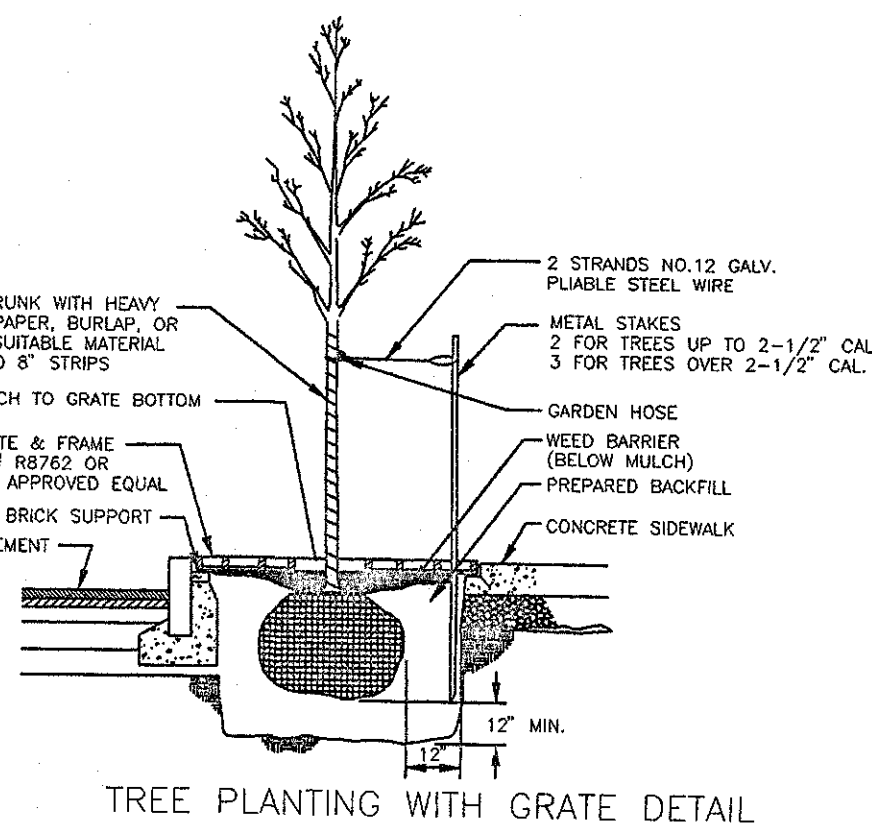
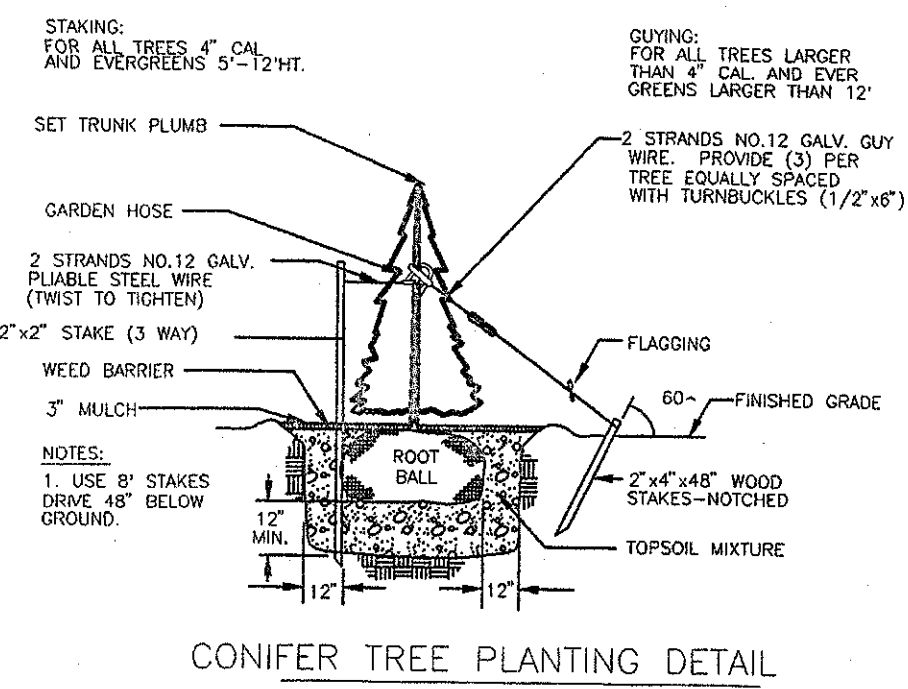
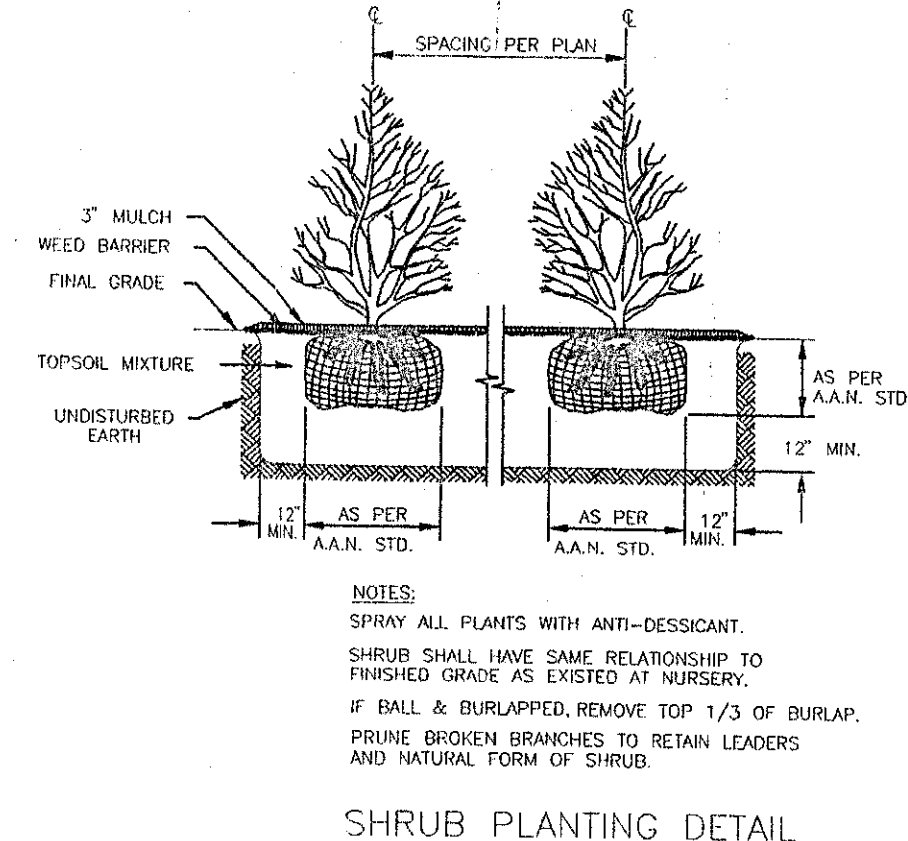
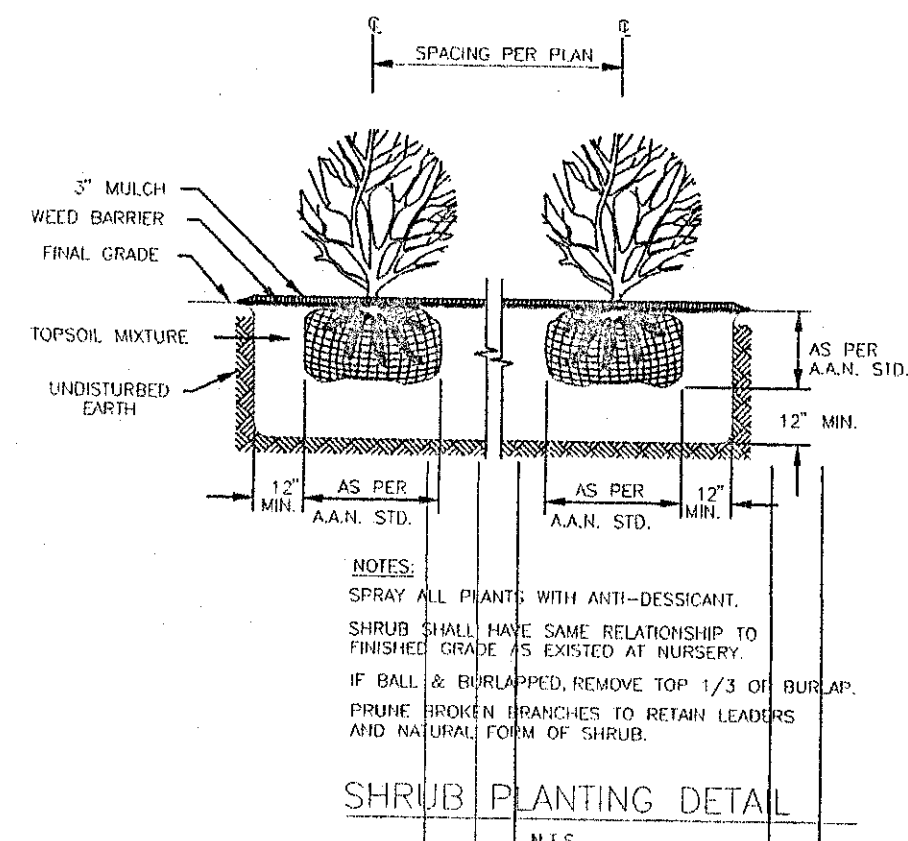
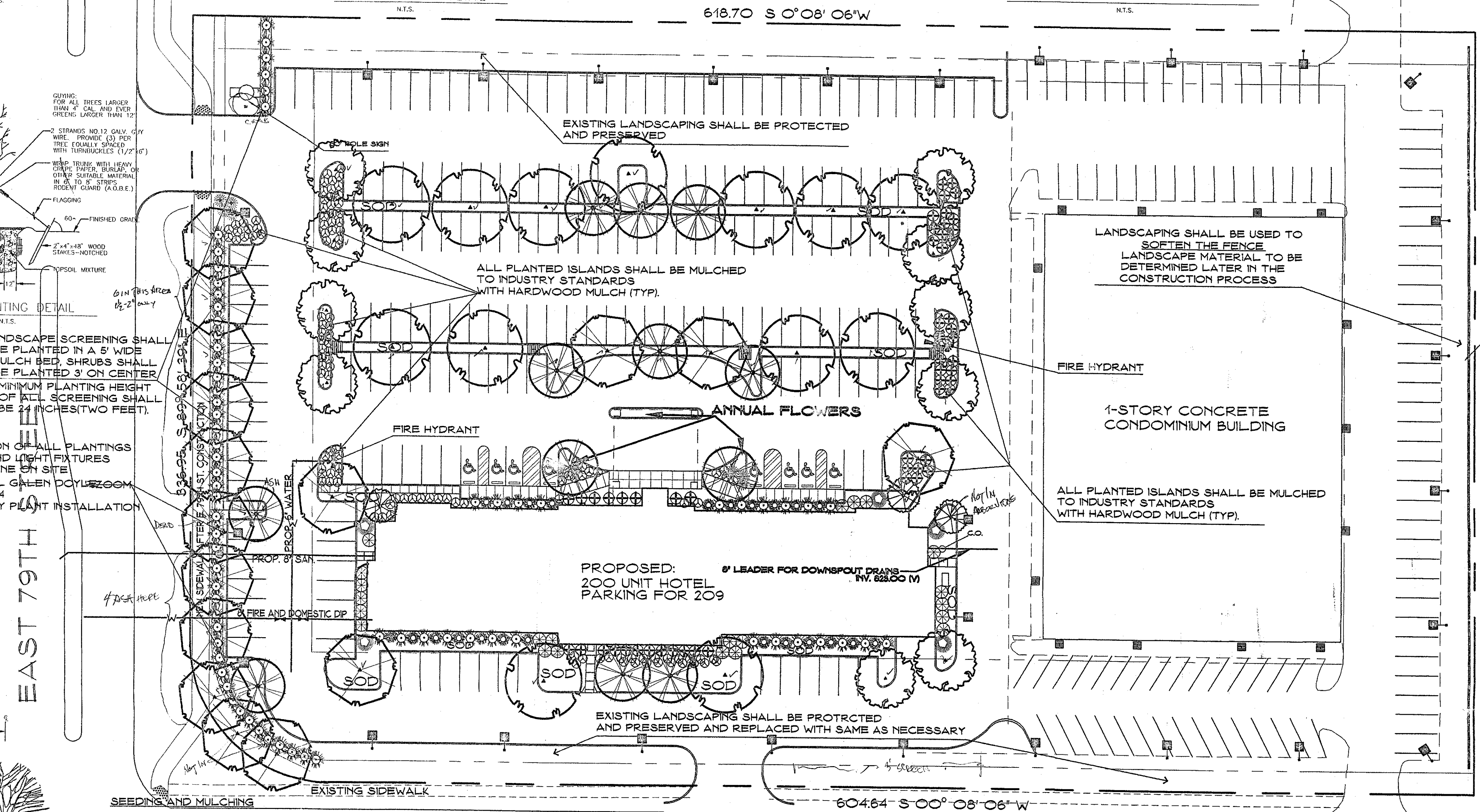


Case 9294A-98



LANDSCAPING LEGEND			
PLANT COMMON NAME & MATURE SIZE	BOTANICAL NAME	SYMBOL	PLANTING SIZE & ROOT
GREEN ASH 50'-60' HT., 30'-40' SPREAD	FRAXINUS PENNSYLVANICA		2 1/2" CALIPER B&B
MALUS (THUNDERCHILD) 15'-20' HT., 15'-20' SPREAD	MALUS		2 1/2" CALIPER B&B
ARMSTRONG MAPLE 50' HT., 15' SPREAD	ACER X FREEMANII 'ARMSTRONG'		2 1/2" CALIPER B&B
MAPLE (NORTHWOOD) 40'-50' HT., 20'-40' SPREAD	ACER RUBRUM		2 1/2" CALIPER B&B
AM. LINDEN (REDWOOD) 70'-90' HT., 50'-45' SPREAD	TILIA AMERICANA		2 1/2" CALIPER B&B
TECHNY ARBORVITAE 15'-20' HT. & 4'-6' SPREAD	THUJA OCCIDENTALIS 'TECHNY'		6" B&B MINIMUM
SEAGREEN JUNIPER 4' HT. & 3'-6" SPREAD	JUNIPERUS CHINENSIS 'SEAGREEN'		5 GAL MINIMUM
SAVIN JUNIPER 3' HT. & 3'-4" SPREAD	JUNIPERUS SABINA		5 GAL MINIMUM
BLUE CHIP JUNIPER 2' HT. 3'-5" SPREAD	JUNIPERUS HORIZONTALIS		5 GAL MINIMUM
POTENTILLA 3'-4' HT. 3'-4" SPREAD	POTENTILLA FRUTICOSA (SELECTIONS)		5 GAL MINIMUM
SPIREA 3'-4' HT. 3'-4" SPREAD	SPIRAEA X BUNALDA (SELECTIONS)		5 GAL MINIMUM
COLUMNAR BUCKTHORN 12'-15' HT. 4'-5" SPREAD	RHAMNUS FRANGULA 'COLUMNARIS'		7 GAL MINIMUM



BLOOMINGTON AVENUE

LANDSCAPE NOTES:

- ALL TREES SHALL HAVE A MIN. OF 2 1/2" CALIPER TRUNK AT THE TIME OF PLANTING.
- ALL SHRUBS SHALL BE 24" MIN. OR IN A 5 GAL. CONTAINER AT THE TIME OF PLANTING.
- PROVIDE EDGING W/ DECORATIVE AGGREGATE ON LANDSCAPE FABRIC AT ALL PLANTING AREAS.
- PROVIDE UNDERGROUND IRRIGATION SYSTEM AT ALL PLANTING AND SOBBED AREAS.
- ALL TREES SHALL HAVE MULCH RINGS INSTALLED AT THE Drip LINE OF THE TREE, AT PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY TAKEOFF.
- CONTRACTOR SHALL WARRANT ALL LANDSCAPE MATERIAL TO INCLUDE WORKMANSHIP FOR INSTALLATION FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- CONTRACTOR IS HEARBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST ON THE SITE AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL LOCATIONS.

DOWNSPOUT EXTENDERS

REQUIRED AND HIGHLY RECOMMENDED.

INSTALL AS SOON AS GUTTERS AND DOWNSPOUTS ARE COMPLETED.

ROUTE WATER TO A STORM SEWER LEADER.

MAINTAIN UNTIL A LAWN IS ESTABLISHED.

PRESERVING EXISTING VEGETATION

WHENEVER POSSIBLE, PRESERVE EXISTING TREES, SHRUBS, AND OTHER VEGETATION.

TO PREVENT ROOT DAMAGE, DO NOT GRADE, PLACE SOIL PILES, OR PARK VEHICLES NEAR TREES MARKED FOR PRESERVATION.

- NOTE:
- PERMITS FROM ENGINEERING ARE REQUIRED FOR WORK IN RIGHT-OF-WAY INCLUDING SIDEWALKS, DRIVEWAYS, AND GUTTERS, ETC.
 - CONCRETE APRONS ARE REQUIRED FROM STREET GUTTER THROUGH SIDEWALK.



