



ARDOR AT THE BLUFFS

American Blvd. E & 34th Ave. S, Bloomington, Minnesota 55425

CITY SUBMITTAL

DEVELOPER M-M PROPERTIES

DAN LIPNICK
DIRECT | 713.728.6023
DLIPNICK@MMPROP.COM

JORDAN SCHULZ
DIRECT | 517.922.7691
JSCHULZ@KEELPARTNERSINC.COM

700 LOUISIANA, SUITE 300
HOUSTON, TX 77062

**ARCHITECT
MOMENTUM DESIGN GROUP**

JEFF WREDE
CELL | 612.554.9992
DIRECT | 952.583.9788
JEFF@MDGARCHITECTS.COM

NICK JACKSON
CELL | 651.295.0972
DIRECT | 952.583.9788
NJSON@MDGARCHITECTS.COM

755 PRIOR AVE. N, STE 301A
ST. PAUL, MN 55104

GENERAL CONTRACTOR STEVENS CONSTRUCTION CORP.

JIM HARMON
OFFICE | 952.930.0050
JHARMON@STEVENSCONSTRUCTION.COM

1950 W 82ND ST, SUITE 1040
BLOOMINGTON, MN 55431

**STRUCTURAL ENGINEER
ERICKSEN ROED & ASSOCIATES**

RYAN NYBERG
CELL | 651.414.6159
OFFICE | 651.251.7570
RNYBERG@ERAENG.COM

JOHN MADDEN
CELL | 952.201.7237
OFFICE | 651.251.7570
JMADDEN@ERAENG.COM

2550 UNIVERSITY AVENUE WEST, SUITE 423-S
ST. PAUL, MN 55114

CIVIL ENGINEER / LANDSCAPE ARCHITECT ALLIANT ENGINEERING

DAVE NASH
CELL | 612.767.9327
OFFICE | 612.758.3080
DNASH@ALLIANT-INC.COM

JOHN GRONHOVD
CELL | 612.360.0727
OFFICE | 612.758.3080
JGRONHOVD@ALLIANT-INC.COM

733 MARQUETTE AVE, SUITE 7010
MINNEAPOLIS, MN 55402

**SURVEYOR
ALLIANT ENGINEERING**

DAVE NASH
CELL | 612.554.9992
DIRECT | 952.583.9788
JEFF@MDGARCHITECTS.COM

733 MARQUETTE AVE, SUITE 7010
MINNEAPOLIS, MN 55402

SITE LIGHTING CONSULTANT TSR LIGHTING

GREG RIDLEY
CELL | 651.251.5308
GRIDLEY@TSRLIGHTING.COM

1358 HELMO AVENUE NORTH
OAKDALE, MN 55128

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CIVIL		
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NOT FOR CONSTRUCTION

ARCHITECTURAL
SHEETS ISSUED FOR
REFERENCE ONLY

04/23/21
Date
Project Architect
Principal in Charge
Project Number
19020
CITY
SUBMITTAL
COVER SHEET
MR-1
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PROJECT DATA:

MARKET RATE (MR)

PARCEL ID: 0602723240014
ADDRESS: 3701 AMERICAN BLVD. E
AREA: 166,172 SF (3.81 ACRES)
UNITS / ACRE: 63.5 UNITS / ACRE
FAR: 1.41
% BUILDING COVERAGE: 33.8%
% IMPERVIOUS: 49.7%
ZONING DESIGNATION: HX-R
CONSTRUCTION TYPE: IA / IIIA
APPLICATION: PRELIMINARY DEVELOPMENT PLAN

UNIT MIX BY TYPE - CITY SUBMITTAL				
UNIT	COUNT	PERCENTAGE	AREA	AVG. AREA
STUDIO	45	19.1%	23582 SF	524 SF
STUDIO (TYPE A)	1	0.4%	522 SF	522 SF
ALCOVE	32	13.6%	19107 SF	597 SF
ALCOVE (TYPE A)	1	0.4%	602 SF	602 SF
1 BED	91	38.6%	66006 SF	724 SF
1 BED (TYPE A)	1	0.4%	699 SF	699 SF
1 BED + DEN	10	4.2%	8165 SF	813 SF
1 BED + DEN (TYPE A)	1	0.4%	796 SF	796 SF
1 BED + DEN	6	2.5%	6206 SF	1,080 SF
2 BED	35	14.8%	39379 SF	1,080 SF
2 BED (TYPE A)	1	0.4%	1045 SF	1,045 SF
2 BED / 1 BATH	6	2.5%	5136 SF	1,080 SF
2 BED + DEN	6	2.5%	7183 SF	1,201 SF
Grand total	236	100.0%	178426 SF	

5 ADA UNITS / 236 TOTAL = 2.1%

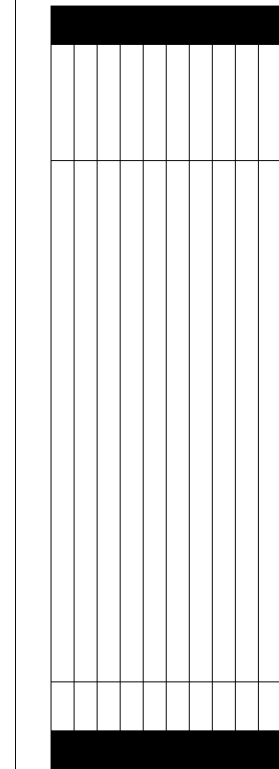
MARKET RATE GROSS BUILDING AREA	
LEVEL	AREA
MR - LOWER GARAGE P2	53903 SF
MR - UPPER GARAGE P1	53903 SF
MR - LEVEL 1	39287 SF
MR - LEVEL 2	39207 SF
MR - LEVEL 3	39207 SF
MR - LEVEL 4	39207 SF
MR - LEVEL 5	39207 SF
MR - LEVEL 6	38404 SF
Grand total	342322 SF

