

Garbage Enclosure Minimum Design Standards.
 Refuse storage and handling facilities, other than those identified in Section 21.301.17 (d), shall have an exterior design using building materials consistent with the primary structure. The interior shall comply with the following minimum requirements:

- For all uses other than grocery stores, restaurants or other food service facilities:
 - Doors shall be designed to function properly during periods of ice and snow.
 - Bump rails or bollards are required to prevent penetration of the walls by the dumpster.
- For grocery stores and food service facilities:
 - Floors shall be covered with quarry tile or equivalent with integral sanitary cove base tile.
 - Walls shall have a smooth non-absorbent material sealed or finished to withstand frequent cleaning.
 - Bump rails or bollards are required to prevent penetration of the walls by the dumpster.
 - Doors shall be designed to function properly during periods of ice and snow.
 - Hose bib with back flow prevention shall be provided for cleaning the facility.
 - Floor drains shall be connected to the sanitary sewer system.
 - Ventilation (UMC) and heat source to maintain a temperature above a minimum of 55 degrees F.

Must meet 2020 MN State Building Code

Must meet 2020 MN Accessibility Code.

Provide a detailed code analysis with the plans.

SAG review by MET council will be required.

For all Plumbing plan reviews with job valuations over \$50,000: The plumbing plans must be submitted to the State of MN for review. A Plumbing permit is also required to be submitted to the City of Bloomington - Building and Inspections.

Provide proposed parking stalls vs City code parking requirements.

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered ARCHITECT under the laws of the State of MINNESOTA

Signature _____ Date _____
 Registration Number _____

AIRE APARTMENTS
 CROWN PLAZA AIRE
 BLOOMINGTON, MN 55425

NEW SCHEMATIC SITE PLAN

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: EJ
 CHECKED BY: -
 DATE ISSUED: 01-14-2021
 SCALE: 1" = 30'
 JOB NO.: 20189

KEY PLAN

HOLIDAY INN HOTEL
 4,000 FT² SQUARE
 11, NEW STONE, MINNAPOLIS

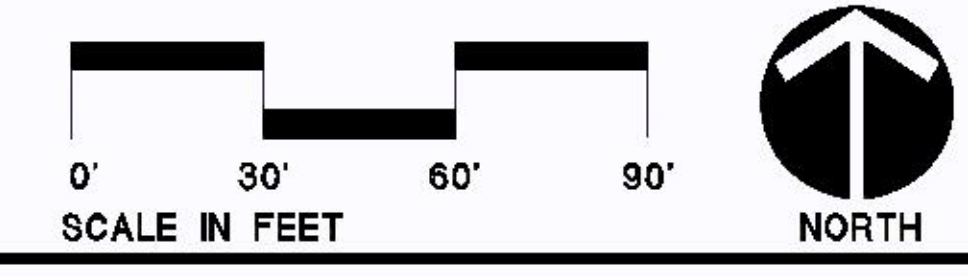
BC

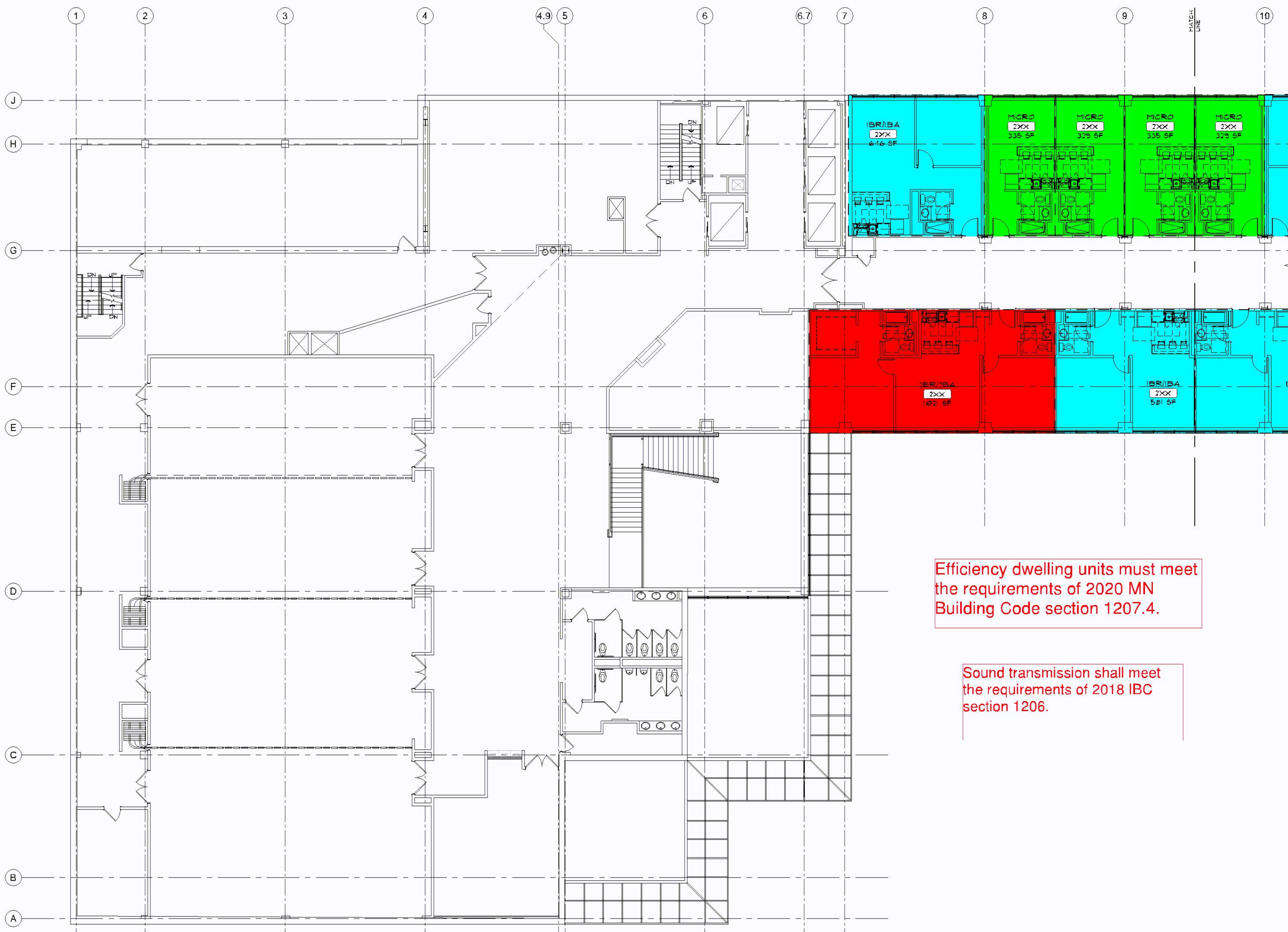
Millerbe
 10,000 FT² SQUARE
 11, NEW STONE, MINNAPOLIS

PAVING & GRADEWORK PLAN

Scale: _____
 Date: _____
 Drawn by: _____
 Checked by: _____

SITE PLAN





Efficiency dwelling units must meet the requirements of 2020 MN Building Code section 1207.4.