LANDSCAPING

RECEIVED

DIVISION OF CITY PLANNING

JUL 27 1999

CITY OF BLOOMINGTON

MINNESOTA

LAND

LANDSCAPE PLAN

DATE: JUNE 1997

SCALE: 1" = 30'

DRAWN BY: KARI W. / BOB

PROJECT: 200 UNIT HOTEL

BLOOMINGTON, MN

REVISIONS:

STEVAN G. DEWALD

DATE

REG. NO. 16475

PROJECT NO. 97-02

Tharaldson Development Company

Heritage Inn

Tharaldson Enterprises

P.O. Box 10519 Fargo, ND 58106

Case 9294A-06

LEGEND

- 18" ASH EXISTING TREE TO REMAIN
- PROPOSED SHRUB PLANTING - HEDGE
- PROPOSED DECIDUOUS TREE
- WM/E/F WOOD MULCH/EDGER/LANDSCAPE FABRIC
- PLANT SPECIES - ID
- QUANTITY

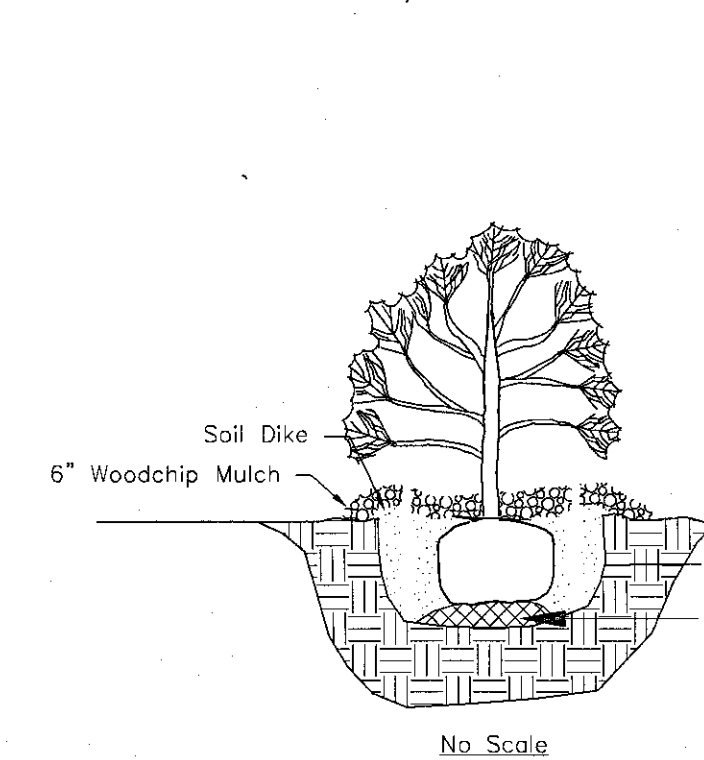
CALL 48 HOURS BEFORE DIGGING:
GOPHER STATE ONE CALL
TWIN CITY AREA (651)454-0002
MINNESOTA TOLL FREE 1-800-252-1166

PLANT SCHEDULE

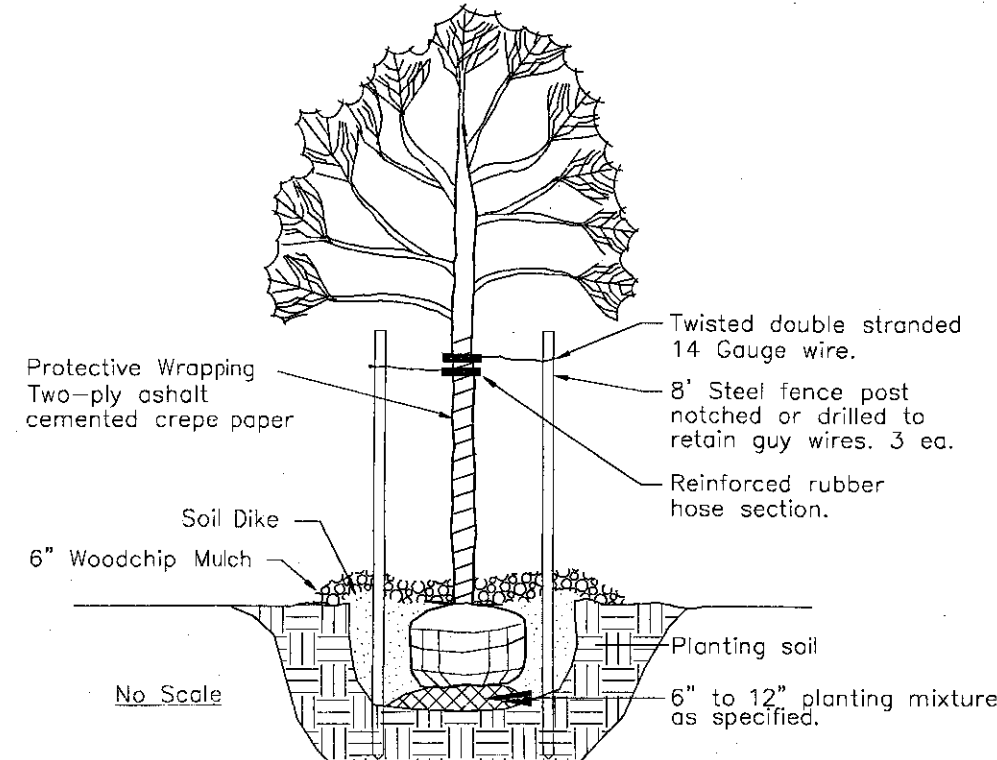
QTY	ID	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
16	AB	AUTUMN BLAZE MAPLE	A. FREEMANII	3.0"	BB	
3	GA	MARSHALLS ASH	F. PENNSYLVANICA	3.0"	BB	
40	AW	ANTHONY WATERERS SPIRAEA	S. X. BUMALDA	#5	CONT	
4	AJ	ARCADIA JUNIPER	J. HORIZONTALIS	#5	CONT	

PLANTING NOTES

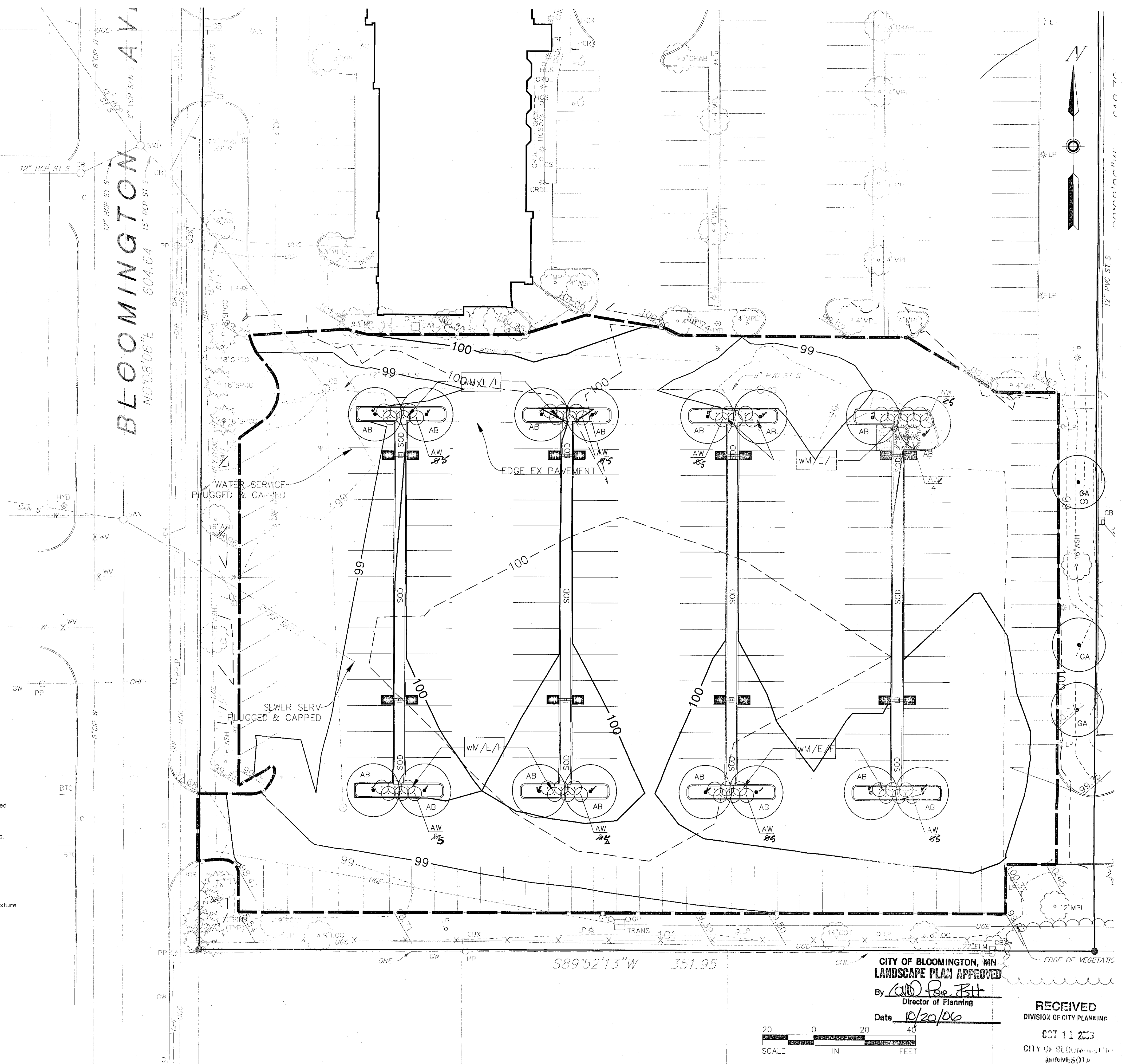
- UNLESS OTHERWISE NOTED, ALL DISTURBED AREA SHALL BE SOD. INSTALL SOD OVER 4 INCHES OF BLACK TOPSOIL CONTAINING NO MORE THAN 35% SAND.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK," AMERICAN ASSOCIATION OF NURSERYMEN. NO SUBSTITUTION OF SIZE OR GRADE SHALL BE PERMITTED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.
- ALL PLANTS TO BE INSTALLED PER PLANTING DETAIL. UNLESS SPECIFIED ON PLAN, MULCH FOR PLANTING SHALL BE HARDWOOD.
- ALL EVERGREEN TREES TO RECEIVE 6" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DIRECT CONTACT WITH TREE TRUNK.
- PER PLAN, USE HARDWOOD MULCH (TO MATCH) IN PLANTING AREAS AS DESIGNATED; 3" OVER LANDSCAPE FABRIC.
- ALL TREES AND SHRUBS TO BE SIZED AND PURCHASED AS SPECIFIED IN THE TREE AND SHRUB SCHEDULES. SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY AS APPROVED BY THE LANDSCAPE ARCHITECT AND/OR THE CITY OF BLAINE.
- THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- A WARRANTY (TWO FULL GROWING SEASONS) FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED. REPLACEMENT OF THE PLANT STOCK SHALL BE LIMITED TO ONE REPLACEMENT, AT SPECIFIED SIZE, FORM, AND VARIETY, PER TREE/SHRUB LOCATION THROUGHOUT THE TWO YEAR GUARANTEE PERIOD.
- DELIVER, STORE, PROTECT AND HANDLE PLANTS AND PRODUCTS ACCORDING TO ESTABLISHED HORTICULTURAL PRACTICES. IMMEDIATELY HEEL-IN PLANTS THAT ARE NOT TO BE PLANTED WITHIN FOUR HOURS.
- ALL PLANTS SHALL BE TRUE TO TYPE, HAVE NORMAL AND WELL DEVELOPED BRANCH SYSTEM, AND HAVE A VIGOROUS AND FIBROUS ROOT SYSTEM. ALL PLANTS SHALL ALSO BE FREE FROM DEFECTS, DISFIGURING KNOTS, SUNSCALD INJURIES, ABRASIONS, DISEASES, INSECT EGGS, BORERS, AND ALL FORMS OF INFESTATION. ALL NEW PLANTS SHALL BE NURSERY GROWN IN SIMILAR CLIMATIC CONDITIONS AS THAT FOUND IN THE METROPOLITAN MINNEAPOLIS AREA.
- PLANT COUNT ON PLAN SHALL TAKE PRECEDENT OVER PLANT LIST.
- IRRIGATION: PROVIDE IRRIGATION TO LANDSCAPE PARKING ISLANDS. CONTRACTOR TO PROVIDE IRRIGATION PLAN, PREPARED BY LANDSCAPE CONTRACTOR, PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.



SHRUB PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL



CITY OF BLOOMINGTON, MN
LANDSCAPE PLAN APPROVED
By: [Signature]
Director of Planning
Date: 10/20/06

RECEIVED
DIVISION OF CITY PLANNING
OCT 11 2006
CITY OF BLOOMINGTON, MN

20 0 20 40
SCALE IN FEET

NO.	DATE	DESCRIPTION OF REVISIONS
1	10-2-2006	11633

Anderson Engineering of Minnesota, LLC
CIVIL ENGINEERING AND LAND SURVEYING
13605 1st AVENUE NORTH, SUITE 100, PLYMOUTH, MN 55441
TEL: (763) 412-4000 FAX: (763) 412-4090

HOLIDAY INN EXPRESS
1601 AMERICAN BLVD E
BLOOMINGTON, MN
THARALDSON PROPERTY MGMT

LANDSCAPE PLAN
PARKING LOT IMPROVEMENTS

COURT NO. 11633
DRAWING NO. 3 OF 4

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF BLOOMINGTON, STATE OF MINNESOTA, AND ANY/OR OTHER AGENCIES INVOLVING JURISDICTION.
2. UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES WHETHER THEY ARE SHOWN OR NOT ON THE PLANS.
3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.
4. AT LEAST 48 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT Gopher State One-Call (855-454-0002) FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
5. ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL WORK AREAS TO ENSURE THE SAFETY OF ALL OCCUPANTS, VISITORS, PEDESTRIANS, WORKERS, ETC. THE CONTRACTOR SHALL REPAIR AND MAINTAIN ALL CONSTRUCTION FENCING AS NECESSARY.
7. THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCE, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. WITHOUT CAUSING UNNECESSARY DELAYS. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF AND FROM VEHICLES TRUCKS, ROWSKWAYS AND DRIVEWAYS SHALL BE MAINTAINED OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES WHOSE DRIVEWAYS ARE AFFECTED BY HIS SCHEDULE 24 HOURS IN ADVANCE. CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXCAVATING CONSTRUCTION.
8. THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRIAGES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE PLANS OR BY THE AGENCY WITH JURISDICTION. ALL TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MINNESOTA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MN MUTCD).
9. THE CONTRACTOR IS REQUIRED TO CONFINED CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS OF WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.
10. GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.

2. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES
3. REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - C. GAS, ELECTRIC AND COMMUNICATION SERVICES, AND LIGHTING DETAILS
 - D. ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - E. ALL WORK TO CONTRIBUTE THE BUILDING AND ALL ITEMS CONNECTED TO IT
4. ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (CONFORMING TO MvDOT SPECIFICATION 3149.20.2) AND MECHANICALLY COMPACTED IN NOT MORE THAN 8" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN THREE FEET OF PAVEMENT.
5. THE COST OF ALL TREE, STUMP, FOUNDATION AND/OR STRUCTURE REMOVAL AND DISPOSAL, NOT INCLUDED IN THE PROPOSAL, SHALL BE CONSIDERED INCIDENTAL, AND INCLUDED IN THE PRICE BID FOR WATER MAIN, SANITARY SEWER, STORM SEWER, AND PAVING WORK.
6. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE). POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.
7. THE REQUIRED BEDDING FOR SEWER PIPE SHALL CONSIST OF A MAXIMUM 3/4" INCH DIAMETER CRUSHED STONE.
8. THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1% LEADS SHAL ONLY BE CONNECTED TO THE MAINLINE WITH WEYES.
9. ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET PREMIUM JOINTS.
10. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION OF UTILITY IMPROVEMENTS
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING GRADE MODIFICATIONS INDICATED ON THE FINISHED LANDSCAPE PLAN, AND COORDINATE THE ACTUAL FINISH GRADE OF FIRE HYDRANTS, GATE VALVE CASTINGS, MANHOLES, YARD DRAINS, CLEAN OUTS AND OTHER UTILITY STRUCTURES. ENSURE THAT ALL FINISH GRADING IS PERFORMED IN A MANNER THAT ACCOMPLISHES THE PROJECT DESIGN OBJECTIVES AND PROVIDES FOR POSITIVE DRAINAGE OF ALL AREAS. ANY SUBSTANTIAL GRADE CHANGES WHICH MAY CAUSE FUNCTIONAL PROBLEMS SHALL BE REPORTED PROMPTLY TO THE ENGINEER WHO SHALL EVALUATE THE CONDITIONS AND PROVIDED CORRECTIONAL RECOMMENDATIONS TO THE OWNER FOR FINAL DETERMINATION.
12. CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED
13. THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.
14. NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING
15. ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY DESTROYED IMMEDIATELY AFTER CROSSING BY PLACING 6" OF MvDOT CLASS 5 AGGREGATE OR SLAB AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DRY FREE CONDITION UNTIL PAVEMENT RESTORATION IS PLACING.

3. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
3. BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.
4. ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.
5. THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED, OR AS APPROVED BY THE OWNER. A BOND COAT OF CSS-H EMULSION SHALL BE APPLIED AT A RATE OF 0.10 GALLONS/S.Y.D. BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.
6. THE FINAL SUB-GRADE SHALL BE THOROUGHLY PROOF-ROLLED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
7. PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVEMENT EDGEBACK OF CURBS.
8. ALL TRENCHES WITHIN A ONE ON ONE SLOPE SHALL BE BACKFILLED WITH SAND (CONFORMING TO MDOT SPECIFICATION 1149.02) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTOR COMPACTION TEST ASTM D 1557.
9. NO FROZEN MATERIALS SHALL BE PERMITTED AS BACKFILL UNDER ANY ROADWAY, DRIVEWAY OR PARKING AREA.
10. PRIOR TO THE START OF ANY FILLING, THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ALL OTHER UNACCEPTABLE SOIL FROM THE FILL AREAS, AND PROPERLY BACKFILL WITH ACCEPTABLE SOIL.
11. BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STREET. THE CONTRACTOR SHALL COORDINATE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.
12. ALL BARRIER FREE RAMPS TO BE A.D.A. COMPLIANT.
13. GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
 - A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS
 - B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING (+2%)
 - C. SIDEWALK GROSS SLOPE MAX. 2% UNLESS OTHERWISE NOTED (EXCLUDING RAMPS)
 - D. PAVEMENT SLOPES (1% MINIMUM, 4.0% MAXIMUM UNIFORMITY BETWEEN FINISH GRADE AND PLANS)
 - E. LAWN AREAS +1% MINIMUM TO 25% (BERMS) MAXIMUM
 - F. ALL PROPOSED GRADES ARE AT THE GUTTER UNLESS OTHERWISE NOTED. SEE DETAILS FOR FACE OF CURB, TOP OF CURB AND ASPHALT ADJUSTMENTS.
14. REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
 - A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
 - B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS
 - C. GAS, ELECTRIC AND COMMUNICATION SERVICES AND LIGHTING DETAILS AND COORDINATION.
 - D. ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
 - E. ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT
16. PRIOR TO THE PLACEMENT OF ANY BASE ASPHALT OR LEVELING COURSE, THE CURBS SHALL BE PARTIALLY BACKFILLED AND THE SUB-GRADE SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF THE SOILS ENGINEER.
17. ALL SIDEWALK AND PATHWAYS IN ANY PUBLIC R.O.W. SHALL BE INSPECTED BY THE AGENCY WITH JURISDICTION.

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. WITH THE EXCEPTION OF AN AMOUNT OF EXCAVATED MATERIALS SUFFICIENT FOR BACKFILLING AND CONSTRUCTION OF FILLS AS CALLED FOR ON THE PLANS AND AS INDICATED BELOW, ALL BROKEN CONCRETE, STONE AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THEIR OWN DISPOSAL DROUGHT, AND WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DISPOSING OF ANY OF THE EXCESS MATERIALS. MATERIALS ACCEPTABLE TO THE ENGINEER MAY BE DISPOSED OF ON-SITE AT THE CONTRACTORS EXPENSE IN A MANNER APPROVED IN ADVANCE BY THE ENGINEER.
3. THE EDGE OF EXISTING PAVEMENT SHALL BE CLEANED OF EARTH AND OTHER FOREIGN MATERIAL, BEFORE ADJACENT POURS ARE PLACED.
4. ALL BULKHEADING AND/OR SHEET PILE REMOVAL NECESSITATED BY THE REMOVAL OF DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE STRUCTURE REMOVAL.
5. STREET LIGHTS IN THE WAY OF EXCAVATION SHALL BE MOVED AND RESET IMMEDIATELY AS A TEMPORARY MEASURE, AS APPROVED BY THE ENGINEER.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING SIGNS AND POSTS SCHEDULED TO REMAIN, AS DIRECTED BY THE ENGINEER.
7. ALL UNDERGROUND UTILITIES NOT INDICATED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PRIVATE PROPERTY INCLUDING BUILDINGS AND FOUNDATIONS THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN SAFE PEDESTRIAN ACCESS AT ALL TIMES.
9. THE REMOVAL OF PAVEMENT, CURBS AND WALKS SHALL INCLUDE ALL REQUIRED SMOOTHING. CURB REMOVAL IS INCIDENTAL TO PAVEMENT REMOVAL.

STORM SEWER	
SANITARY SEWER	
WATER MAIN	
GAS MAIN	
UNDERGROUND ELECTRIC LINES	
UNDERGROUND TELEPHONE LINES	
UNDERGROUND CABLE TELEVISION LINES	
FENCE LINE	
PROJECT PHASE LIMIT LINE	
CONCRETE CURB AND GUTTER (STANDARD)	
CONCRETE CURB AND GUTTER (REVERSED)	
THICKENED SLAB CURB/WALK	
STORM MANHOLE	
CATCH BASIN	
YARD BASIN	
INLET BASIN	
END SECTION	
OVERFLOW/OUTLET STRUCTURE	
STORM CLEAN OUT	
SANITARY MANHOLE	
SANITARY CLEAN OUT	
GATE VALVE	
FIRE HYDRANT	
STOP BOX AND VALVE	
FDC CONNECTION	
LIGHT POLE	
SIGN POST	
GUARD POST/BOLLARD	
SPOT ELEVATION	

REMOVE UTILITY STRUCTURE	
REMOVE UTILITY PIPE	
ABANDON UTILITY PIPE	
CUT AND BULKHEAD UTILITY PIPE	
REMOVE OBJECT	
REMOVE CURB	
MILL HMA SURFACE	
REMOVE CONCRETE PAVEMENT	
REMOVE ASPHALT PAVEMENT	
REMOVE SIDEWALK	

COMPACTED SAND BACKFILL (CSB)	
AGGREGATE MATERIAL	
ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
BRICK PAVERS	

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BLOOMINGTON.
3. ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. (WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, TOWNSHIP DRAINS, LAKES, PONDS AND WETLANDS).
4. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
5. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
6. THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
7. PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
8. VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
9. THE CONTRACTOR SHALL SWEEP THE EXISTING PARKING LOT AND STREETS SURROUNDING THE PROJECT SITE ONCE A WEEK, OR AS DIRECTED BY THE ENGINEER OR INSPECTOR. STREET SCRAPING SHALL BE PERFORMED IN CONJUNCTION WITH THIS SWEEPING ON AN AS NEEDED BASIS.
10. THE SEDIMENT CONTROL FENCE INDICATED ON THIS PLAN IS NOT INTENDED TO SHOW THE EXACT LOCATION OF THE FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE REQUIRED TO CONTAIN SEDIMENT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE INSPECTIONS, REGULATIONS, INCLUDING INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
12. THE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL SOIL EROSION CONTROLS AS INDICATED BY THESE PLANS.
13. CONSTRUCTION ACTIVITIES (INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES, STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL) SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.
14. PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS CONSTRUCTION ACTIVITIES ARE TO COMMENCE IN THAT AREA WITHIN THE NEXT THREE DAYS.
15. IF, FOR ANY REASON PERMANENT STABILIZATION CANNOT BE PROVIDED WITHIN 15 DAYS OF THE COMPLETION OF PIPE LAYING OPERATIONS, TEMPORARY STABILIZATION SHALL BE PROVIDED AT ALL DISTURBED AREAS. TEMPORARY STABILIZATION SHALL FURTHERMORE BE PROVIDED DURING THE NON-GROWING SEASON (OCTOBER 1 THROUGH APRIL 30) FOR ALL AREAS TO BE SEEDS.
16. TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRASS STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE, OR MULCH BLENKETS, WHICH SHALL BE ANCHORED IN PLACE TO PREVENT DISPLACEMENT FROM WIND AND RAIN. TEMPORARY STABILIZATION SHALL BE REPAIRED AS OFTEN AS NECESSARY, AS DETERMINED BY THE AGECOM WITH JURISDICTION.
17. ALL DEVIATIONS SHALL BE ACCOMPLISHED IN A MANNER THAT WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER.
18. THIS PROJECT SHALL BE CONDUCTED IN COMPLIANCE WITH CURRENT STATUTES AND REGULATIONS OF THE CITY OF BLOOMINGTON AND STATE OF MINNESOTA.
19. SEDIMENT CONTROL FENCING SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. IF THE FENCE IS SLOTTED OR SOIL HAS ACCUMULATED ONE HALF OF THE HEIGHT OF THE FENCE, THE SOIL BEHIND THE FENCE SHALL BE REMOVED AND DISPOSED OF IN A STABLE AREA OF THE SITE. IF WATER IS SEEPING UNDER THE FENCE, OR THE FABRIC IS DECOMPOSED OR OTHERWISE INEFFECTIVE, THE FENCE SHALL BE REMOVED AND PROPERLY REINSTALLED AS INDICATED ON THESE PLANS.
20. MUD MAT ENTRANCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH STORM RAINFALL. THE SURROUNDING ROADS SHALL ALSO BE INSPECTED AT THIS TIME. FENCING THAT MUD IS BEING TRACKED OFF OF THE SITE. MAINTENANCE SHALL INCLUDE THE INSTALLATION OF ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. ALL SOIL DEPOSITED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY BY SWEEPING AND SCRAPING (AS MAY BE REQUIRED BY THE ENGINEER).
21. SEDIMENT FILTER SLOTS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. THE FILTERS SHALL BE CLEANED PERIODICALLY THROUGHOUT CONSTRUCTION TO AVOID CLOGGING. FILTERS THAT CANNOT BE MAINTAINED BY CLEANING SHALL BE COMPLETELY REPLACED.

1. INSTALL MUD MATS, SILT FENCE AND INLET FILTERS AT ALL EXISTING LOCATIONS AS SHOWN AND AS REQUIRED TO ACHIEVE ON SITE CONTAINMENT.
2. INSTALL STORM SEWER AND ALL ASSOCIATED STORM WATER IMPROVEMENTS AS SHOWN ON PLANS. IMMEDIATELY INSTALL INLET FILTERS AT ALL CATCH BASINS.
3. ROUGH GRADE THE PROJECT "WORK AREA" AS NEEDED.
4. INSTALL SANITARY SEWER AS SHOWN ON PLANS.
5. INSTALL WATER MAIN AS SHOWN ON PLANS.
6. INSTALL OTHER UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC) AND/OR ALL NEEDED CONDUITS AND SLEEVES.
7. INSTALL PAVEMENT BACKFILL AND SEED & MULCH ALL DISTURBED AREAS.
8. CLEAR ALL ACCUMULATED SILT AND REMOVE ALL EROSION CONTROL DEVICES.
9. INSTALL LANDSCAPING MATERIALS AS INDICATED PER PLANS & RE-SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS.

The diagram illustrates a sediment control system layout. It consists of several components arranged in a sequence from top to bottom:

- DRAINAGE AREA:** Indicated by a large arrow pointing to the right.
- SEDIMENT INLET FILTER:** Represented by two circular filters.
- MUD MAT ENTRANCE:** Represented by a trapezoidal structure.
- CHECK DAM:** Represented by a rectangular structure.
- SEDIMENT CONTROL FENCE:** Represented by a horizontal line with two circular markers.
- DRAINAGE AREA LINE:** Represented by a dashed horizontal line.

CIVIL PLANS APPROVED
JEN DESRUDE
DATE: 10/30/15

Sheet Number

C01

1601 E. 79TH ST. Heritage Inn 1998

NOTE:

- PERMITS FROM ENGINEERING ARE REQUIRED FOR WORK IN RIGHT-OF-WAY INCLUDING SIDEWALKS, DRIVEWAYS, AND GUTTERS, ETC.
- CONCRETE APRONS ARE REQUIRED FROM STREET GUTTER THROUGH SIDEWALK.

LOT 2, BLOCK 1, CEDAR PARK ADDITION

BENCHMARK
TOP NUT OF
HYDRANT.
ELEV. = 828.54

LOT 4

LOT 3

LOT 2

LOT 1

LOT 3

LOT 4

SITE LEGEND

PROPERTY LINE	---
EASEMENT LINE	---
EXISTING SANITARY SEWER & MANHOLE	---
EXISTING WATER MAIN	---
EXISTING WATER VALVE & FIRE HYDRANT	---
EXISTING STORM DRAIN	---
EXISTING STORM INLET & MANHOLE	---
EXISTING GAS MAIN/SERVICE OR CURB	---
EXISTING EDGE OF PAVEMENT OR CURB	---
EXISTING CONTOUR	---
PROPOSED WATER VALVE & FIRE HYDRANT	---
PROPOSED SANITARY SEWER, MANHOLE & CLEANOUT	---
PROPOSED STORM DRAIN, INLET, MH	---
PROPOSED CONCRETE CURB	---
PROPOSED CONCRETE SIDEWALK	---
* THICKENED EDGE MAY BE USED IN LIEU OF CONCRETE CURB WHEN SHOWN THIS	
PROPOSED CONTOUR	---
PROPOSED SPOT ELEVATION	62 X 50
PROPOSED TOP OF CURB ELEVATION (BOTTOM OF CURB IMPLIED 6" LOWER, UNLESS NOTED OTHERWISE)	6260 TC
PROPOSED ROOF DRAINS: DOWNSPOUT CLEANOUT DRAIN PIPE	---
EXISTING ELECTRIC	---
EXISTING TELEPHONE	---
EXISTING CABLE TV	---
EXISTING POWER LINES	---
PROPOSED ELECTRIC	---
PROPOSED TELEPHONE	---
PROPOSED CABLE TV	---
PROPOSED GAS	---
TRANSFORMER	---
SHEET DRAINAGE FLOW DIRECTION	---
REFUSE ENCLOSURE & STORAGE SHED	---

NOTE:
COORDINATE TYPING SAN,
SEWER AND WATER
INTO EAST 79TH
STREET WITH THE CITY

LOT 1, BLOCK 1,
SUMMIT STATE BANK ADDITION

LOT 3, BLOCK 1,
EDDIE WEBSTER'S
1ST ADDITION

LOT 1, BLOCK 1,
DOUGLAS 1ST

LOT 3, BLOCK 1,
ADDITION

PART OF THE SW 1/4
OF THE NE 1/4
OF SECTION 2

UTILITY PLAN



30' 20' 10' 0' 30'

NOTE:

- ALL WATER LINE SHALL BE D.I.P. W/ 8 MIL POLY WRAP 6" CLASS 55/8" CLASS 54
- ALL STORM SEWER SHALL BE RCP
- ALL SAN. SEWER SHALL BE PVC SDR 26 OR P.V.C. SCHED. 40

NOTE:

ALL UNUSED WATER AND SEWER SERVICES MUST BE ABANDONED IN ACCORDANCE WITH THE REGULATIONS OF THE CITY OF BLOOMINGTON.

NOTE:
TAP MADE BY
CITY FORCES
AND PAID FOR
BY CONTRACTOR

UTILITY PLAN

DATE: JUNE 1997

SCALE: 1" = 30'

DRAWN BY: KARI W. / BOB

PROJECT: 200 UNIT HOTEL

REVISIONS:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

APPROVED: *Stevan G. Dewald*
STEVEN G. DEWALD

5-5-98

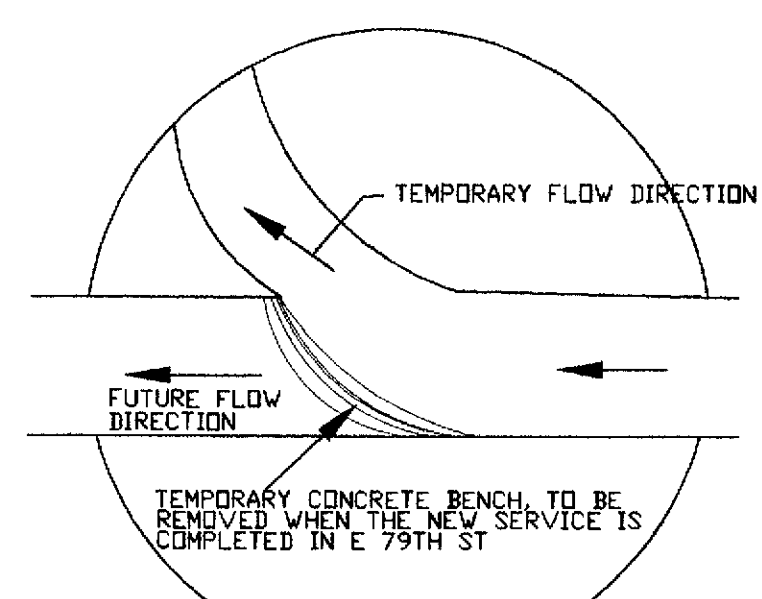
DATE

REG. NO. 16475

L3.1

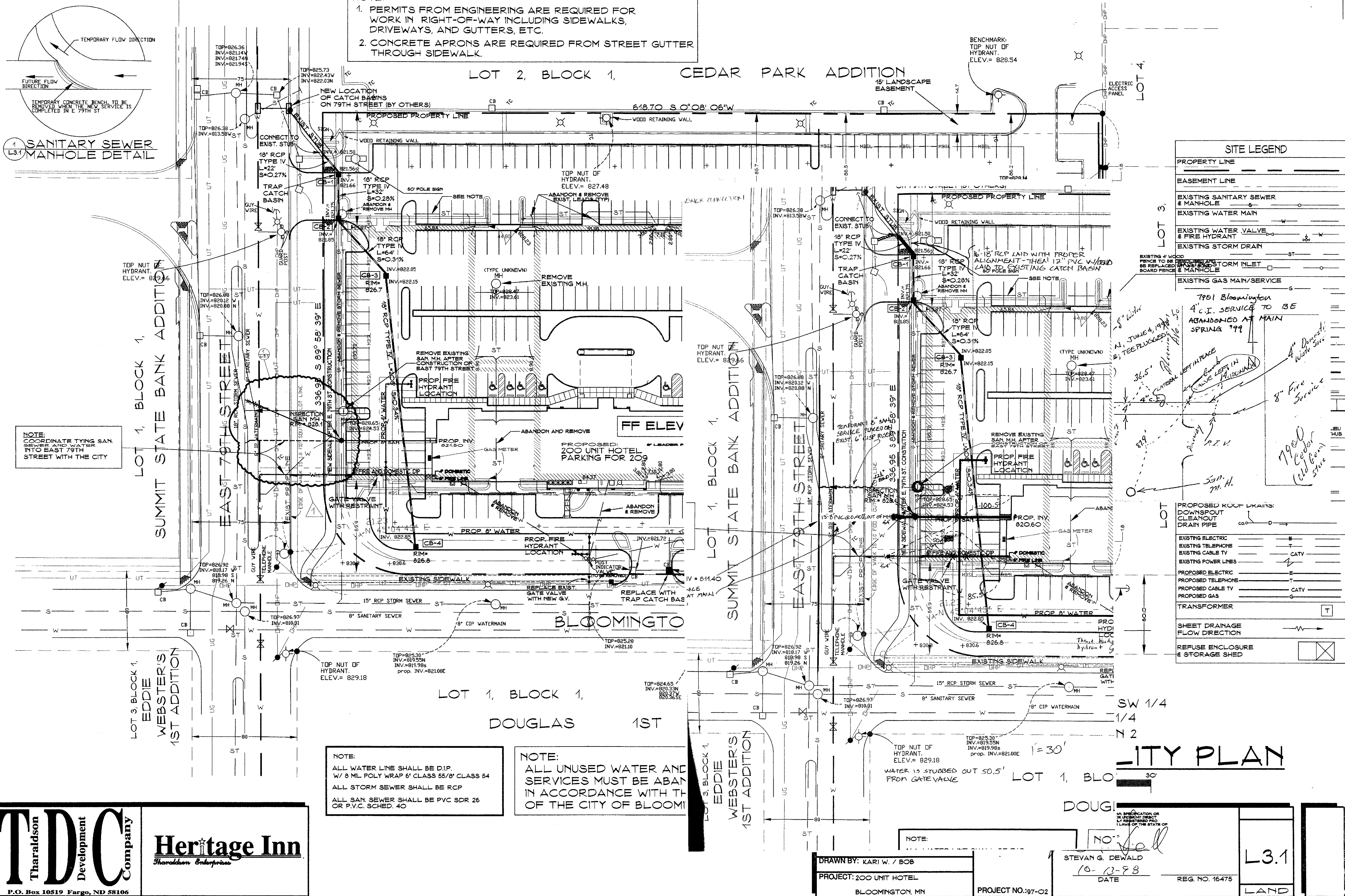
TDC
Tharaldson Development Company
P.O. Box 10519 Fargo, ND 58106