MARKET RATE PARKING	
TYPE	COUNT
MR - LG	
8' x 18' ADA	1
9' x 18' ADA	4
8' - 6" x 18'	24
8' x 16' Compact	3
8' x 18' Compact	18
9' x 16' Compact	4
9' x 18'	70
	124

MARKET RATE PARKING	
TYPE	COUNT
MR - STREET	
9' x 18' ADA	1
9' x 18'	19
	20
MR - UG	
8' x 18' ADA	1
9' x 18' ADA	4
8' - 6" x 18'	18
8' x 16' Compact	3
8' x 18' Compact	16
9' x 16' Compact	4
9' x 18'	74
	120
Grand total	264



ARDOR AT THE BLUFFS
34TH AVENUE SOUTH, BLOOMINGTON, MN 55425

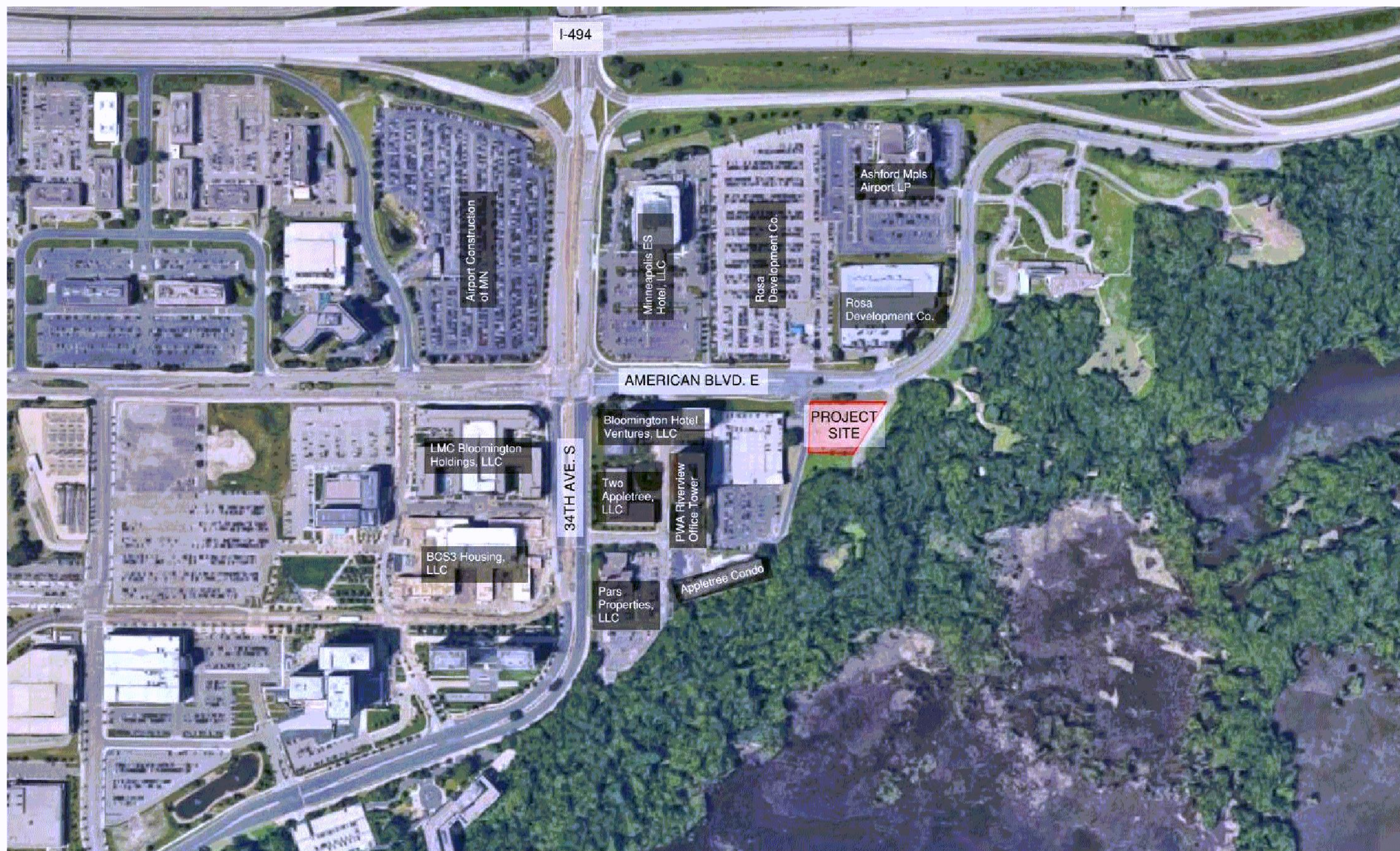


ARCHITECTURAL
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Date	04/22/21
Project Architect	NJ
Principal in Charge	Checker
Project Number	15020

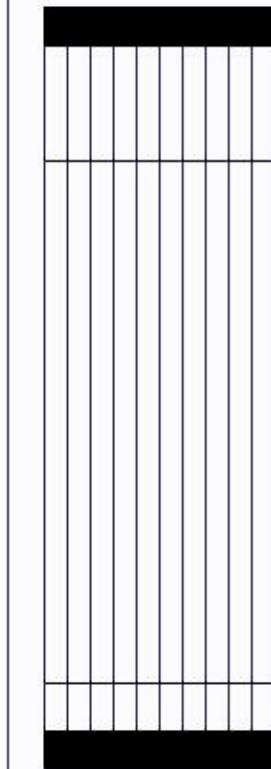
CITY
SUBMITTAL
PROJECT
SUMMARY

MR-2





VIEW OF BUILDING ENTRANCE FROM NORTH WEST



ARCHITECTURAL
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Date	04/22/21	By	NJ
Project Architect		Checker	
Principal in Charge		Project Number	18029