Sound transmission shall meet the requirements of 2018 IBC section 1206.

1 SECOND FLOOR PLAN - AREA A
SCALE: 1/8" = 1'-0"

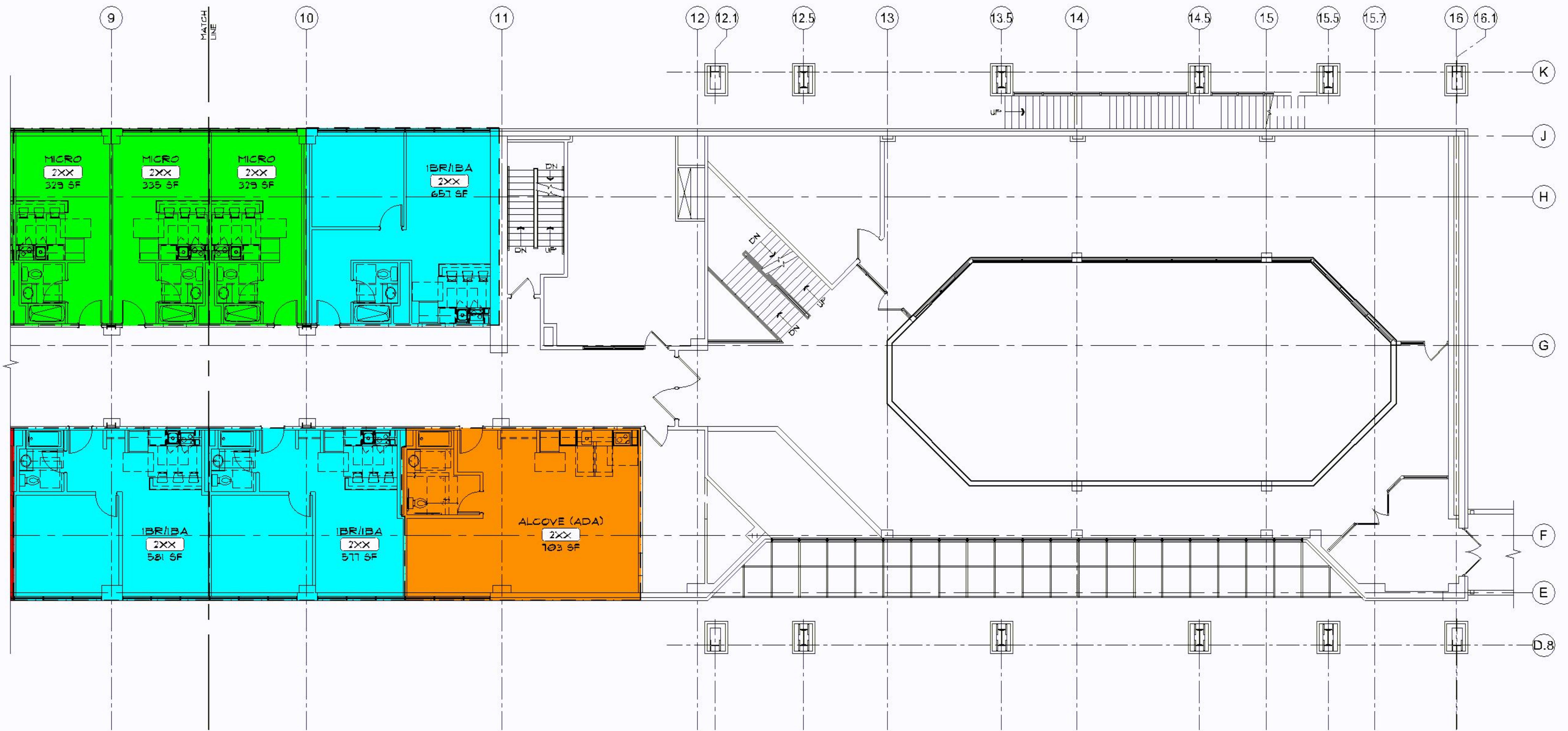
AIRE APARTMENTS

3 APPLE TREE SQUARE
BLOOMINGTON, MN 55425

SECOND FLOOR PLAN - AREA A



DATE ISSUED	
PRELIM REVIEW	01/26/21
DRAWN BY	BDH
CHECKED BY	JMH
JOB NO.	20189



1 SECOND FLOOR PLAN - AREA B
SCALE: 1/8" = 1'-0"

Fire alarm system to meet the requirements of the occupancy determined by the building code for all areas including the commercial and residential upgrades.

All required smoke and CO detection shall be code compliant including the replacement of detectors 10 years or older.

Emergency responder radio coverage meeting the requirements of appendix L in the 2015 MSFC shall be provided throughout the property and within the structures.

Building/property shall be adequately signed for emergency response.