Heritage Inn
Tharaldson Enterprises



1
L3.1
SANITARY SEWER
MANHOLE DETAIL

NOTE:
1. PERMITS FROM ENGINEERING ARE REQUIRED FOR WORK IN RIGHT-OF-WAY INCLUDING SIDEWALKS, DRIVEWAYS, AND GUTTERS, ETC.
2. CONCRETE APRONS ARE REQUIRED FROM STREET GUTTER THROUGH SIDEWALK.



SITE LEGEND	
PROPERTY LINE	---
EASEMENT LINE	---
EXISTING SANITARY SEWER & MANHOLE	—○—
EXISTING WATER MAIN	—W—
EXISTING WATER VALVE & FIRE HYDRANT	—V—
EXISTING STORM DRAIN	—ST—
EXISTING STORM INLET	—SI—
EXISTING GAS MAIN/SERVICE	—G—
PROPOSED ROOF DRAINS:	
DOWNSPOUT	—D—
CLEANOUT	—C—
DRAIN PIPE	—DP—
EXISTING ELECTRIC	—E—
EXISTING TELEPHONE	—T—
EXISTING CABLE TV	—CATV—
EXISTING POWER LINES	—P—
PROPOSED ELECTRIC	—E—
PROPOSED TELEPHONE	—T—
PROPOSED CABLE TV	—CATV—
PROPOSED GAS	—G—
TRANSFORMER	—T—
SHEET DRAINAGE FLOW DIRECTION	—>—
REFUSE ENCLOSURE & STORAGE SHED	—X—

7901 Bloomington
4" C.I. SERVICE TO BE
ABANDONED AT MAIN
SPRING 1999

5" Water
N. JUNE 4, 1998
5" TEE PLUGGED
36.5' CATERGILL
4" C.I. VALVE LEFT IN
7900 Cedar
(old beam
structure)

San. H.

NOTE:
ALL WATER LINE SHALL BE D.I.P.
W/ 8 MIL POLY WRAP 6" CLASS 55/8" CLASS 54
ALL STORM SEWER SHALL BE RCP
ALL SAN. SEWER SHALL BE PVC SDR 26
OR P.V.C. SCHED. 40

NOTE:
ALL UNUSED WATER AND
SERVICES MUST BE ABAN
IN ACCORDANCE WITH TH
OF THE CITY OF BLOOMI

NOTE:
DRAWN BY: KARI W. / BOB
PROJECT: 200 UNIT HOTEL
BLOOMINGTON, MN

NO. 10-12-98
DATE
STEVAN G. DEWALD
REG. NO. 16475

L3.1
LAND

T

Tharaldson

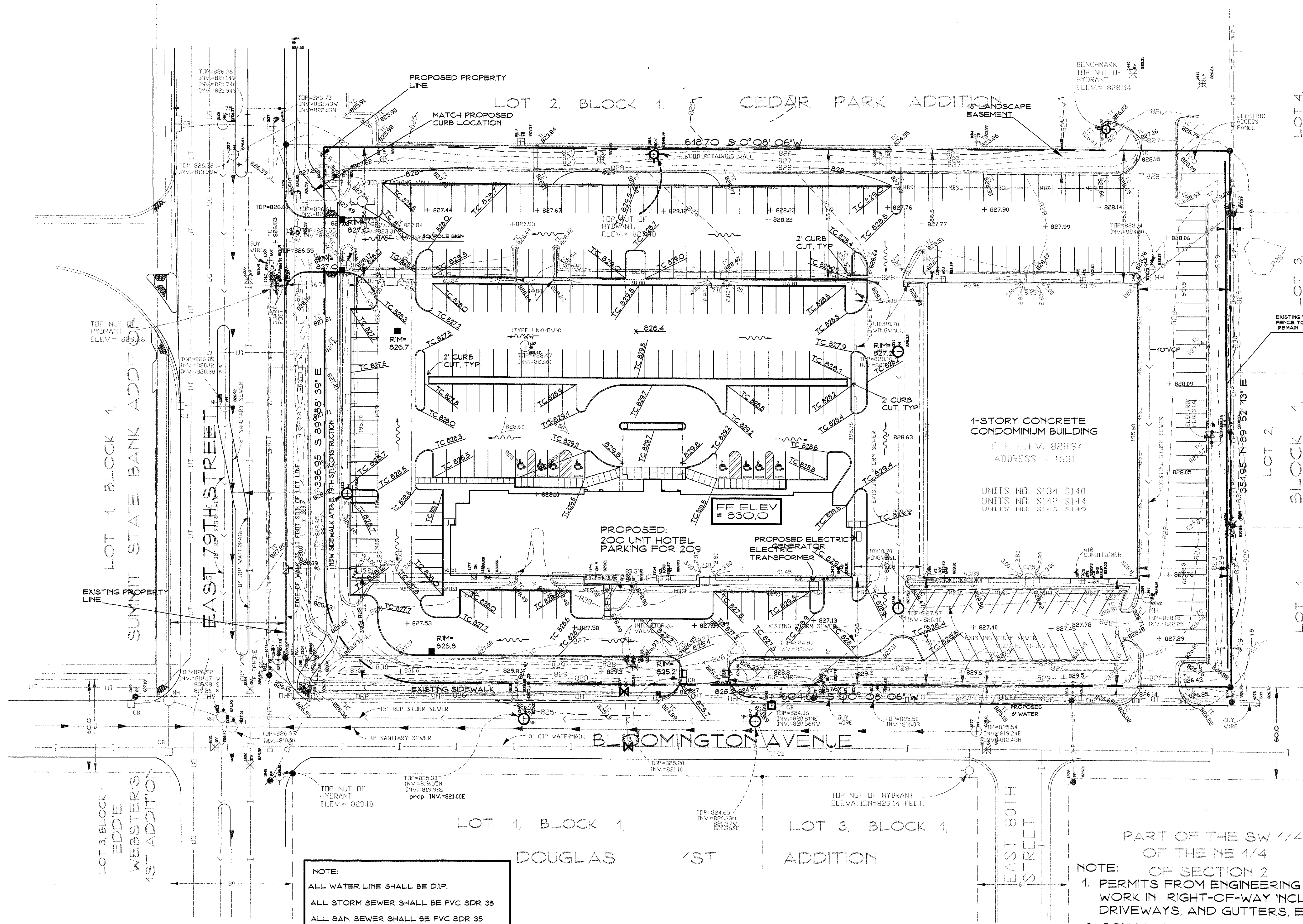
Development

Company

P.O. Box 10519 Fargo, ND 58106

Heritage Inn

Tharaldson Enterprises



SITE LEGEND	
PROPERTY LINE	---
EASEMENT LINE	---
EXISTING SANITARY SEWER & MANHOLE	—○—
EXISTING WATER MAIN	—W—
EXISTING WATER VALVE & FIRE HYDRANT	—V—
EXISTING STORM DRAIN	—ST—
EXISTING STORM INLET & MANHOLE	—○—
EXISTING GAS MAIN/SERVICE	—G—
EXISTING EDGE OF PAVEMENT OR CURB	—E—
EXISTING CONTOUR	---62---
PROPOSED WATER VALVE & FIRE HYDRANT	—V—
PROPOSED SANITARY SEWER, MANHOLE & CLEANOUT	—S—
PROPOSED STORM DRAIN, INLET, MH	—ST—
PROPOSED CONCRETE CURB	—C—
PROPOSED CONCRETE SIDEWALK	—S—
* THICKENED EDGE MAY BE USED IN lieu OF CONCRETE CURB WHEN SHOWN THIS	
PROPOSED CONTOUR	---62---
PROPOSED SPOT ELEVATION	62 X 60
PROPOSED TOP OF CURB ELEVATION	BOTTOM OF CURB M.S.D. 6' LOWER, UNLESS NOTED OTHERWISE 62.60 TC
PROPOSED ROOF DRAINS: DOWNSPOUT, CLEANOUT, DRAIN PIPE	—D—
EXISTING ELECTRIC	—E—
EXISTING TELEPHONE	—T—
EXISTING CABLE TV	—CATV—
EXISTING POWER LINES	—P—
PROPOSED ELECTRIC	—E—
PROPOSED TELEPHONE	—T—
PROPOSED CABLE TV	—CATV—
PROPOSED GAS	—G—
TRANSFORMER	—T—
SHEET DRAINAGE FLOW DIRECTION	—>---
REFUSE ENCLOSURE & STORAGE SHED	—X—

NOTE:
ALL WATER LINE SHALL BE D.I.P.
ALL STORM SEWER SHALL BE PVC SDR 35
ALL SAN. SEWER SHALL BE PVC SDR 35

NOTE: OF SECTION 2
1. PERMITS FROM ENGINEERING ARE REQUIRED FOR WORK IN RIGHT-OF-WAY INCLUDING SIDEWALKS, DRIVEWAYS, AND GUTTERS, ETC.
2. CONCRETE APRONS ARE REQUIRED FROM STREET GUTTER THROUGH SIDEWALK.

PUBLIC WORKS
ENGINEERING DIVISION
APPROVED *[Signature]*
NOT APPROVED
DATE 5/12/98

TDC
Development Company
P.O. Box 10519 Fargo, ND 58106

Heritage Inn
Tharaldson Enterprises

NORTH

30' 20' 10' 0' 30'

GRADING PLAN

DATE: JUNE 1997

SCALE: 1" = 30'

DRAWN BY: KARI W. / BOB

PROJECT: 200 UNIT HOTEL

BLOOMINGTON, MN

REVISIONS:

DATE: 5-5-98

PROJECT NO.: 97-02

REG. NO. 16475

DATE: 5-5-98

PROJECT NO.: 97-02

L3

LAND

RECEIVED

OCT 20 2006
City of Bloomington
Engineering Division
Services Section

HOLIDAY INN EXPRESS PARKING LOT IMPROVEMENTS

SITE PLAN.....SHEET 1

GRADING & EROSION CONTROL PLAN.....SHEET 2

LANDSCAPE PLAN.....SHEET 3

PHOTOMETRIC LIGHTING PLAN.....SHEET 4

PROJECT LIMIT AREA.....71,110 FT².....1.63 AC

PERVIOUS AREA PRI.....1,481 FT².....0.03 AC
IMPERVIOUS AREA PRI.....69,629 FT².....1.60 AC

PERVIOUS AREA POST.....3,728 FT².....0.09 AC
IMPERVIOUS AREA POST.....67,382 FT².....1.54 AC

LEGEND

	EXISTING CONTOUR
	EXISTING 10' CONTOUR
	PROPOSED CONTOUR
	PROPOSED 10' CONTOUR
	CL STREET
	CURB & GUTTER
	BLDG. SETBACK LINE
	D & U EASEMENT LINE
	WETLAND & POND
	16.5' BUFFER LINE
	DELINEATED WETLAND LINE
	DRAINAGE ARROW
	SILT FENCE
	EXISTING SAN. SEWER
	PROPOSED SAN. SEWER
	EXISTING WM
	PROPOSED WM
	EXISTING STORM SEWER
	PROPOSED STORM SEWER

8" Water service needs to be abandoned at the main. This will require a shut down of the hotel.

WATER SERVICE PLUGGED & CAPPED

EXISTING PARKING SPACES FROM PREVIOUS USE

SEWER SERV. PLUGGED & CAPPED

PROJECT LIMITS

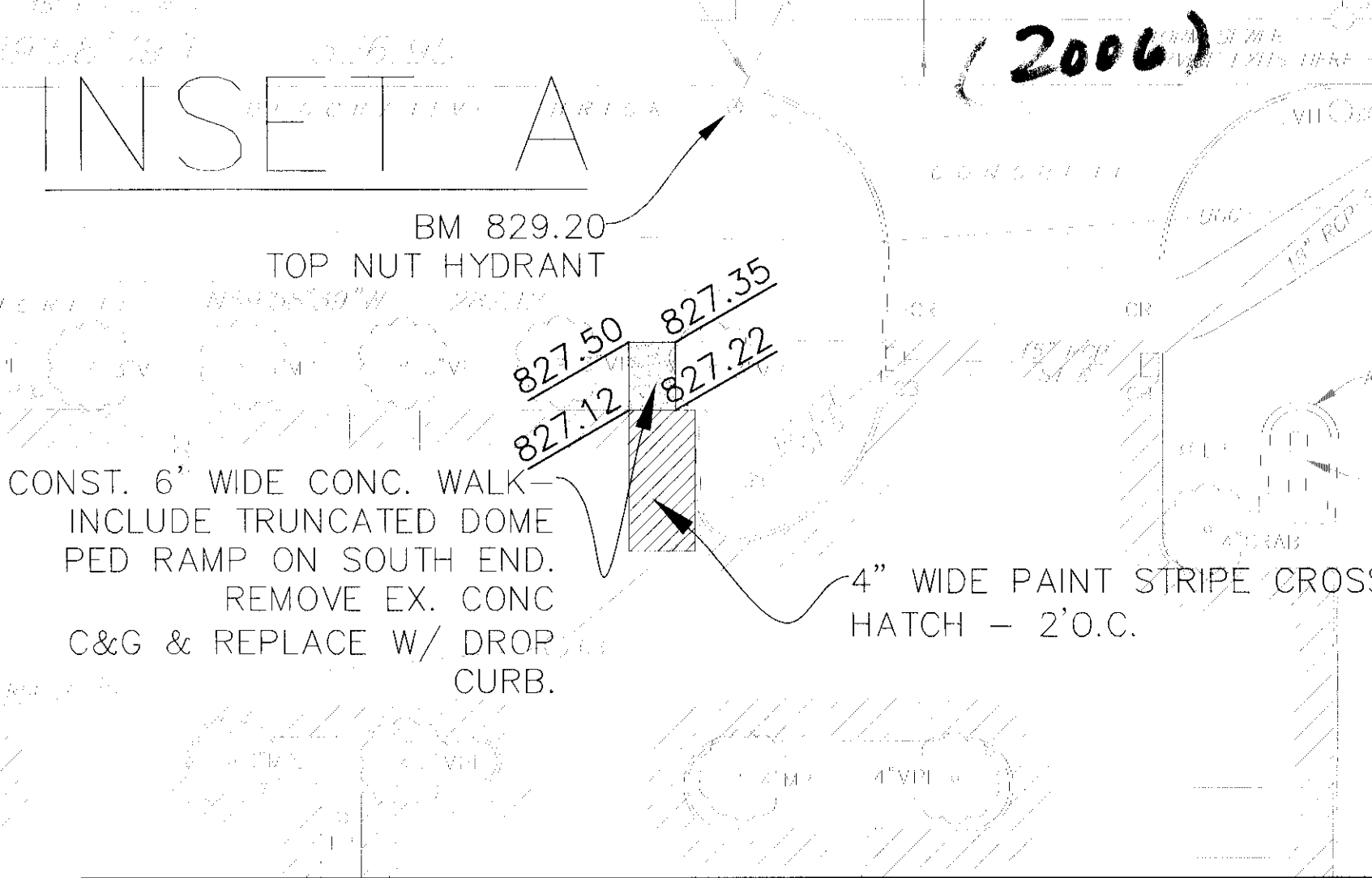
4" WHITE PAINT STRIPE CROSS HATCH - 2'O.C.