VIEW OF
ENTRY

MR-4

NOT FOR CONSTRUCTION



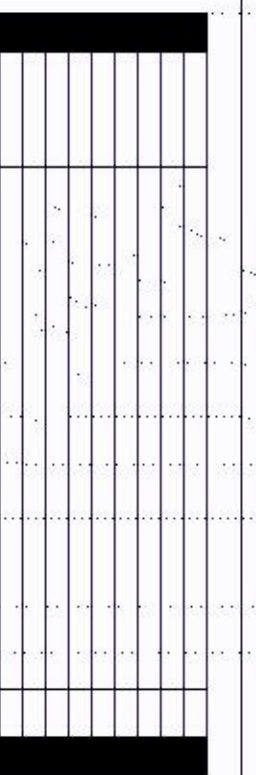
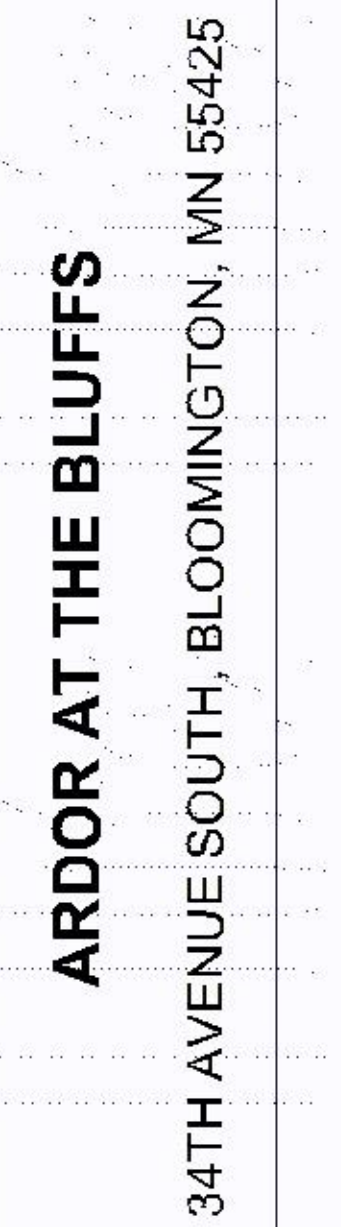
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34TH AVENUE SOUTH, BLOOMINGTON, MN 55425

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Project Architect	NJ
Principal in Charge	Checker
Project Number	19020

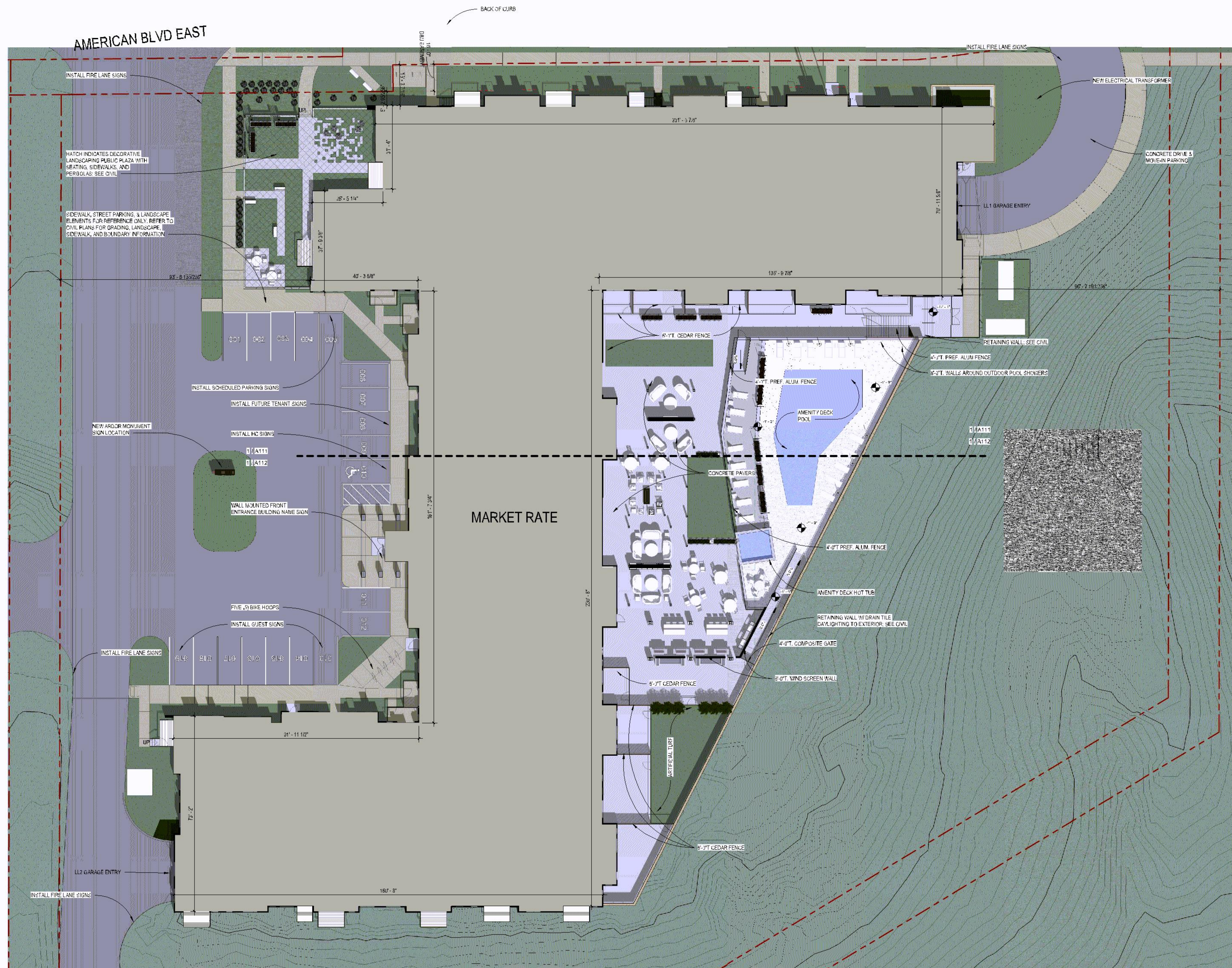
IR-5



ARCHITECTURAL
SHEETS ISSUED FOR
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Date	Project Architect	NJ	JEW	19020
	Principal in Charge			
	Project Number			