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1 THIRD FLOOR PLAN - AREA A
SCALE: 1/8" = 1'-0"

AIRE APARTMENTS

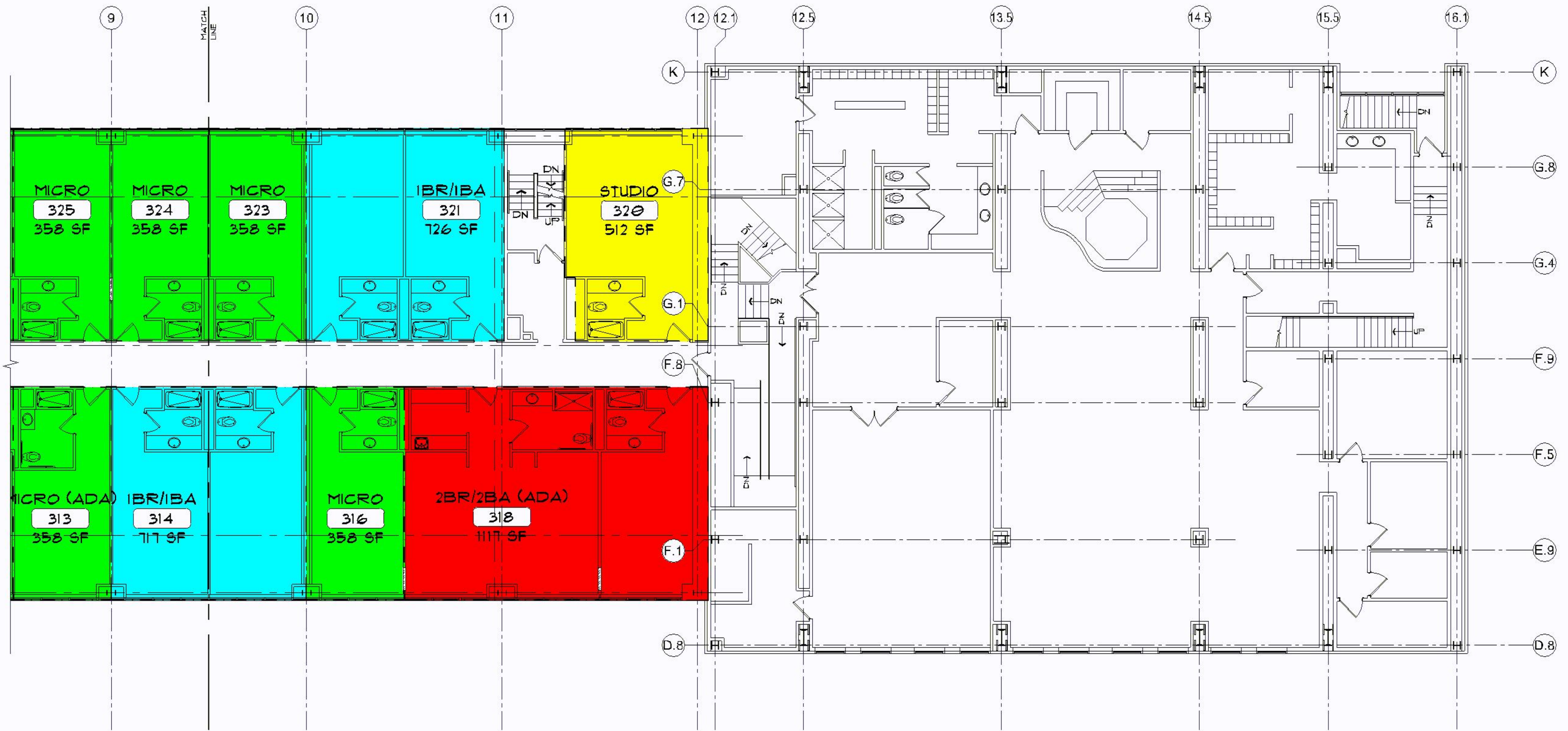
3 APPLETREE SQUARE
BLOOMINGTON, MN 55425