4" WIDE WHITE STRIPE (TYP)

EXISTING PARKING SPACES FROM PREVIOUS USE

4" WHITE PAINT STRIPE CROSS HATCH - 2'O.C.

SCALE
20 0 20 40
IN FEET



PUBLIC WORKS
ENGINEERING DIVISION

Approved: [Signature]
Not Approved: _____
Date: 10/25/06

11633			
1	10-19-06	10-09-06 & 10-18-06	STAFF COMMENTS
NO.	DATE	DESCRIPTION OF REVISIONS	

DESIGNED:	RMH
DRAWN:	CM
CHECKED BY:	
SIGNATURE:	<u>[Signature]</u>
DATE:	OCT 6, 2006
LICENSE #:	14973

Anderson Engineering of Minnesota, LLC
CIVIL ENGINEERING AND LAND SURVEYING

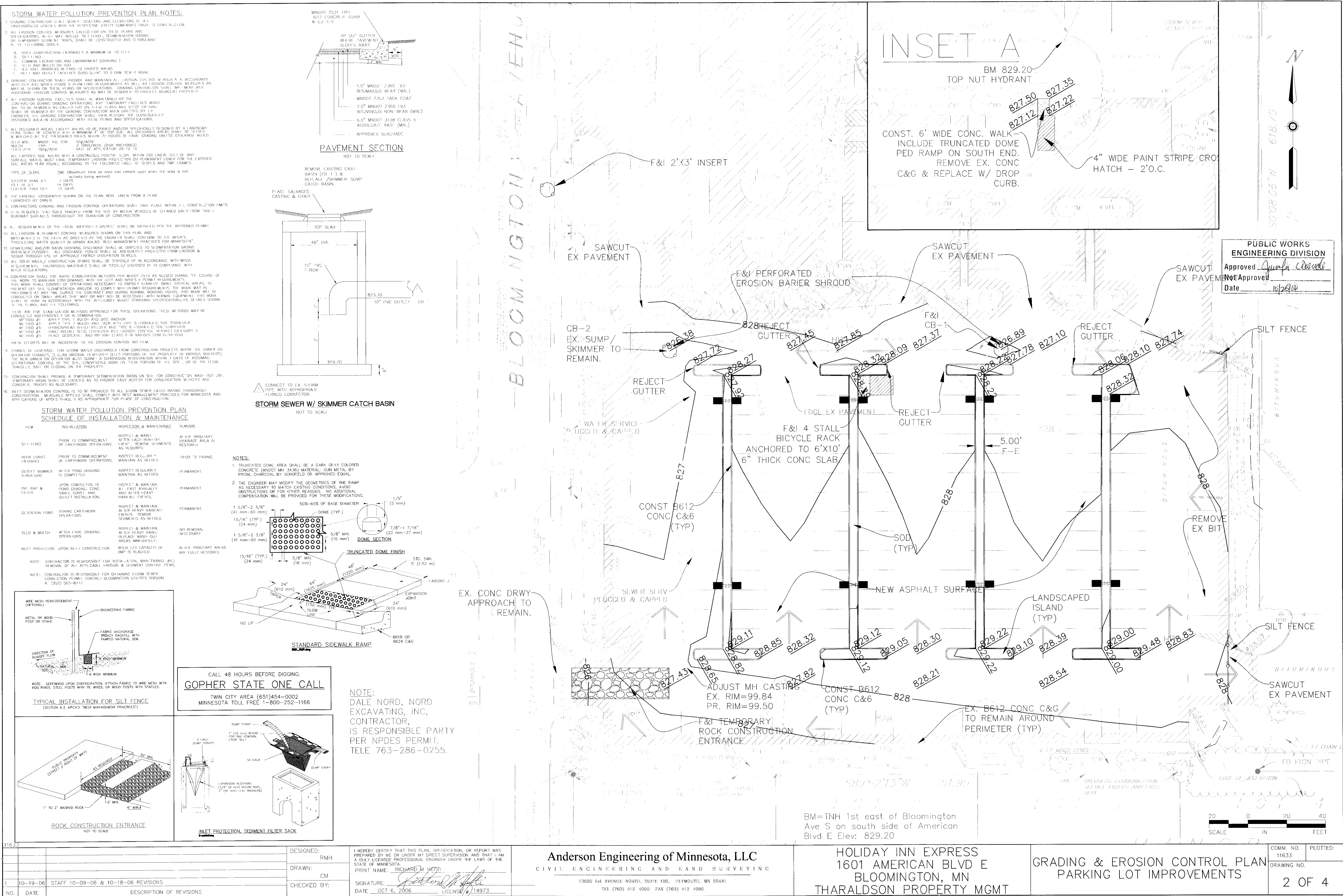
13005 1st AVENUE NORTH, SUITE 100, PLYMOUTH, MN 55441
TEL (763) 412-4000 FAX (763) 412-4090

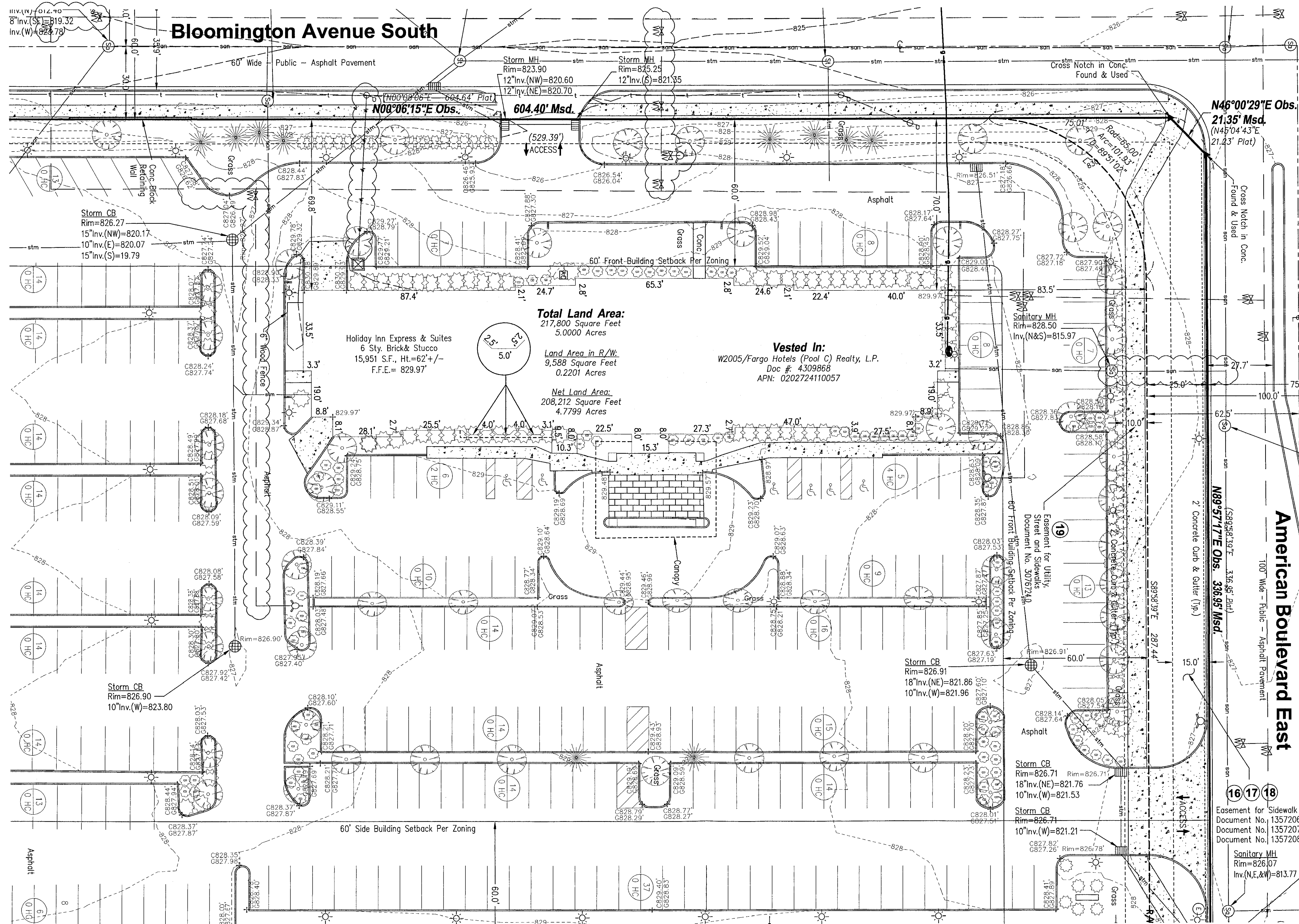
HOLIDAY INN EXPRESS
1601 AMERICAN BLVD E
BLOOMINGTON, MN
THARALDSON PROPERTY MGMT

SITE PLAN
PARKING LOT IMPROVEMENTS

COMM. NO.
11633

PLOTTED:
DRAWING NO.
1 OF 4





PARKING:
 370 Parking Spaces
 6 Handicapped Spaces
 376 Total Parking Spaces

ZONING:

Zoning Classification: PD-1 with PD Overlay (Freeway Development with Planned Development Overlay)
 Permitted Use: Permitted by Approved Planned Development
 Minimum Building Setbacks:
 Front: Per Approved Site Plan
 Side: Per Approved Site Plan
 Rear: Per Approved Site Plan
 Parking/Other Setbacks: None
 Maximum Building Height: Per Approved Site Plan
 Parking Ratio: Per Approved Site Plan
 SOURCE: City of Bloomington, Hennepin County, Minnesota
 Planning (92) 563-8920

This zoning information is based upon current zoning regulations. These conditions may not reflect the zoning regulations at the time of building or site construction.

SURVEYOR'S OBSERVATIONS:

At the time of this survey, there was no visible evidence of encroachments or violations.

BASIS OF BEARING:

The meridian for all bearings shown hereon is the East right of way line of Bloomington Avenue South, known as being N09°06'15"E Obs., per Cedar Park Addition Document No. 1357205 of Hennepin County Records.

MISCELLANEOUS NOTES:

- There is direct access to the subject property via East American Boulevard and Bloomington Avenue South, both public right-of-ways.
- The location of the underground utilities shown hereon have been obtained by searches of available records, diligent field check, and field verified where accessible only. It is believed that they are essentially correct, but their accuracy or completeness is not guaranteed, therefore the contractor is urged to proceed with caution, follow the procedure for contacting the utility protection service prior to commencing construction, and field verify for accuracy, location and conditions.
- The posted address on site is 1601 East American Boulevard.
- At the time of this survey, there was no observable surface evidence of earth moving work, building construction or building additions within recent months.
- At the time of this survey, there was no observable evidence of the subject property being used as a solid waste dump, pump or sanitary landfill.
- At the time of this survey, there was no observable evidence of any recent changes in street right-of-way lines either completed or proposed, and available from the controlling jurisdiction.
- At the time of this survey, there was no observable evidence of any recent street or sidewalk construction or repairs.
- The Property surveyed and shown hereon is the same property described in Schedule A of Chicago Title Insurance Company Title Commitment No. 236484 with an effective date of October 13, 2014.
- Professional Liability Insurance Policy obtained by Milman National Land Services in the minimum amount of \$3,000,000 to be in effect throughout the contract term. Certificate of insurance to be furnished upon request.

FLOOD ZONE:

By scaled map location and graphic plotting only, the subject property appears to lie entirely in Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for the County of Hennepin, Community Panel No. 270530457E, Effective Date 09/02/2004.

NOTE:

TOPOGRAPHIC SURVEY PRODUCED 11.07.2014 BY JPJ ENGINEERING, INC. AND PROVIDED BY THE OWNER.

SYMBOL LEGEND	
R/W	Right-of-Way
P/L	Adjoining Property Line
C	Centerline
Rod	Radius
L	Delta Angle
CHL	Chord Length
CHB	Chord Bearing
CHL	Schedule B-Section II Item
CHL	Number
CHL	Radius
CHL	Arc Length
CHL	Delta Angle
CHL	Chord Length
CHL	Chord Bearing
CHL	Monumentation Found as Noted
CHL	Cross Cut to Concrete Foundation
CHL	No. of Regular Parking Spaces
CHL	No. of Handicap Parking Spaces
CHL	Storm Manhole
CHL	Curb Inlet Basin w/ Grate
CHL	Ground Light
CHL	Catch Basin
CHL	Sanitary Manhole
CHL	Fire Hydrant
CHL	Gas Meter
CHL	Air Condition Unit
CHL	Electric Transformer
CHL	Electric Manhole
CHL	Handicap Space
CHL	Utility Pole
CHL	Light Pole
CHL	Fence
CHL	Overhead Utilities
CHL	Concrete Area
CHL	No Parking Area
CHL	Building Area
CHL	ACCESS

KraemerDesignGroup
 1420 Broadway | Detroit MI 48226 | (313) 963-3399 | (313) 963-3355
 www.kraemerdsgroup.com

Architect

giffels webster

Engineers
 Surveyors
 Planners
 Landscape Architects
 Environmental Specialists
 28 W. Adams Street
 Suite 1200
 Detroit, MI 48226
 P 313.963.4442
 F 313.963.5068
 www.giffelswebster.com

Consultant

**W2005/FARGO
 HOTELS (POOL C)
 REALTY, L.P.**
 6011 CONNECTION DRIVE
 IRVING, TEXAS

Owner

HILTON GARDEN INN
 1601 EAST AMERICAN BLVD.
 BLOOMINGTON, MINNESOTA

Project

Professional Engineer
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
 Signature: *Scott T. Chao*
 Typed or Printed Name: Scott T. Chao License Number: 52068
 Date: 10/27/2015

Seal

THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF KRAEMER DESIGN GROUP, P.L.L.C. AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY REASON WITHOUT THE WRITTEN AUTHORIZATION OF KRAEMER DESIGN GROUP, P.L.L.C.

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PERMIT REVISIONS	10.26.2015
PERMIT REVISIONS	10.23.2015
PERMIT REVISIONS	10.09.2015
FOR CONSTRUCTION	10.02.2015
BID/PERMIT	07.17.2015
OWNER REVIEW	07.10.2015
OWNER REVIEW	06.10.2015
OWNER REVIEW	05.29.2015
SITE PLAN SUBMITTAL	05.18.2015
OWNER REVIEW	04.24.2015
OWNER REVIEW	04.15.2015
OWNER REVIEW	12.19.2014
SITE PLAN SCHEMATIC	11.05.2014
SITE PLAN CONCEPT	10.30.2014
Revision	Date

Date 10.30.2014

Project Number 2014096

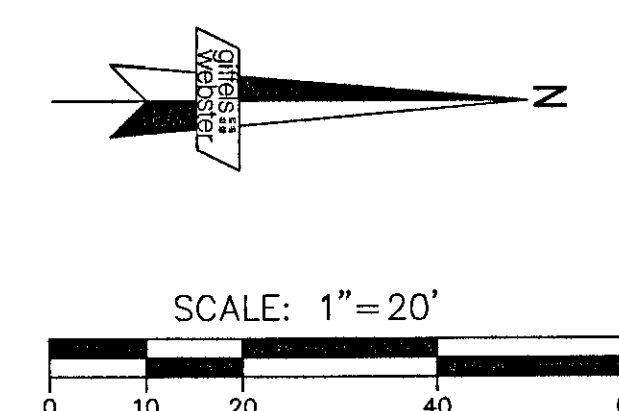
Sheet Title

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 OCT 29 2015
 City of Bloomington
 Engineering Division

EXISTING
 CONDITIONS

Sheet Number

C02



BULLETIN 001	11.06.2015
PERMIT REVISIONS	10.26.2015
PERMIT REVISIONS	10.23.2015
PERMIT REVISIONS	10.09.2015
FOR CONSTRUCTION	10.02.2015
BID/PERMIT	07.17.2015
OWNER REVIEW	07.10.2015
OWNER REVIEW	06.10.2015
OWNER REVIEW	05.29.2015
SITE PLAN SUBMITTAL	05.18.2015
OWNER REVIEW	04.24.2015
OWNER REVIEW	04.15.2015
OWNER REVIEW	12.19.2014

Revision	Date
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Date 10.30.2014

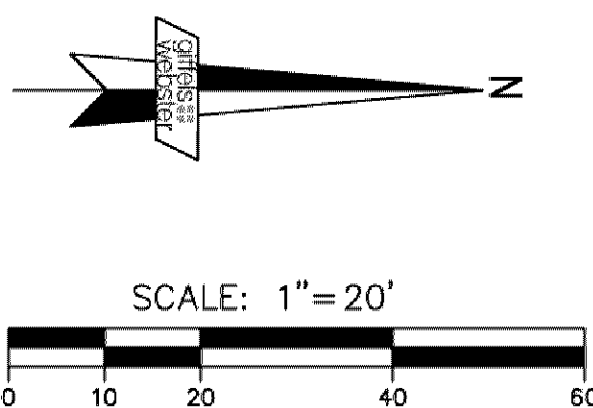
Project Number	2014096
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Sheet Title

EXISTING CONDITIONS

Sheet Number

C02



370 Parking Spaces
6 Handicapped Spaces
376 Total Parking Spaces

Zoning Classification: FD-1 with PD Overlay (Freeway Development with Planned Development Overlay)
 Permitted Use: Permitted by Approved Planned Development
 Minimum Building Setbacks:
 Front: Per Approved Site Plan
 Side: Per Approved Site Plan
 Rear: Per Approved Site Plan
 Parking/Other Setbacks: None
 Maximum Building Height: Per Approved Site Plan
 Parking Ratio: Per Approved Site Plan

SOURCE: City of Bloomington, Hennepin County, Minnesota
 Planning (952) 563-8920

This zoning information is based upon current zoning regulations. These conditions may not reflect the zoning regulations at the time of building or site construction.