MARKET RATE
SITE PLAN
MR-6

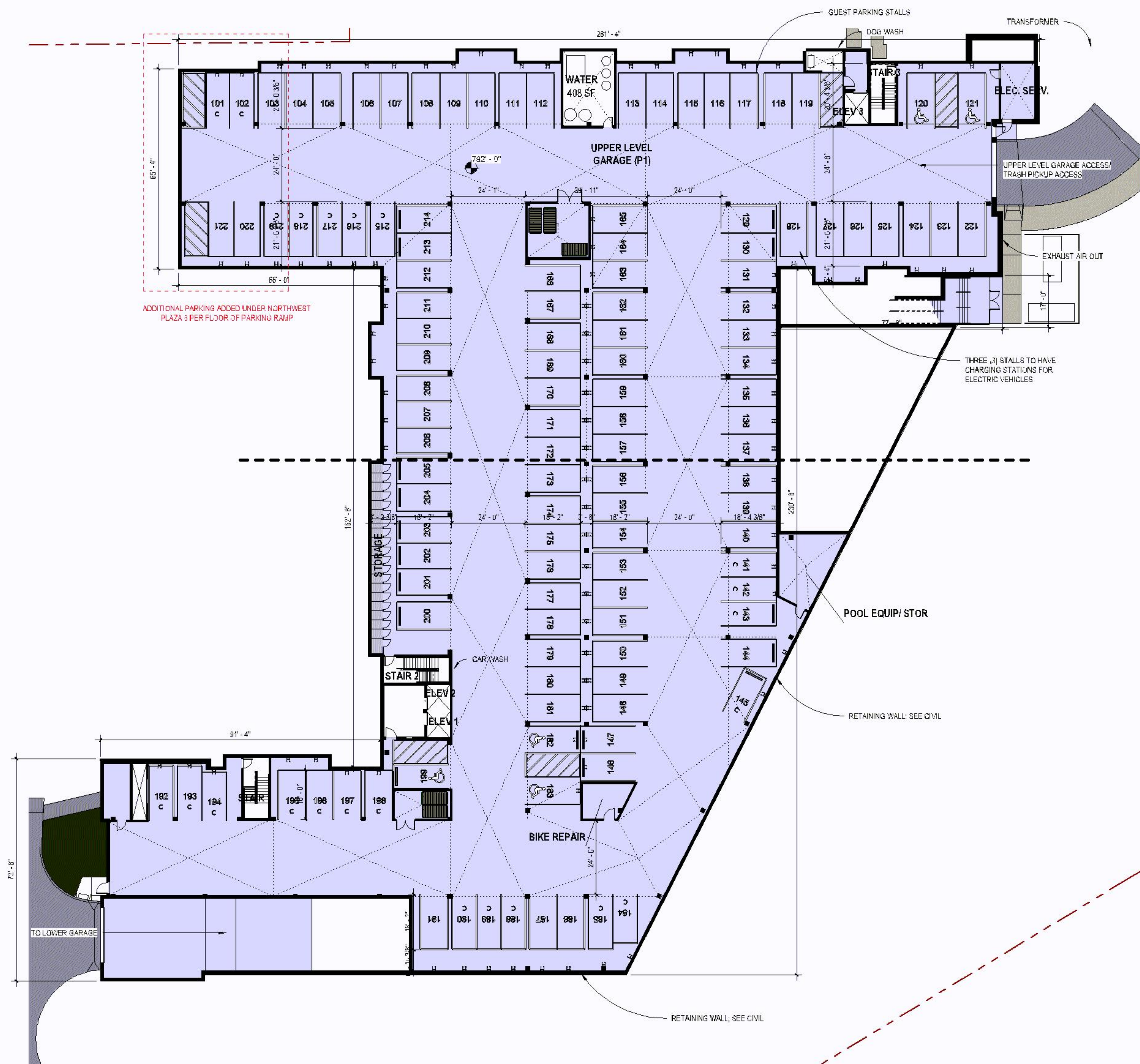


1 MARKET RATE SITE PLAN

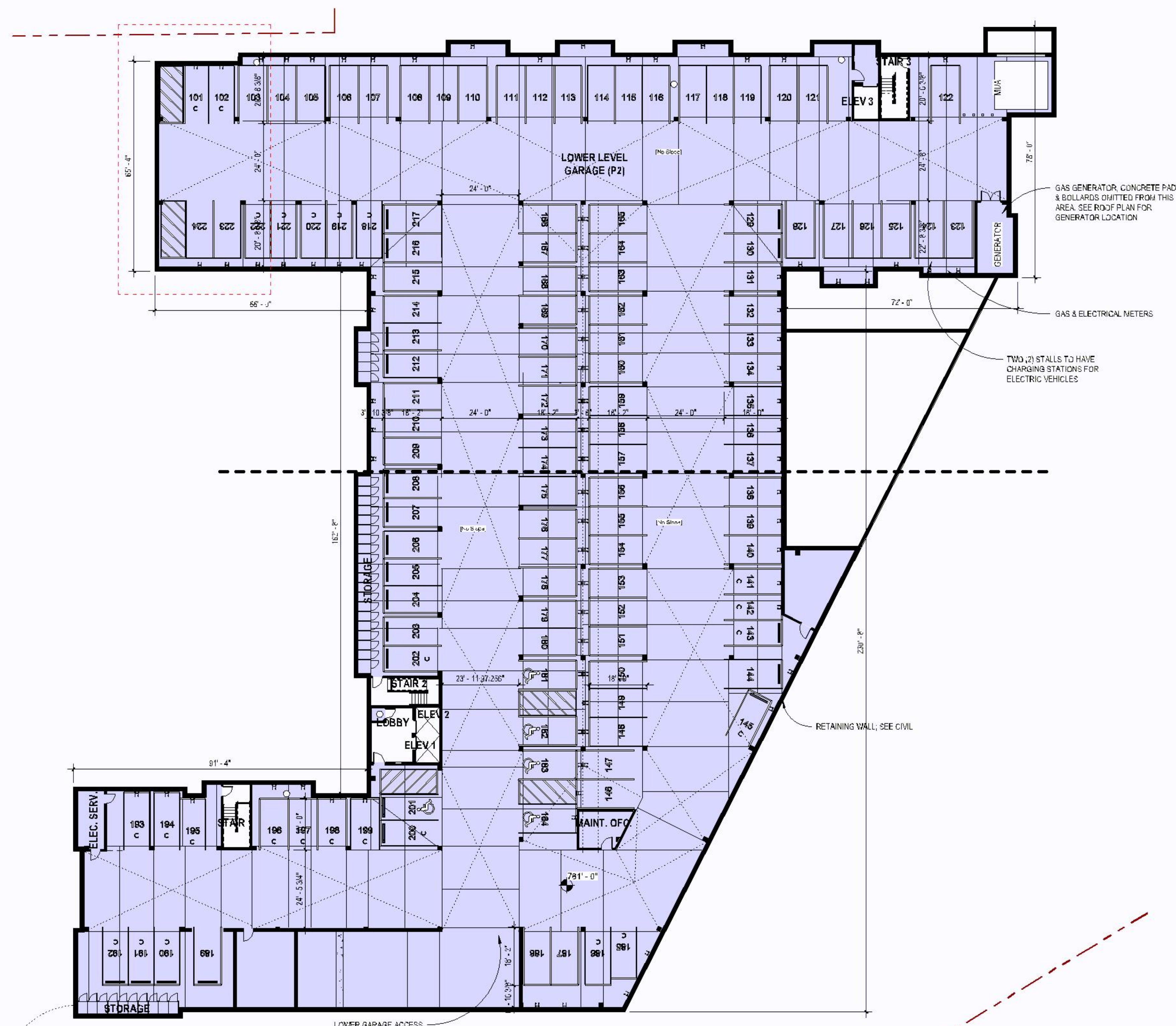
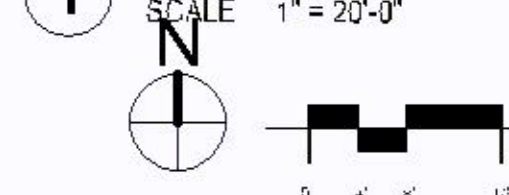


ARCHITECTURAL SITE PLAN NOTES:

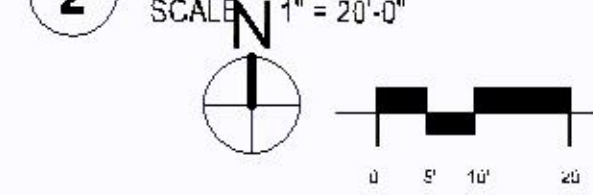