THIRD FLOOR PLAN - AREA A



DATE ISSUED	
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A103A



1 THIRD FLOOR PLAN - AREA B
SCALE: 1/8" = 1'-0"

AIRE APARTMENTS

3 APPLETREE SQUARE
BLOOMINGTON, MN 55425

THIRD FLOOR PLAN - AREA B

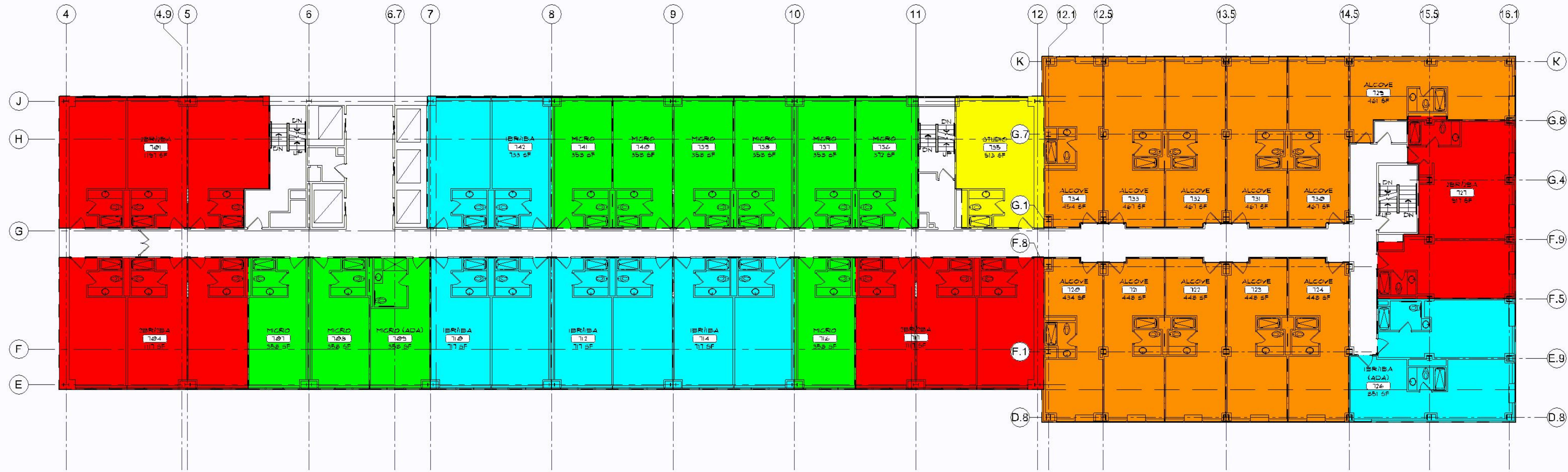


DATE ISSUED	
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A103B



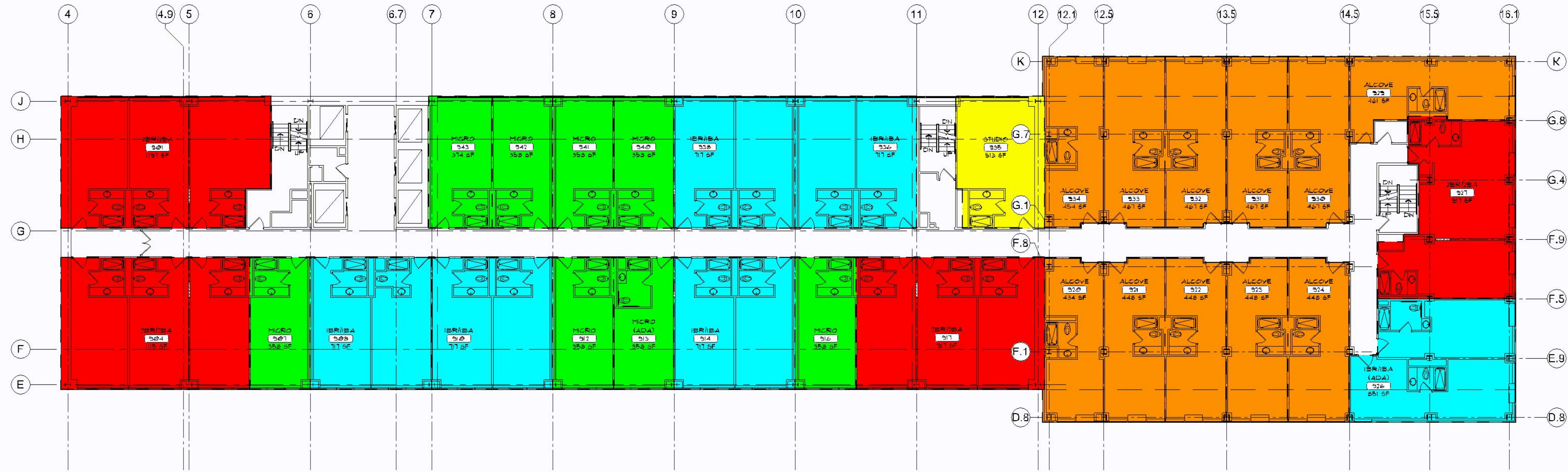
1 SIXTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 SEVENTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



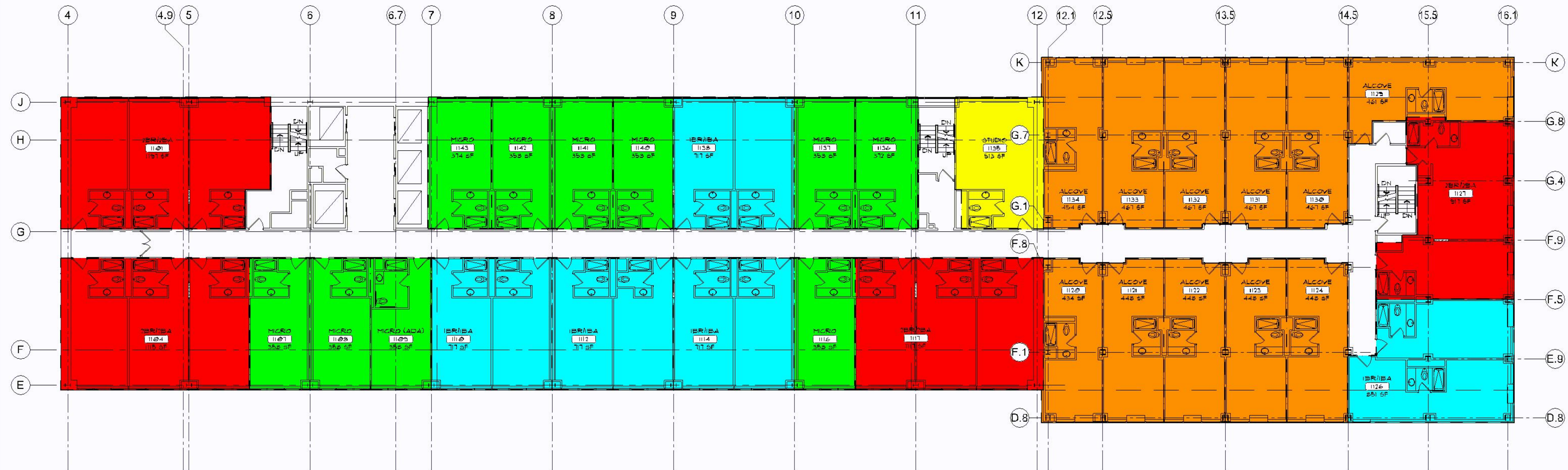
1 EIGHTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



2 NINTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



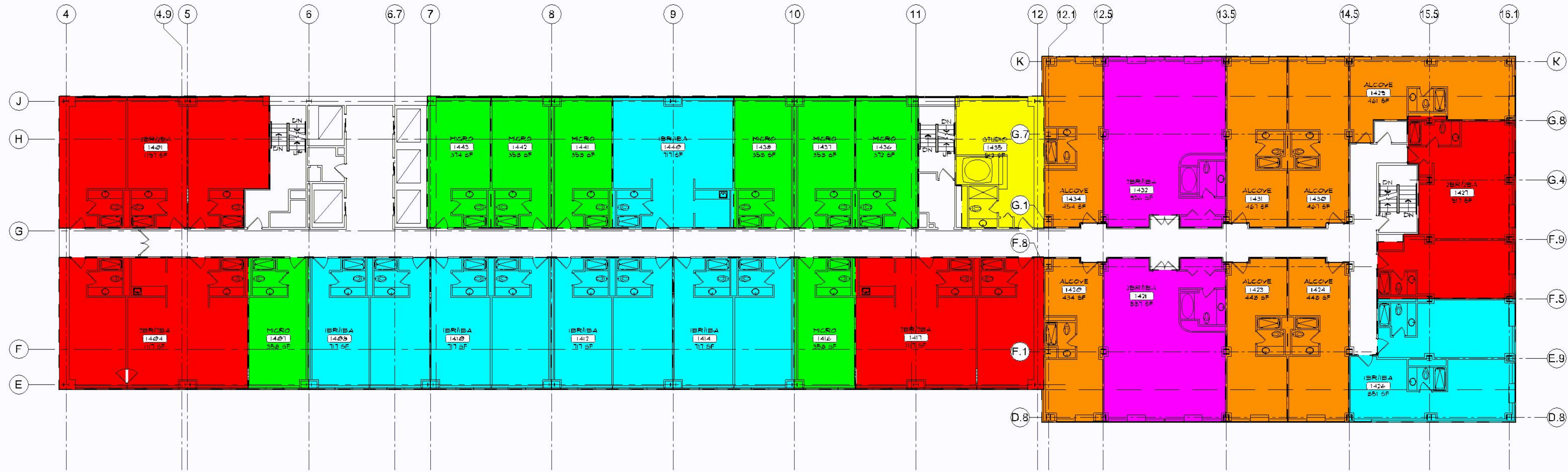
1 TENTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