At the time of this survey, there was no visible evidence of encroachments or violations.

The meridian for all bearings shown hereon is the East right of way line of Bloomington Avenue South, known as being N0°08'06"E, per Cedar Park Addition Document No. 1357205 of Hennepin County Records.

There is direct access to the subject property via East American Boulevard and Birmingham Avenue South, both public right-of-ways.

The location of the underground utility shown herein have been obtained by searches of available records and by field verification. It is believed that this information is accurate and that the utility is essentially correct, but their occurrence or completeness is not guaranteed; therefore the contractor is urged to provide for the possibility of encountering additional utilities. The utility protection service prior to construction and field verify for accuracy, location and depth.

The posted address on site is 1601 East American Boulevard.

At the time of this survey, there was no observable evidence of the subject property being under construction or buildings additions within recent months.

At the time of this survey, there was no observable evidence of the subject property being used as a parking lot.

At the time of this survey, there was no observable evidence of any recent changes in street right-of-way either complete or proposed, or available from the controlling jurisdiction.

At the time of this survey, there was no observable evidence of any recent changes in utility construction or repairs.

The Property surveyed and shown herein is the same property described in Schedule A of Chicago's Comprehensive Zoning Ordinance, Chapter 47A, Article 1, Section 1-01, dated October 12, 2004.

Professional Liability Insurance Policy obtained by Milnor National Land Services in the minimum amount of \$3,000,000 to be in effect throughout the contract term. Certificate of insurance is attached.

By scaled map location and graphic plotting only, the subject property appears to lie entirely in Zone X (Areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map for the County of Hennepin, Community Panel No. 27053C0457E, Effective Date 09/02/2004.

NOTE:

TOPOGRAPHIC SURVEY PRODUCED 11.07.2014 BY JPU
ENGINEERING, INC. AND PROVIDED BY THE OWNER.

SYMBOL LEGEND

R/W	Right-of-Way		Catch Basin
A	Aspider Pavement Line		Sanitary Manhole
C	Centerline		Fire Hydrant
Rd	Road		Water Valve
L	Radius		Gas Meter
Δ	Arc Length		Air Condition Unit
Δ	Delta Angle		Electric Transformer
ChB	Chord Length		Electric Manhole
ChB	Chord Bearing		Electric Manhole
(X)	Schedule B-Section II Item		Utility Pole
No.	Number		Light Pole
R	Radius		Fence
L	Arc Length		Excavated Utilities
Δ	Delta Angle		Concrete Area
ChB	Chord Length		No Parking Area
ChB	Chord Bearing		Building Area
•	Memorandum Found as Noted		
•	Cross Out to Concrete Found		
(X)	No. of Regular Parking Spaces		
(X)	No. of Handicap Parking Spaces		
(S)	Storm Manhole		
○	Curb Inlet Basin w/ Grate		
→	Drain Light		

DEMOLITION LEGEND

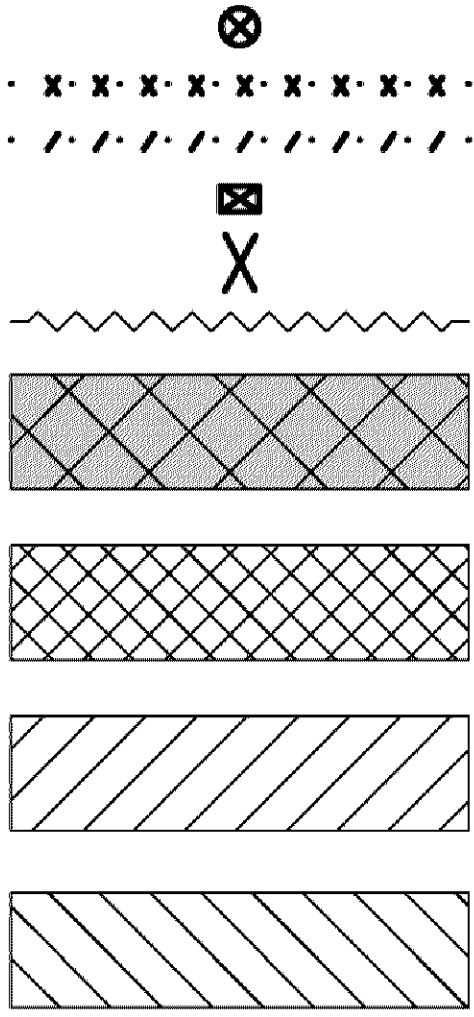
- REMOVE UTILITY STRUCTURE
- REMOVE UTILITY PIPE
- ABANDON UTILITY PIPE
- CUT AND BULKHEAD UTILITY PIPE
- REMOVE OBJECT
- REMOVE CURB

1 MILL HMA SURFACE

REMOVE CONCRETE PAVEMENT

REMOVE ASPHALT PAVEMENT

REMOVE SIDEWALK



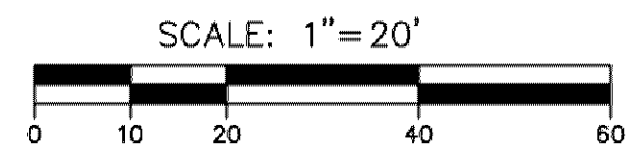
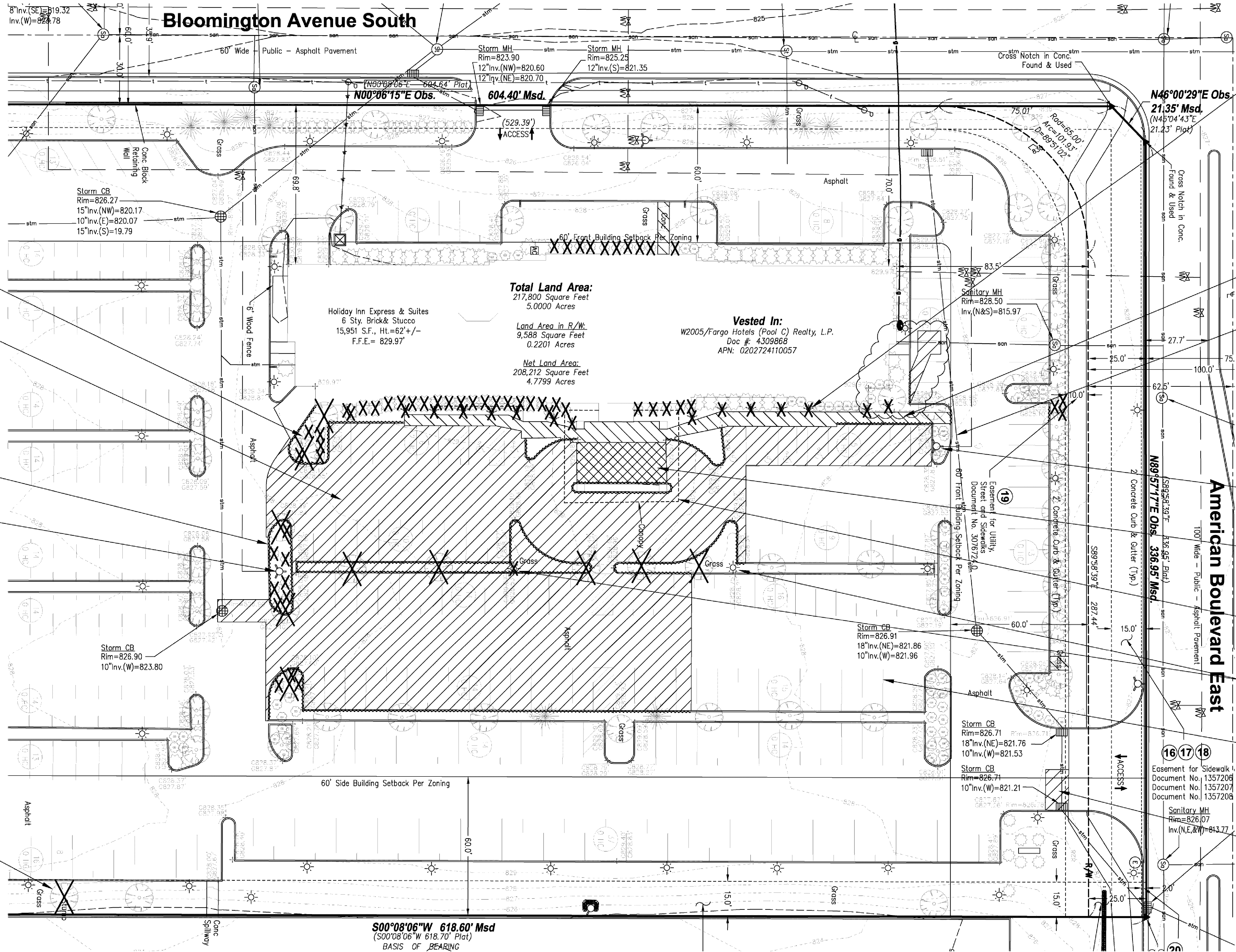
REMOVE VARIOUS TREES, BUSHES, AND PLANTS (TYP)

SAWCUT FULL DEPTH AND REMOVE ASPHALT PAVEMENT.

SAWCUT FULL DEPTH AND REMOVE CONCRETE CURB AND GUTTER (TYP)

PROTECT EXISTING FIRE HYDRANT.

REMOVE STUMP.



CASE FILE NO. 09294A-15

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Consultant

W2005/FARGO
HOTELS (POOL C)
REALTY, L.P.
6011 CONNECTION DRIVE
IRVING, TEXAS

Owner

HILTON GARDEN INN
1801 EAST AMERICAN BLVD.
BLOOMINGTON, MINNESOTA

Project

Professional Engineer
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
Signature:
Typed or Printed Name: Scott T. Clift
Date: 11/06/2015 License Number: 52068

Seal

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Revision	Date
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Project Number	2014096
Sheet Title	

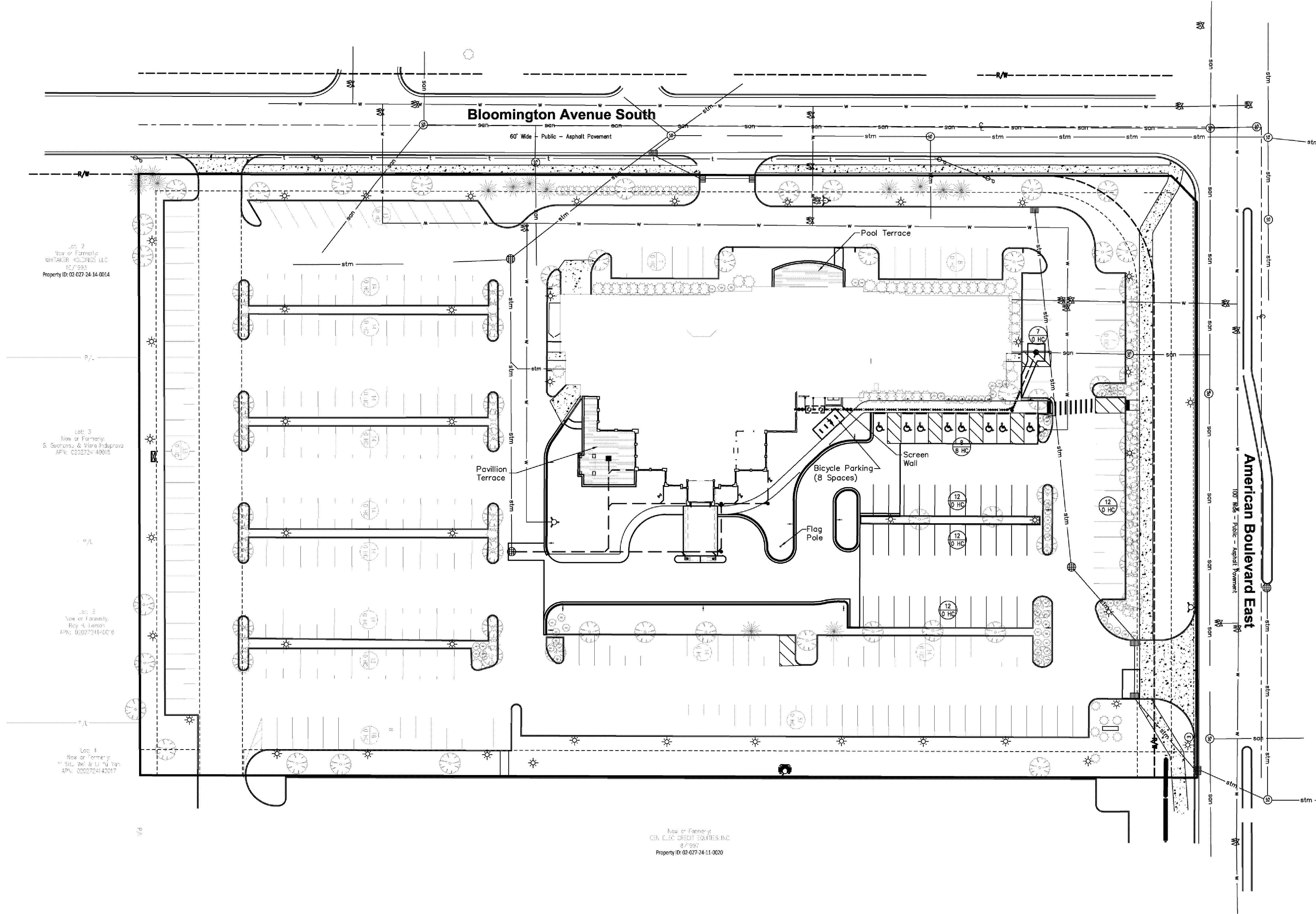
DEMOLITION
PLAN

Sheet Number

C03

- CITY OF BLOOMINGTON NOTES:
1. ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING SHALL BE ON-SITE. NO ON-STREET PARKING/LOADING/UNLOADING ALLOWED.
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CASE FILE NO. 09264A-15

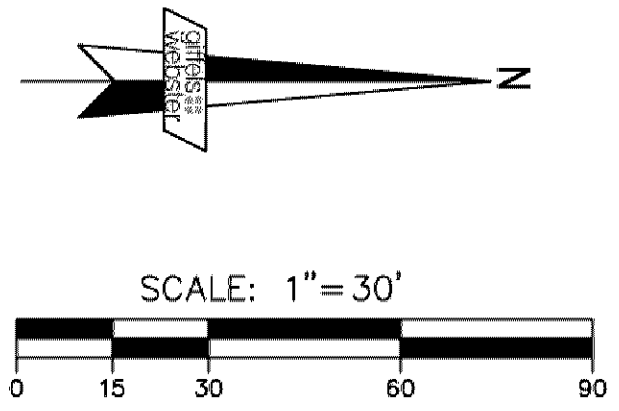


PARKING REQUIREMENTS			
SPECIFIC LAND USE	UNIT	REQUIRED SPACES	SPACES
HOTEL	200 ROOMS	11 SPACE PER ROOM	220
TOTAL SPACES REQUIRED			220
TOTAL SPACES PROVIDED			220

ADA ACCESSIBLE PARKING REQUIREMENTS			
TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES	MINIMUM NUMBER OF VAN-ACCESSIBLE SPACES	MINIMUM NUMBER OF CAR-ACCESSIBLE SPACES
323	8	2	6
TOTAL VAN-ACCESSIBLE SPACES PROVIDED			8
TOTAL CAR-ACCESSIBLE SPACES PROVIDED			0

APPROVED

CIVIL PLANS APPROVED:
JEN DESRUDE
DATE: 10/30/15



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Project

Professional Engineer
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Signature: *Scott T. Clift*
Typed or Printed Name: Scott T. Clift License Number: 52058
Date: 10/27/2015