1. PROVIDE CONTROL JOINTS IN SIDEWALKS; SEE CIVIL SPECS.
2. SEE ELECTRICAL SITE LIGHTING PLAN, CIVIL DRAWINGS & LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION.



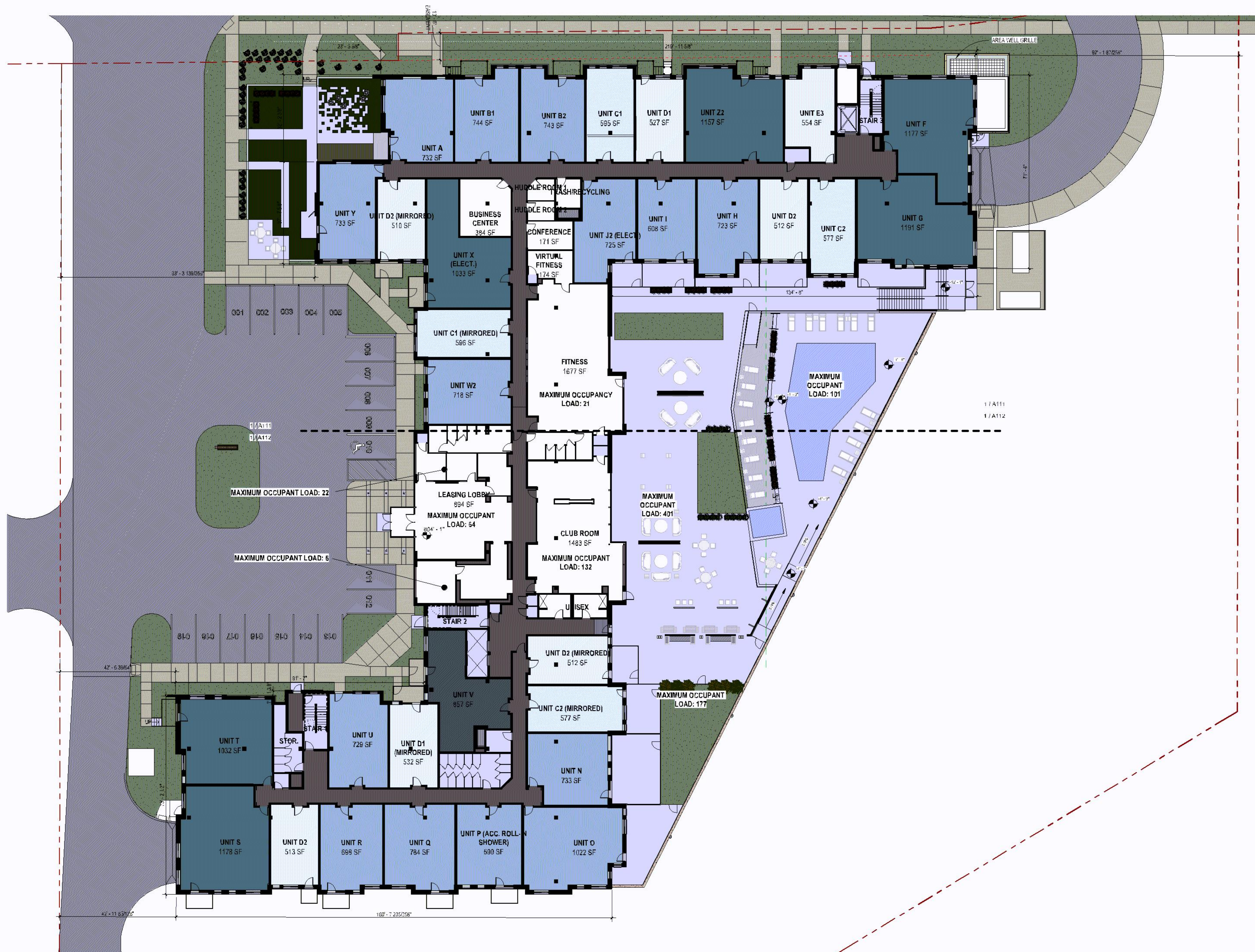
1 MARKET RATE UPPER LEVEL PARKING FLOOR PLAN