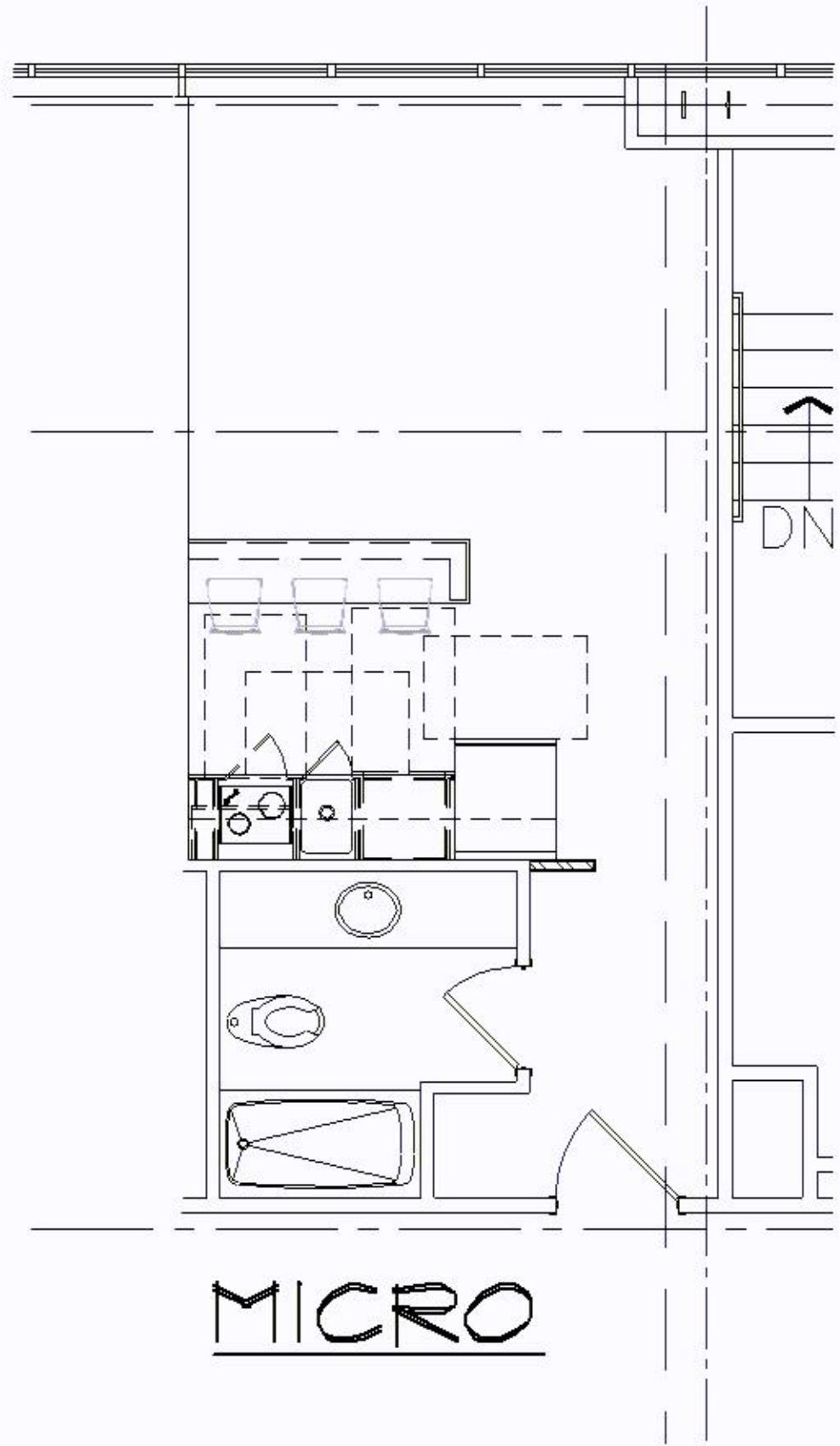
2 ELEVENTH FLOOR PLAN
SCALE: 3/32" = 1'-0"