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SITE PLAN

Sheet Number

C04

EROSION CONTROL NOTES

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
2. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF BLOOMINGTON.
3. ANY EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED WITHIN THE WORK AREA AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. (WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS AND WETLANDS).
4. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS DIRECTED ON THESE PLANS AND WHENEVER OTHERWISE REQUIRED BY THE WORK. THE CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER CHANGES HAVE BEEN ACCOMPLISHED.
5. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OUT OF THE WORK AREA.
6. THE CONTRACTOR SHALL PRESERVE NATURAL VEGETATION AS MUCH AS POSSIBLE.
7. PROTECT ALL EXISTING TREES, INCLUDING THEIR BRANCHES AND ROOTS, FROM DAMAGE DUE TO THIS WORK UNLESS SPECIFICALLY IDENTIFIED FOR REMOVAL.
8. VEGETATION STABILIZATION OF ALL DISTURBED AREAS SHALL BE ESTABLISHED WITHIN 15 DAYS OF COMPLETION OF FINAL GRADING.
9. THE CONTRACTOR SHALL SWEEP THE EXISTING PARKING LOT AND STREETS SURROUNDING THE PROJECT SITE ONCE A WEEK, OR AS DIRECTED BY THE ENGINEER OR INSPECTOR. STREET SCRAPING SHALL BE PERFORMED IN CONJUNCTION WITH THIS SWEEPING ON AN AS NEEDED BASIS.
10. THE SEDIMENT CONTROL FENCING INDICATED ON THIS PLAN IS NOT INTENDED TO SHOW THE EXACT LOCATION OF THE FENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE REQUIRED TO CONTAIN SEDIMENT.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COMPLIANCE WITH ALL APPLICABLE NPDES REGULATIONS, INCLUDING: INSPECTION, RESTORATION, AND RECORD KEEPING REQUIREMENTS.
12. THE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL SOIL EROSION CONTROLS AS INDICATED BY THESE PLANS.
13. CONSTRUCTION ACTIVITIES (INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES, STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL) SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.
14. PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS CONSTRUCTION ACTIVITIES ARE TO COMMENCE IN THAT AREA WITHIN THE NEXT THREE DAYS.
15. IF FOR ANY REASON PERMANENT STABILIZATION CAN NOT BE PROVIDED WITHIN 15 DAYS OF THE COMPLETION OF PIPE LAYING OPERATIONS, TEMPORARY STABILIZATION SHALL BE PROVIDED AT ALL DISTURBED AREAS. TEMPORARY STABILIZATION SHALL FURTHERMORE BE PROVIDED DURING THE NON-GROWING SEASON (OCTOBER 1 THROUGH APRIL 20) FOR ALL AREAS TO BE SEEDDED.
16. TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRAIN STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE, OR MULCH BLANKETS, WHICH SHALL BE ANCHORED IN PLACE TO PREVENT DISPLACEMENT FROM WIND AND RAIN. TEMPORARY STABILIZATION SHALL BE REPAIRED AS OFTEN AS NECESSARY, AS DETERMINED BY THE AGENCY WITH JURISDICTION.
17. ALL DITCHING SHALL BE ACCOMPLISHED IN A MANNER THAT WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER.
18. THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH CURRENT STATUTES AND REGULATIONS OF THE CITY OF BLOOMINGTON AND STATE OF MINNESOTA.
19. SEDIMENT CONTROL FENCING SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. IF THE FENCE IS SAGGING, OR SOIL HAS REACHED ONE HALF OF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC SHALL BE REMOVED AND DISPOSED OF IN A STABLE AREA OF THE SITE. IF WATER IS SEEPING UNDER THE FENCE, OR THE FABRIC IS DECOMPOSED OR OTHERWISE INEFFECTIVE, THE FENCE SHALL BE REMOVED AND PROPERLY REINSTALLED AS INDICATED ON THESE PLANS.
20. MUD MAT ENTRANCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH STORM RAINFALL. THE SURROUNDING ROADS SHALL ALSO BE INSPECTED AT THIS TIME FOR EVIDENCE THAT MUD IS BEING TRACKED OFF OF THE SITE. MAINTENANCE SHALL INCLUDE THE INSTALLATION OF ADDITIONAL LAYERS OF STONE WHEN THE ORIGINAL STONE BECOMES COVERED WITH MUD. ALL SEDIMENT DROPPED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY BY SWEEPING AND SCRAPING (AS MAY BE REQUIRED BY THE ENGINEER).
21. SEDIMENT INLET FILTERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED STORM EVENTS. THE FILTERS SHALL BE CLEANED PERIODICALLY THROUGHOUT CONSTRUCTION TO AVOID CLOGGING. FILTERS THAT CANNOT BE MAINTAINED BY CLEANING SHALL BE COMPLETELY REPLACED.

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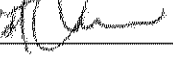
Consultant

W2005/FARGO
HOTELS (POOL C)
REALTY, L.P.
6011 CONNECTION DRIVE
IRVING, TEXAS

Owner

HILTON GARDEN INN
1801 EAST AMERICAN BLVD.
BLOOMINGTON, MINNESOTA

Project

Professional Engineer
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
Signature: 
Typed or Printed Name: Scott T. Clark License Number: 52068
Date: 10/27/2015

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Project Number	2014096
Sheet Title	

SOIL EROSION
CONTROL PLAN

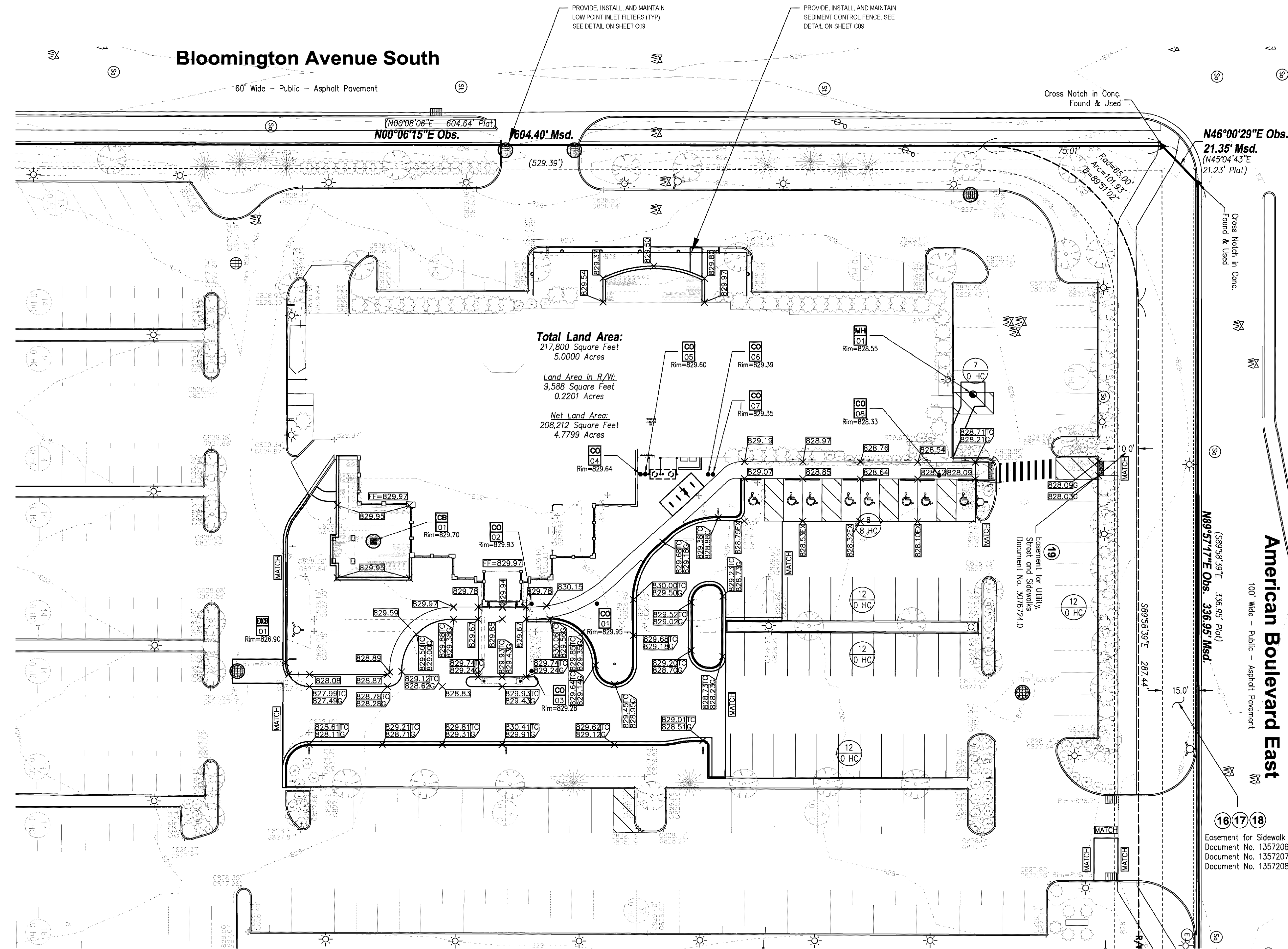
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C05

SOIL EROSION CONTROL SEQUENCE OF CONSTRUCTION		
	START DAY	END DAY
PLACE INLET FILTERS	1	1
GRADE AND BALANCE AS REQUIRED, STABILIZE DITCHES, SWALES, COMMON AREAS AND SLOPES PER PLAN WITHIN 5 DAYS OF GRADE	2	6
INSTALL UNDERGROUND UTILITIES (i.e. SANITARY, STORM AND WATER MAIN)	7	8
INSTALL PAVEMENT, FIRST LIFT	9	13
INSTALL BUILDINGS, COMPLETE	14	43
COMPLETE PAVEMENT AND CLEAN OUT STORM SEWER SYSTEM	44	46
SITE LANDSCAPING, COMPLETE	47	49
REMOVE CATCH BASIN FILTERS FOLLOWING COUNTY APPROVAL	50	50

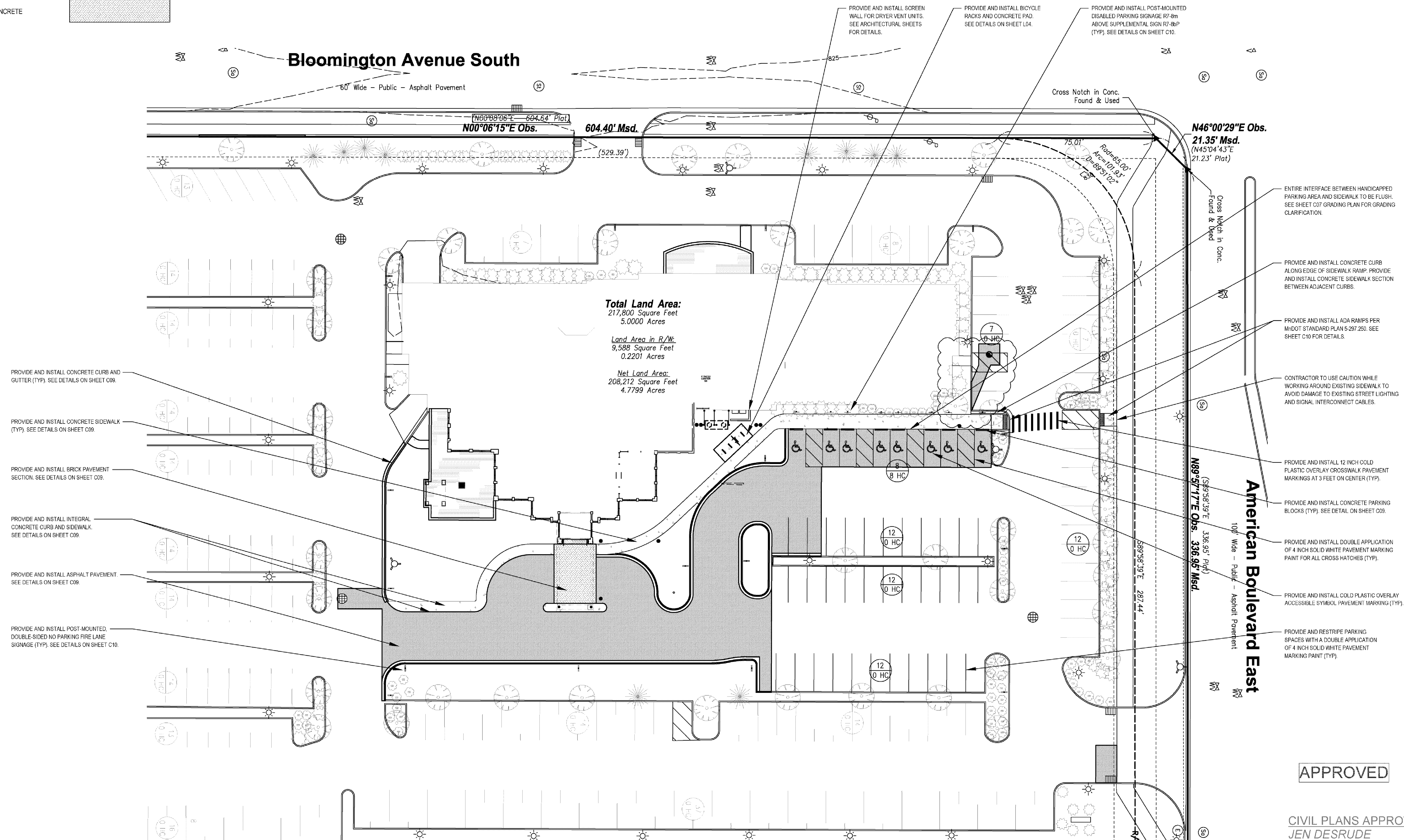
STREET CLEANING SCHEDULE							
	SUNDAY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY (IF WORKING)
SCRAPE STREETS		✓	✓	✓	✓	✓	✓
SWEEP STREETS				✓			

SOIL EROSION QUANTITIES		
DESCRIPTION	LEGEND	QUANTITY
SEDIMENT CONTROL FENCE		125 LF
LOW POINT INLET FILTER		5 EACH



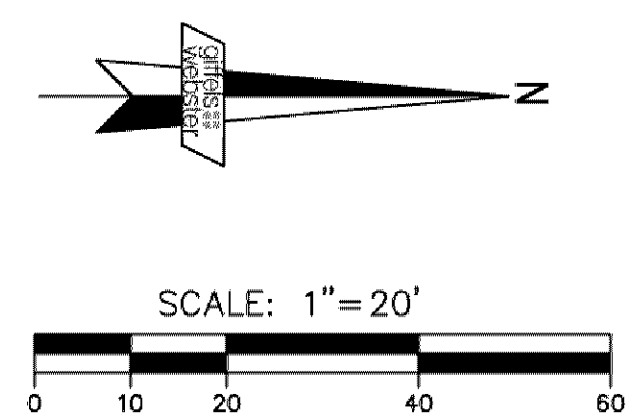
COMPACTED SAND BACKFILL (CSB)	
AGGREGATE MATERIAL	
ASPHALT PAVEMENT	
CONCRETE PAVEMENT	
BRICK PAVERS/STAMPED CONCRETE	

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APPROVED

CIVIL PLANS APPROVED:
JEN DESRUDE
DATE: 10/30/15



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onsultan

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deal

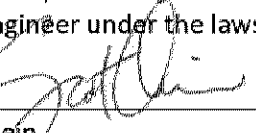
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revision	Date

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Sheet Title	

PAVING
PLAN

Sheet Number

C06

Professional Engineer
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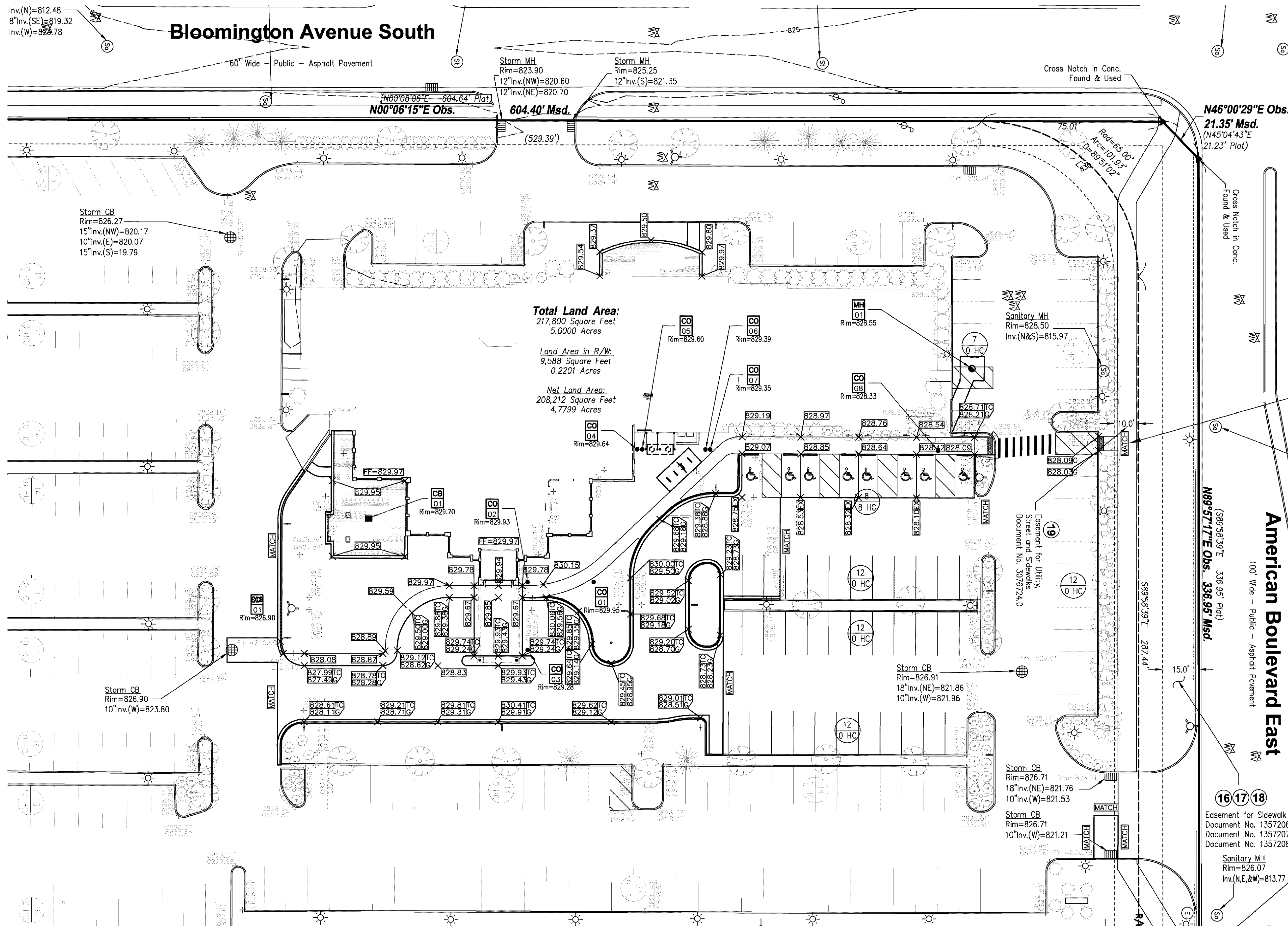
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GRADING
PLAN

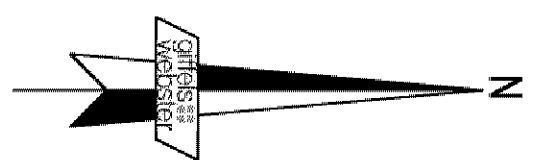
C07



CONTRACTOR TO USE CAUTION
WHILE WORKING AROUND EXISTING
SIDEWALK TO AVOID DAMAGE TO
EXISTING STREET LIGHTING AND
SIGNAL INTERCONNECT CABLES.