2 MARKET RATE LOWER LEVEL PARKING FLOOR PLAN



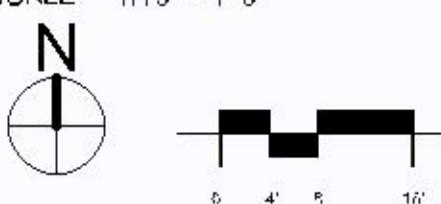
DESIGN/BUILD FIRE SUPPRESSION NOTES:
1. CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM WHICH SHALL MEET THE REQUIREMENTS OF APPENDIX L IN THE 2015 MNC. THIS SYSTEM SHALL BE PROVIDED THROUGHOUT EVERY BUILDING, STRUCTURE, AND FLOOR.
2. HOSE VALVES SHALL BE PROVIDED THROUGHOUT THE LOWER LEVEL OF THE PARKING GARAGE WITHIN 150' OF ALL AREAS OF THE GARAGE IF A DRY STANDPIPE EXISTS OR WITHIN 200 FEET OF A WET STANDPIPE SYSTEM.
3. FIRE ALARM AND ANNUNCIATOR PANELS AND KNOX BOX LOCATIONS SHALL BE DETERMINED BY THE FIRE PREVENTION DIVISION. THE MR BUILDING SHALL BE EQUIPPED WITH TWO ANNUNCIATOR PANELS AND TWO KNOX BOXES. THE WF BUILDING SHALL BE EQUIPPED WITH ONE ANNUNCIATOR PANEL AND ONE KNOX BOX.
4. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED TO/FROM ALL STAIRWELLS ON ALL FLOORS AND PARKING LEVELS.
5. STANDPIPE COVERAGE/HOUSE VALVES SHALL BE LOCATED AT THE LANDINGS IN STAIRWELLS AND WITHIN 200' OF ALL AREAS.



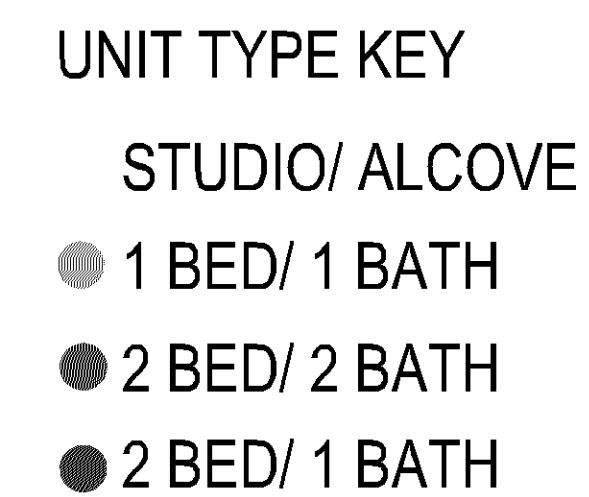
- UNIT TYPE KEY
- STUDIO/ ALCOVE
 - 1 BED/ 1 BATH
 - 2 BED/ 2 BATH
 - 2 BED/ 1 BATH

1 MARKET RATE FIRST FLOOR PLAN

SCALE 1/16" = 1'-0"



DESIGN/BUILD FIRE SUPPRESSION NOTES:
1. CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONDER RADIO COVERAGE SYSTEM WHICH SHALL MEET THE REQUIREMENTS OF APPENDIX L IN THE 2015 IBC. THIS SYSTEM SHALL BE PROVIDED THROUGHOUT EVERY BUILDING STRUCTURE AND FLOOR.
2. HOSE VALVES SHALL BE PROVIDED THROUGHOUT THE LOWER LEVEL OF THE PARKING GARAGE WITHIN 100' OF ALL AREAS OF THE GARAGE IF A DRY STANDPIPE EXISTS OR WITHIN 200 FEET OF A WET STANDPIPE SYSTEM.
3. FIRE ALARM AND ANNUNCIATOR PANELS AND KNOX BOX LOCATIONS SHALL BE DETERMINED BY THE FIRE PREVENTION DIVISION. THE MR BUILDING SHALL BE EQUIPPED WITH TWO ANNUNCIATOR PANELS AND TWO KNOX BOXES. THE WF BUILDING SHALL BE EQUIPPED WITH ONE ANNUNCIATOR PANEL AND ONE KNOX BOX.
4. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED TO/FROM ALL STAIRWELLS ON ALL FLOORS AND PARKING LEVELS.
5. STANDPIPE COVER/GEARHOSE VALVES SHALL BE LOCATED AT THE LANDINGS IN STAIRWELLS AND WITHIN 30' OF ALL AREAS.