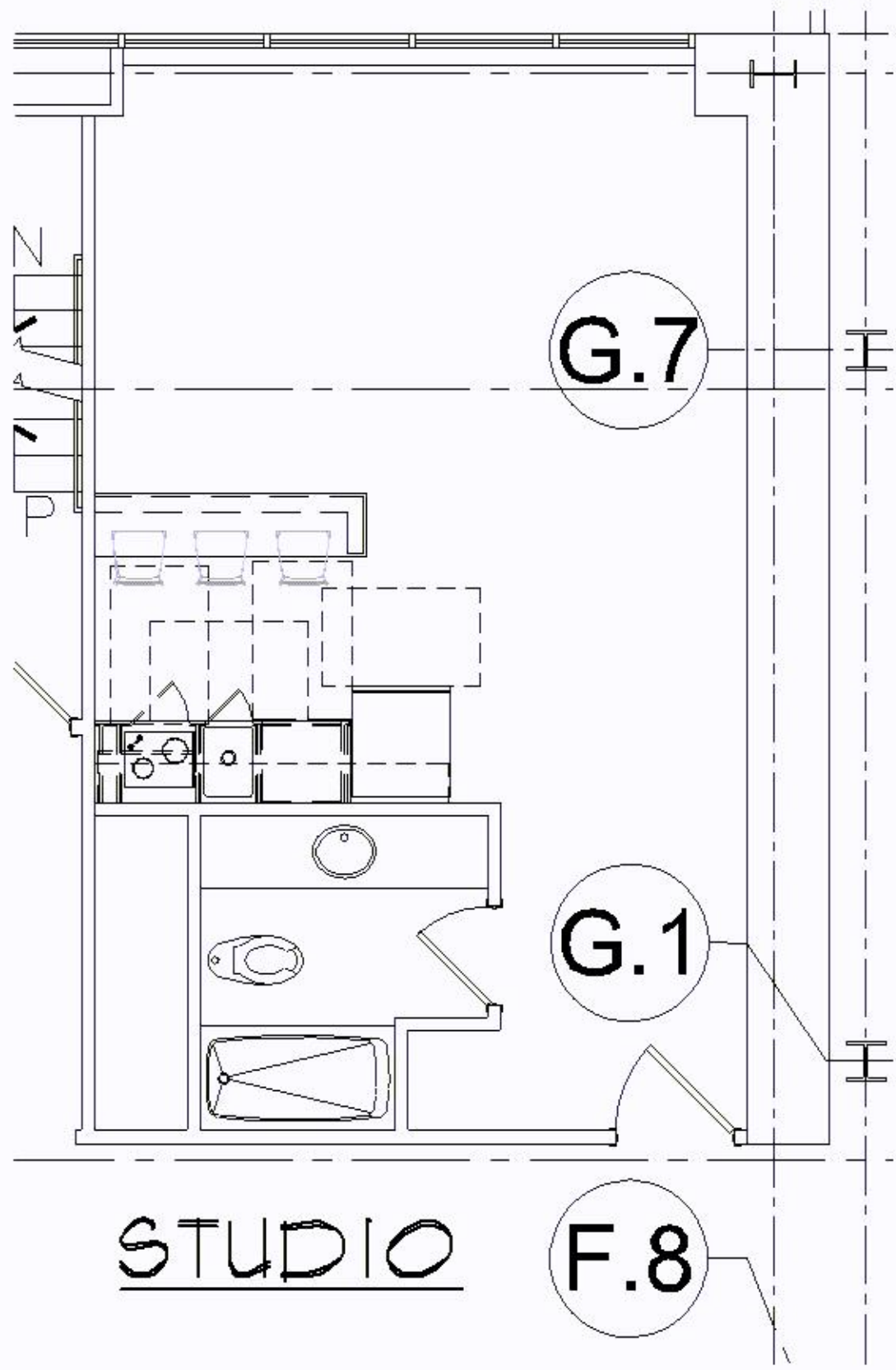


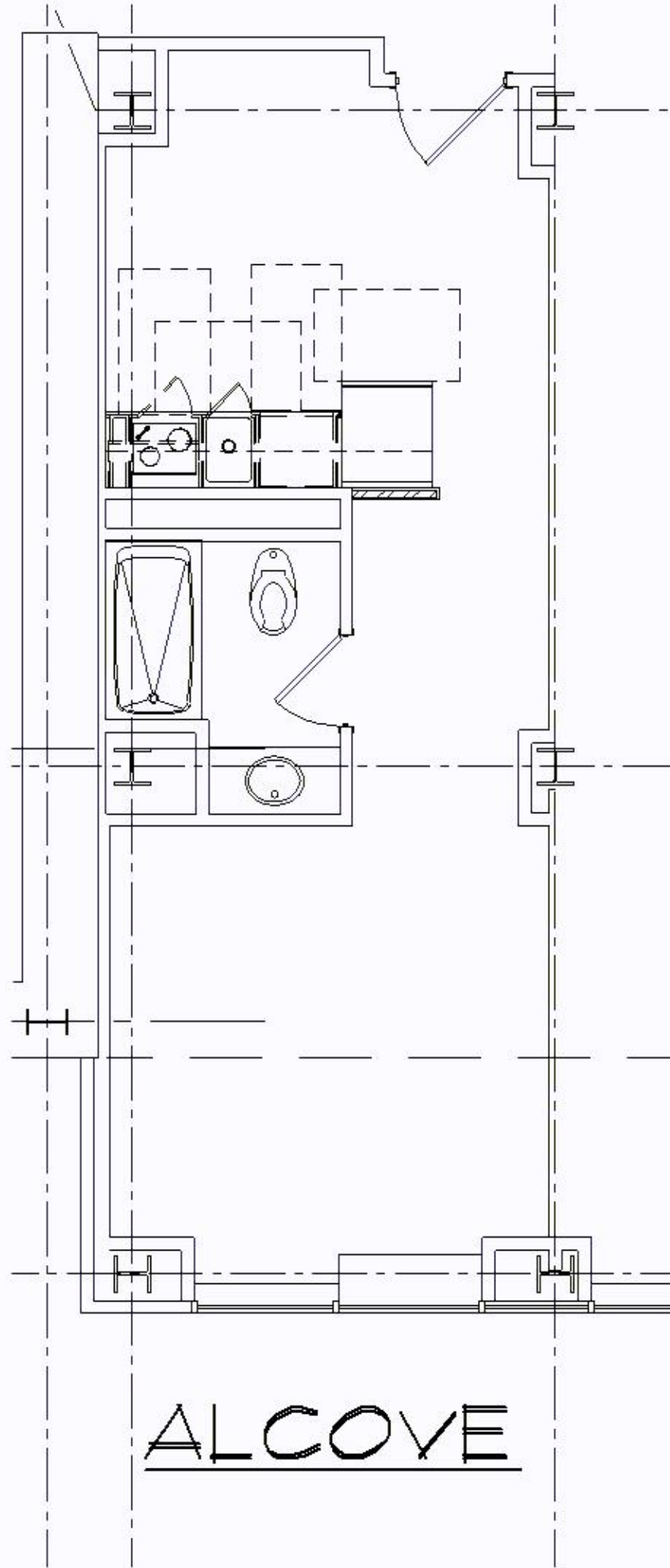
1 TWELFTH FLOOR PLAN
SCALE: 3/32" = 1'-0"



