o.c.
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	SPACING
	AFS	44	SEDUM X 'AUTUMN FIRE'	AUTUMN FIRE SEDUM	#1 CONT		18" O.C.	18" o.c.
	KFG	32	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT		30" OC	30" o.c.
	SDO	53	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	#1 CONT		24" OC	24" o.c.
	WLC	15	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	#1 CONT		30" OC	30" o.c.

Section 21.301.03(a)(3) of the City Code requires architectural unity in terms of style, color and exterior materials among non-residential buildings constructed on one site. The other structures in the planned development are constructed of brick and are brown and dark red in color. The proposed building is not related in style, color or exterior material and requires modification.

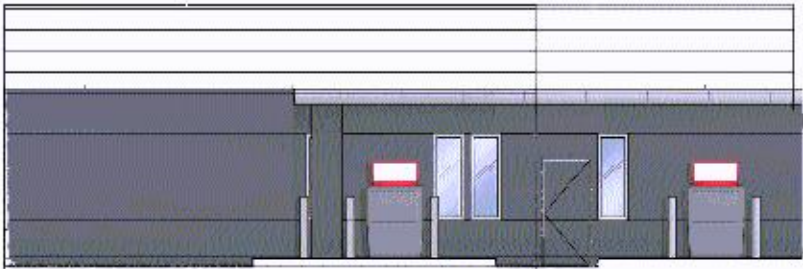
50% of the northern elevation between two and ten feet in height must consist of transparent windows (Sec. 21.301.03(b)(1)). West 98th Street is the primary facade. More transparent windows are needed on the north building elevation.



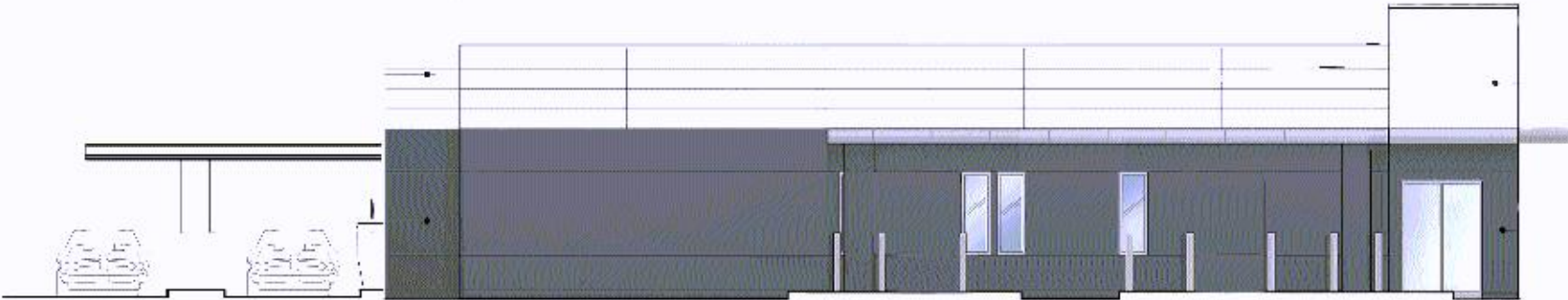
A East Elevations

B North Elevations

Metal panels must comply with the City's Exterior Materials and Finish Policies and Procedures Guide. Panels will be reviewed for thickness, durability and finish warranty (30-year minimum required).


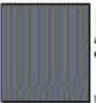




C West Elevations



D South Elevations

EXTERIOR DESIGN | FINISH LEGEND

	FINISH PF-01 MFG: Pure + Freeform Colors: Clear Satin Anodized Finish: Satin
	FINISH PF-02 MFG: Pure + Freeform Colors: To Match Benjamin Moore, HC-128 EDH-4 Charcoal Slate Finish: Satin
	FINISH PF-03 MFG: Pure + Freeform Colors: Whiteless #YES Finish: Satin
	FINISH PF-05 MFG: Pure + Freeform Colors: Home Accents #58424 Finish: Satin