DESIGN/BUILD FIRE SUPPRESSION NOTES:

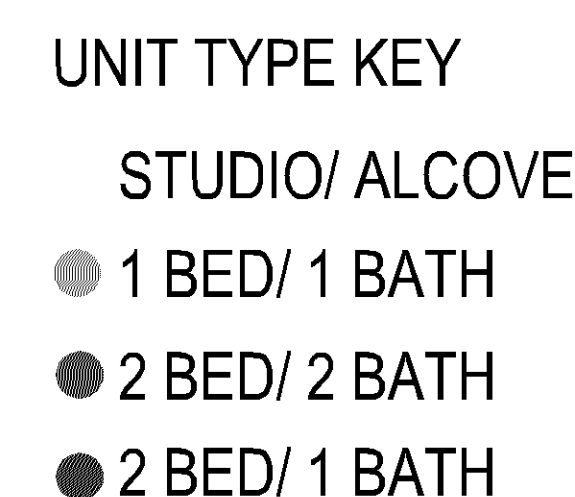
1. CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONSE RADIO COVERAGE SYSTEM WHICH SHALL MEET THE REQUIREMENTS OF APPENDIX I IN THE 2015 MFSFC. THIS SYSTEM SHALL BE PROVIDED THROUGHOUT EVERY BUILDING, INCLUDING THE LOBBY AND LOADING DOCKS.

2. HOVES VALVES SHALL BE PROVIDED THROUGHOUT THE LOWER LEVEL OF THE PARKING GARAGE WITHIN 150' OF ALL AREAS OF THE GARAGE IF A DRY STANDPIPE EXISTS OR WITHIN 200 FEET OF A WET STANDPIPE SYSTEM.

3. STAIRWELL AND LANDING AREAS AND LOADING DOCK LOCATIONS SHALL BE DETERMINED BY THE FIRE PREVENTION DIVISION. THE MR BUILDING SHALL BE EQUIPPED WITH TWO ANTI-CORROSION PANELS AND TWO KNOX BOXES. THE WF BUILDING SHALL BE EQUIPPED WITH TWO ANTI-CORROSION PANELS AND TWO KNOX BOXES.

4. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED TO/FROM ALL STAIRWELLS ON ALL FLOORS AND PARKING LEVELS.

5. STANDPIPE COVERAGE/HOES VALVES SHALL BE LOCATED AT THE LANDINGS IN STAIRWELLS AND WITHIN 200' OF ALL AREAS.



DESIGN/BUILD FIRE SUPPRESSION NOTES:

1. CONTRACTOR SHALL PROVIDE AN EMERGENCY RESPONSE RADIO COVERAGE SYSTEM WHICH SHALL MEET THE REQUIREMENTS OF APPENDIX I. IN THE 2015 MIFC, THIS SYSTEM SHALL BE PROVIDED THROUGHOUT EVERY BUILDING, STAIR, ELEVATOR AND CORE.
2. HOSE VALVES SHALL BE PROVIDED THROUGHOUT THE LOWER LEVEL OF THE PARKING GARAGE WITHIN 130' OF ALL AREAS OF THE GARAGE IF A DRY STANDPIPE EXISTS OR WITHIN 200' OF A WET STANDPIPE SYSTEM.
3. STAIRS AND LANDING AREAS SHALL BE EQUIPPED WITH TWO KNEX KNOB AND TWO KNEX HOSE. THE FIRE PREVENTION DIVISION: THE NR BUILDING SHALL BE EQUIPPED WITH TWO ANCUATOR PANELS AND TWO KNEX HOSES. THE WF BUILDING SHALL BE EQUIPPED WITH TWO ANCUATOR PANELS AND TWO KNEX HOSES.
4. FIRE DEPARTMENT ACCESS SHALL BE PROVIDED TO/FROM ALL STAIRWELLS ON ALL FLOORS AND PARKING LEVELS.
5. STAIRSIDE COVERAGE/HOSE VALVES SHALL BE LOCATED AT THE LANDINGS IN STAIRWELLS AND WITHIN 200' OF ALL AREAS OF THE GARAGE.