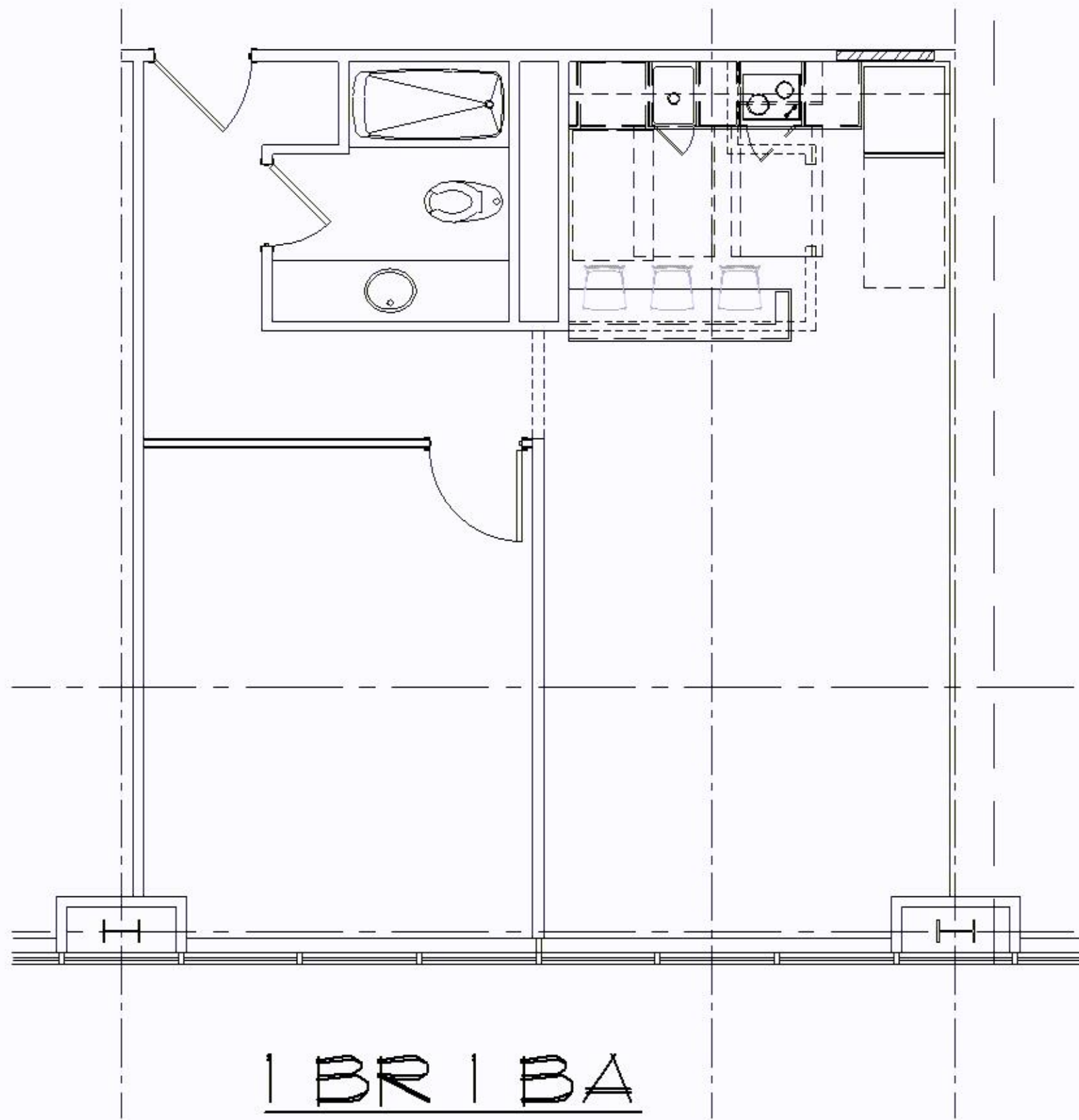
2 THIRTEENTH FLOOR PLAN
SCALE: 3/32" = 1'-0"