APPROVED

CIVIL PLANS APPROVED:
JEN DESRUDE
DATE: 10/30/15



SCALE: 1"=20'
0 10 20 40 60

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CASE FILE NO. 08294A-15

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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
Signature: 
Typed or Printed Name: Scott T. Giffels License Number: 52068
Date: 11/06/2015

Seal

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BULLETIN 001	11.06.2015
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SITE PLAN SCHEMATIC	11.05.2014
SITE PLAN CONCEPT	10.30.2014
Revision	Date
Date	10.30.2014
Project Number	2014096
Sheet Title	

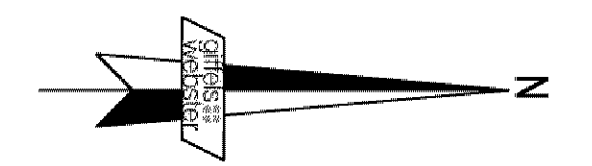
UTILITY
PLAN

Sheet Number

C08

APPROVED

CIVIL PLANS APPROVED:
JEN DESRUDE
DATE: 10/30/15



SCALE: 1"=20'
0 10 20 40 60

PROVIDE AND INSTALL DRAIN BASIN W/ PEDESTRIAN GRATE. SEE DETAIL ON SHEET C11.

PROVIDE AND INSTALL BI-DIRECTIONAL CLEANOUTS ON EITHER SIDE OF THE PROPOSED GREASE INTERCEPTOR (TYP). SEE DETAIL ON SHEET C09.

PROVIDE AND INSTALL INSULATION FOR SANITARY SEWER PIPING WHERE PROPOSED PIPE DEPTH IS LESS THAN 8 FEET. SEE DETAIL ON SHEET C11.

PROVIDE AND INSTALL MANHOLE AND COVER OVER EXISTING 8" SANITARY SERVICE LEAD FOR PROPOSED GREASE INTERCEPTOR CONNECTION. SEE DETAIL ON SHEET C11. INVERT ELEVATIONS OF EXISTING SANITARY SERVICE LEAD ARE BASED UPON RECORD DRAWINGS; CONTRACTOR TO FIELD VERIFY INVERT ELEVATIONS. PROPOSED SANITARY SEWER SLOPE SHALL BE 2% MINIMUM.

CONTRACTOR TO ADJUST PIPE BENDS AS NECESSARY TO AVOID CONFLICTS WITH EXISTING LANDSCAPING.

PROVIDE AND INSTALL SANITARY SEWER CLEANOUT (TYP). SEE DETAIL ON SHEET C09 AND COVER PRODUCT SHEET ON C11.

SEE MECHANICAL SHEET M201 FOR GREASE INTERCEPTOR DETAILS. GREASE INTERCEPTOR SIZING IS SUBJECT TO FINAL APPROVAL BY THE CITY OF BLOOMINGTON PLUMBING DEPARTMENT.

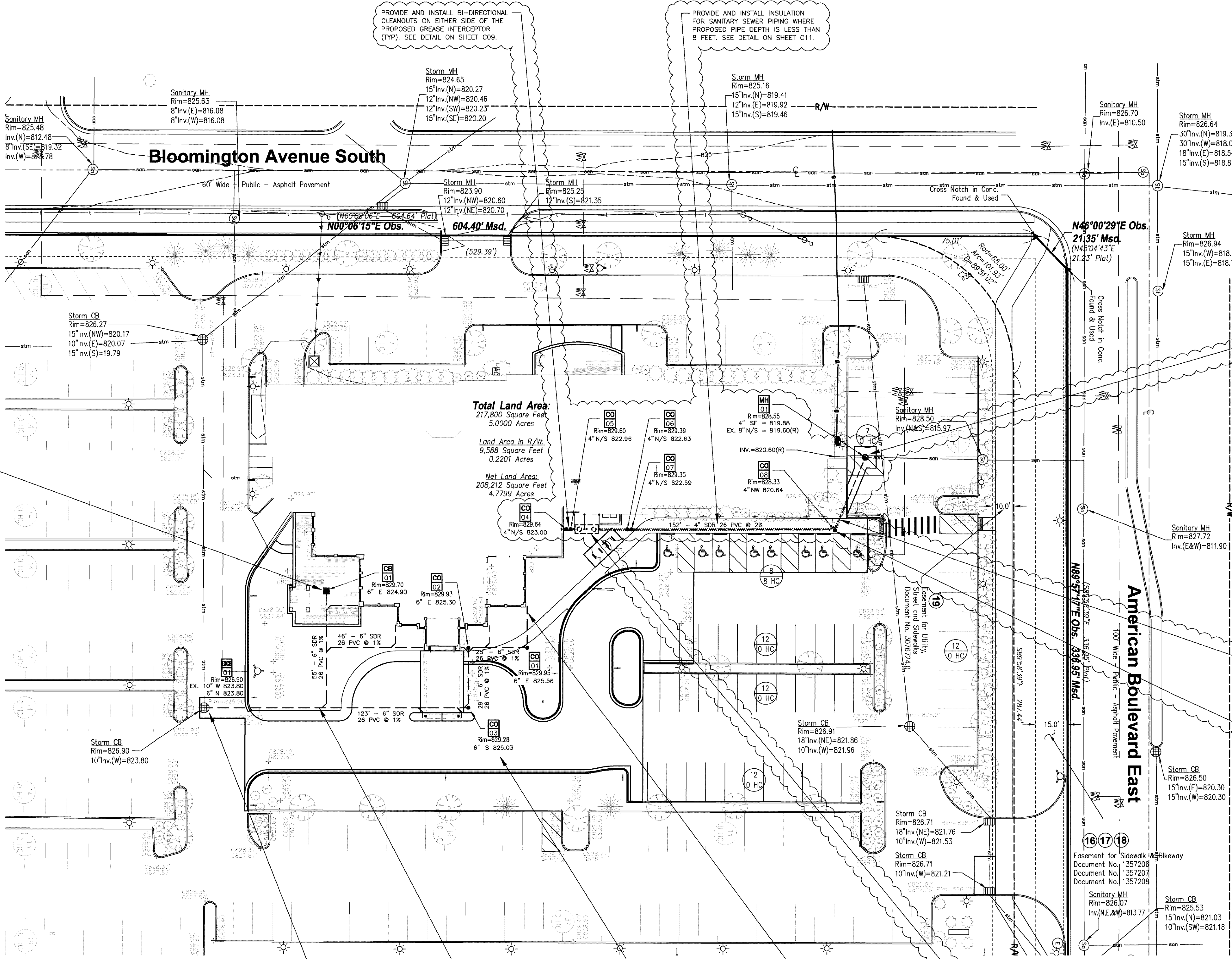
SEE DOWNSPOUT CONNECTION DETAIL ON SHEET C09 (TYP).

PROVIDE AND INSTALL STORM SEWER CLEANOUT (TYP). SEE DETAIL ON SHEET C09.

PROVIDE AND INSTALL DOWNSPOUT DRAINAGE SYSTEM. ALL PIPE TO BE 6" SDR 26 PVC @ 1% MINIMUM (TYP).

TAP EXISTING CATCH BASIN.

- CITY OF BLOOMINGTON NOTES:
1. ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING SHALL BE ON-SITE. NO ON-STREET PARKING/LOADING/UNLOADING ALLOWED.
 2. ALL PUBLIC SIDEWALKS SHALL REMAIN UNOBSTRUCTED.
 3. STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
 4. CONTACT UTILITIES AT 952-563-8777 FOR STORM SEWER PERMIT.
 5. ALL SIGNAGE TO BE INSTALLED OUTSIDE OF CITY RIGHT-OF-WAY.
 6. TEMPORARY ADDRESSES SHALL BE PROVIDED DURING CONSTRUCTION.



Professional Engineer
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
 Signature: *Scott T. Chapp*
 Typed or Printed Name: **Scott T. Chapp** License Number: 52085
 Date: 11/06/2015

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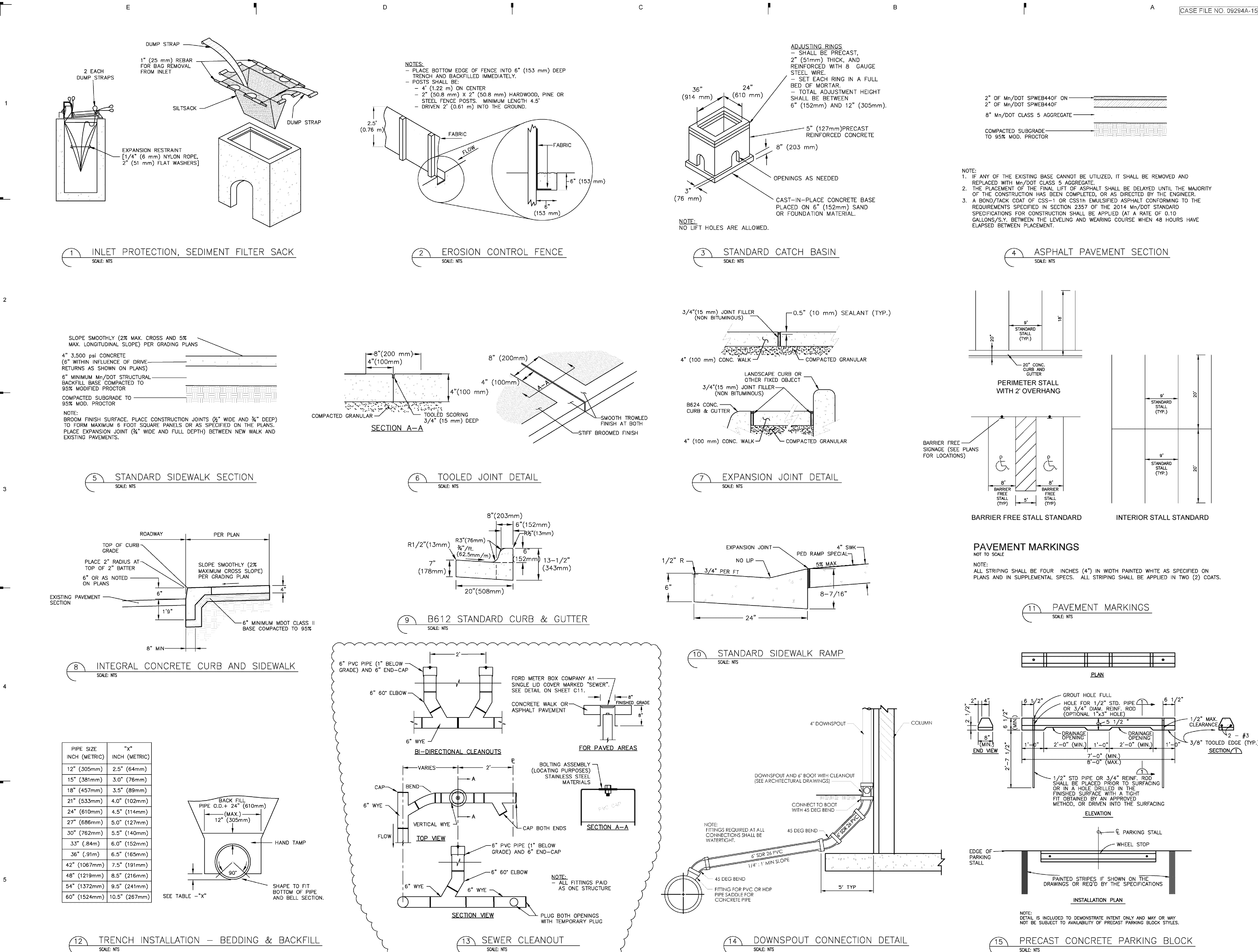
Project Number: 2014096

Sheet Title

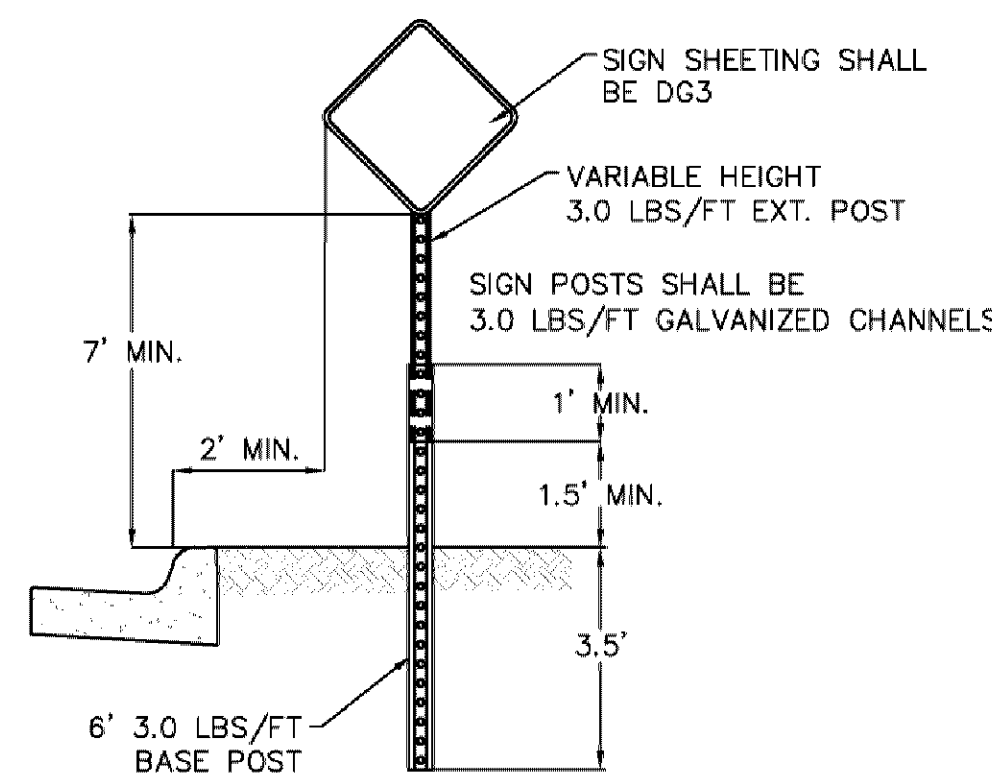
DETAILS

Sheet Number

C09



Date 10.30.2014

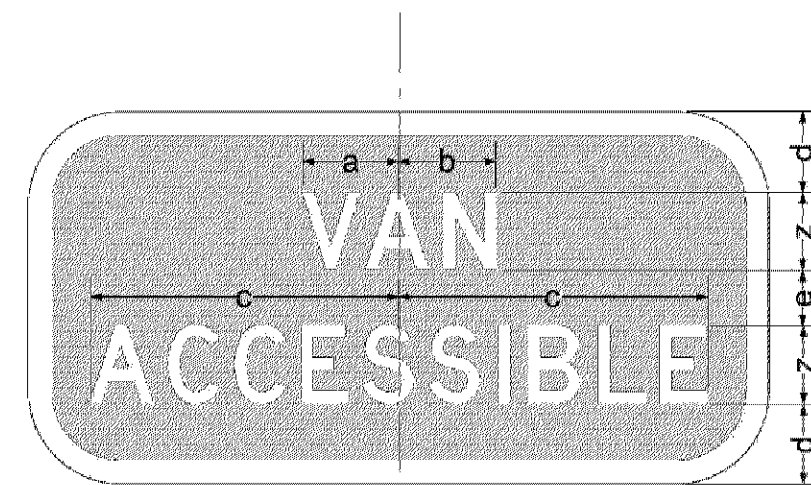


NOTE:
ALL TRAFFIC CONTROL DEVICES, INSTALLATION
AND SIGNING SHALL CONFORM TO THE LATEST
VERSION OF THE MINNESOTA MANUAL ON
UNIFORM TRAFFIC CONTROL DEVICES (MN MUTCD).

SCALE: NTS



R7-Special;
1.5" Radius, 0.6" Border, 0.4" Indent, Red on White
[NO] D 2K specified length;
[PARKING] C 2K specified length;
[FIRE] D 2K specified length;
[LANE] D 2K specified length;



VAN ACCESSIBLE		
APPROVED 5/22/92	DATE OF REV.	

CITY OF BLOOMINGTON NOTE:
ALL SIGNAGE TO BE INSTALLED OUTSIDE OF CITY RIGHT-OF-WAY.

CASE FILE NO. 09294A-15

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Consultant

W2005/FARGO
HOTELS (POOL C)
REALTY, L.P.
6011 CONNECTION DRIVE
IRVING, TEXAS

Owner

HILTON GARDEN INN
1801 EAST AMERICAN BLVD.
BLOOMINGTON, MINNESOTA

Project

Professional Engineer
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
Signature: 
Typed or Printed Name: Scott T. Claff
Date: 10/27/2015 License Number: 52068

Seal

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Revision	Date
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Date	10.30.2014
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Project Number	2014096
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Sheet Title

TURNING
MOVEMENT
STUDY

Sheet Number

C12