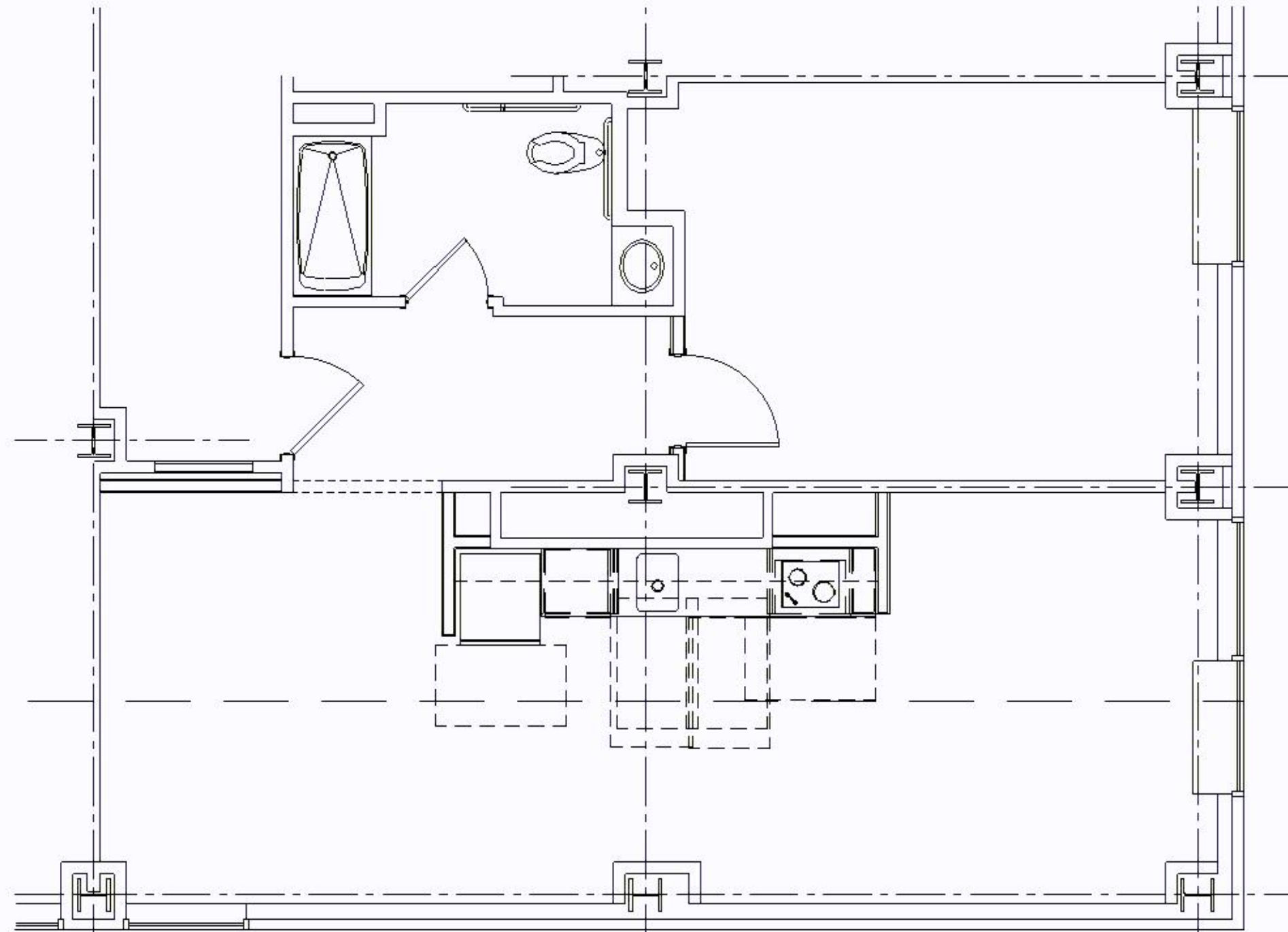




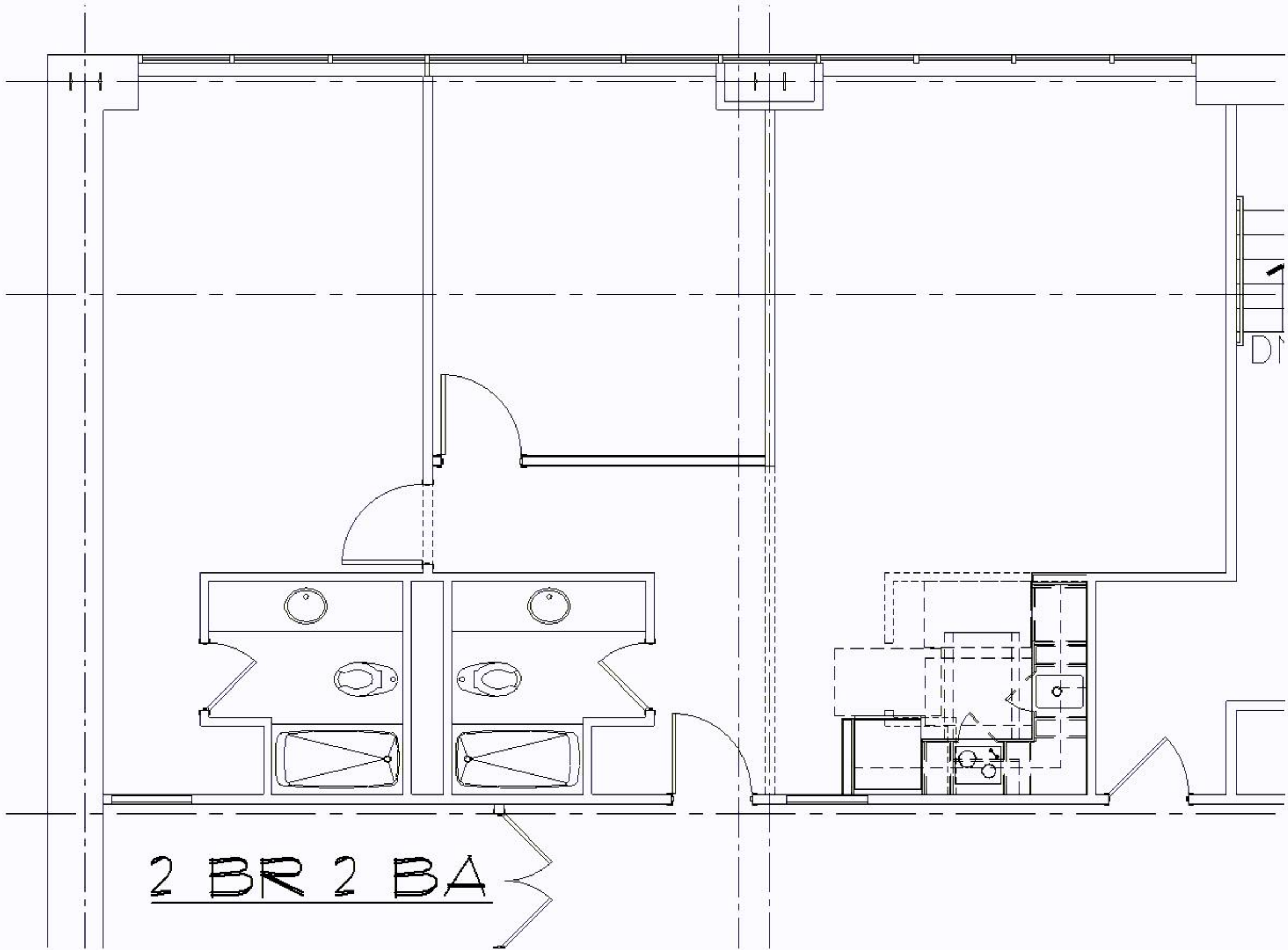


ALCOVE





1 BR 1 BA
- ADA



2 BR 2 BA

D1

	Unit Types													
Floor	Micro	Micro (ADA)	Studio	Studio (ADA)	Alcove	Alcove (ADA)	1 BR, 1 BA	1 BR, 1 BA (ADA)	2BR, 1BA	2BR, 1BA (ADA)	2BR, 2 BA	2BR, 2 BA (ADA)	Total per Floor	
2	4	0	0	0	0	1	4	0	0	0	1	0	10	
3	9	1	1	0	0	0	5	0	0	0	1	1	18	
4	10	0	2	0	0	0	5	0	0	0	2	0	19	
5	8	2	1	0	11	0	4	1	0	0	4	0	31	
6	10	0	1	1	11	0	5	1	0	0	3	0	32	
7	9	1	1	0	11	0	4	1	0	0	4	0	31	
8	8	0	2	0	11	0	6	1	0	0	3	0	31	
9	7	1	1	0	11	0	5	1	0	0	4	0	30	
10	8	0	2	0	11	0	7	0	0	0	3	0	31	
11	9	1	1	0	11	0	5	0	0	0	4	0	31	
12	8	0	2	0	11	0	7	0	0	0	3	0	31	
14	8	0	1	0	7	0	6	0	2	0	4	0	28	Total ADA
Total per Unit Type	98	6	15	1	95	1	63	5	2	0	36	1	323	14
	104		16		96		68		2		37			
	32.20%	5.77%	4.95%	6.25%	29.72%	1.04%	21.05%	7.35%	0.62%	0.00%	11.46%	2.70%		4.33%
	Unit % of Total	ADA % of Unit Type	Unit % of Total	ADA % of Unit Type	Unit % of Total	ADA % of Unit Type	Unit % of Total	ADA % of Unit Type	Unit % of Total	ADA % of Unit Type	Unit % of Total	ADA % of Unit Type		ADA % of Total