EXTERIOR FINISH SCHEDULE

MATERIAL #1:
BRICK MASONRY
TYPE: BRICK
COLOR: DARK GRAY
SIZE: UTILITY

MATERIAL #2:
METAL PANEL
TYPE: ALUMINUM
FINISH: DARK GRAY
COLOR: CHARCOAL GRAY

MATERIAL #3:
METAL PANEL
TYPE: ALUMINUM
FINISH: SHINY
COLOR: SILVER/GRAY

MATERIAL #4:
METAL PANEL
TYPE: MILLENIUM FORMS CUPPED TILE
FINISH: MILL
COLOR: PEWTER

MATERIAL #5:
METAL PANEL
TYPE: MILLENIUM FORMS CUPPED TILE
FINISH: MILL
COLOR: CHARCOAL

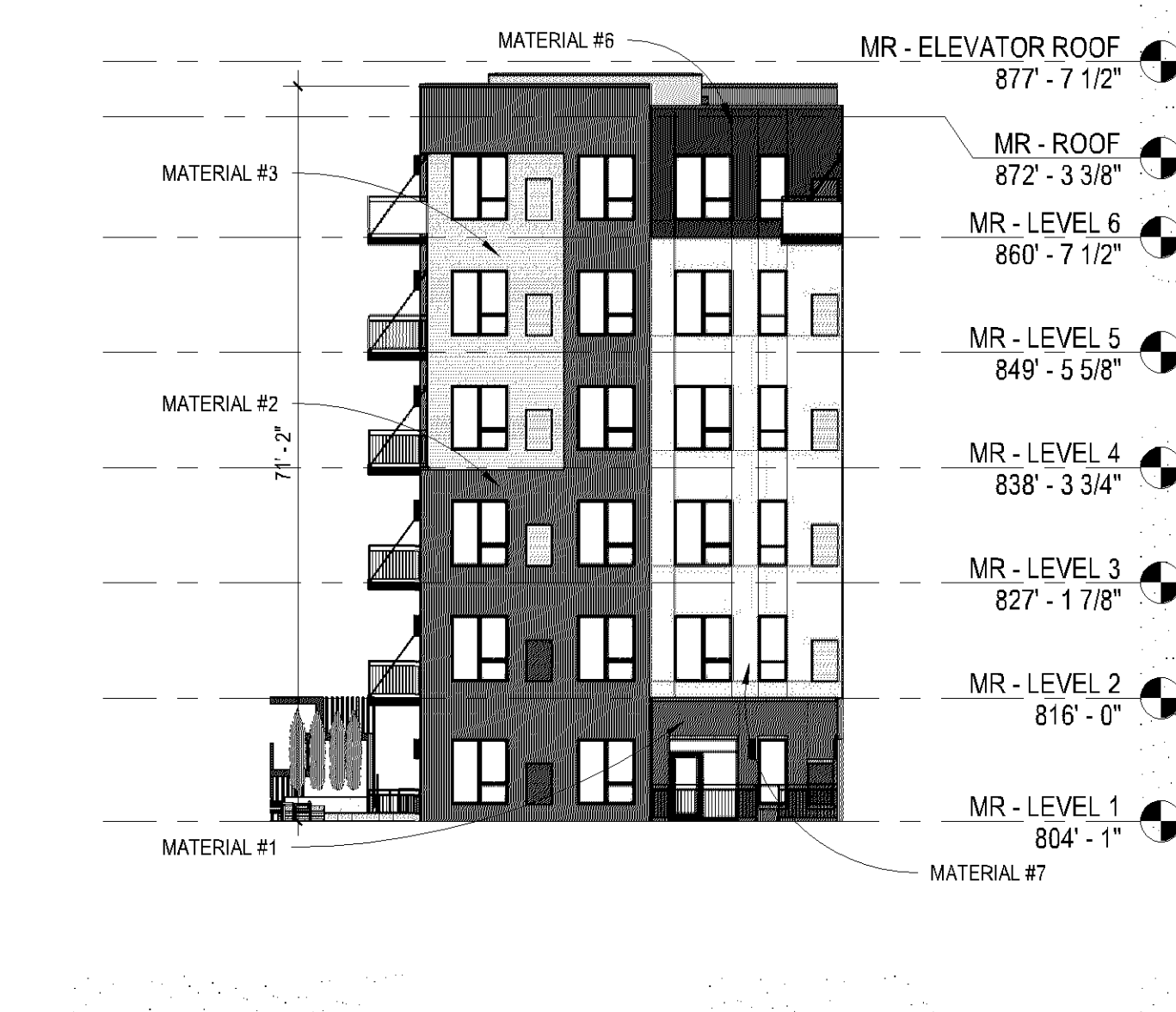
MATERIAL #6:
STUCCO
TYPE: PATTERN/SIZE:
COLOR: URBANE BRONZE

MATERIAL #7:
STUCCO
TYPE: PATTERN/SIZE:
COLOR: REPOSE GRAY

MATERIAL #8:
STUCCO
TYPE: PATTERN/SIZE:
COLOR: DOVETAIL

OVERALL MATERIAL PERCENTAGES:

METAL PANEL:	23%	21519.32 SF
STUCCO:	39%	36129.34 SF
BRICK:	9%	8411.39 SF
GLASS:	29%	26861.31 SF
TOTAL:	100%	92921.36 SF



EXTERIOR FINISH SCHEDULE

MATERIAL #1:	BRICK MASONRY	BRICK
TYPE:		
COLOR:		DARK GRAY
SIZE:		UTILITY
MATERIAL #2:	METAL PANEL	ALUMINUM
TYPE:		
FINISH:		DARK GRAY
COLOR:		CHARCOAL GRAY
MATERIAL #3:	METAL PANEL	ALUMINUM
TYPE:		
FINISH:		SHINY
COLOR:		SILVER/GRAY
MATERIAL #4:	METAL PANEL	MILLENNIUM FORMS CUPPED TILE
TYPE:		
FINISH:		MILL
COLOR:		PEWTER
MATERIAL #5:	METAL PANEL	MILLENNIUM FORMS CUPPED TILE
TYPE:		
FINISH:		MILL
COLOR:		CHARCOAL
MATERIAL #6:	STUCCO	
TYPE:		
PATTERN/SIZE:		URBANE BRONZE
COLOR:		
MATERIAL #7:	STUCCO	
TYPE:		
PATTERN/SIZE:		REPOSE GRAY
COLOR:		
MATERIAL #8:	STUCCO	
TYPE:		
PATTERN/SIZE:		DOVETAIL
COLOR:		

THE ARDOR

1 MARKET RATE EAST ELEVATION

SCALE 1/16" = 1'-0"

MATERIAL PERCENTAGES:	
MATERIAL #1:	13% 2543.76 SF
MATERIAL #2:	2% 552.93 SF
MATERIAL #3:	1% 258.71 SF
MATERIAL #4:	0% 0.00 SF
MATERIAL #5:	0% 0.00 SF
MATERIAL #6:	31% 6572.91 SF
MATERIAL #7:	21% 4201.88 SF
GLAZING:	32% 6775.39 SF
TOTAL:	100% 21055.58 SF

CATEGORY:	
METAL PANEL:	3% 701.64 SF
STUCCO:	52% 10874.79 SF
BRICK:	13% 2642.76 SF
GLASS:	32% 6775.39 SF
TOTAL:	100% 21055.58 SF

2 MARKET RATE WEST ELEVATION

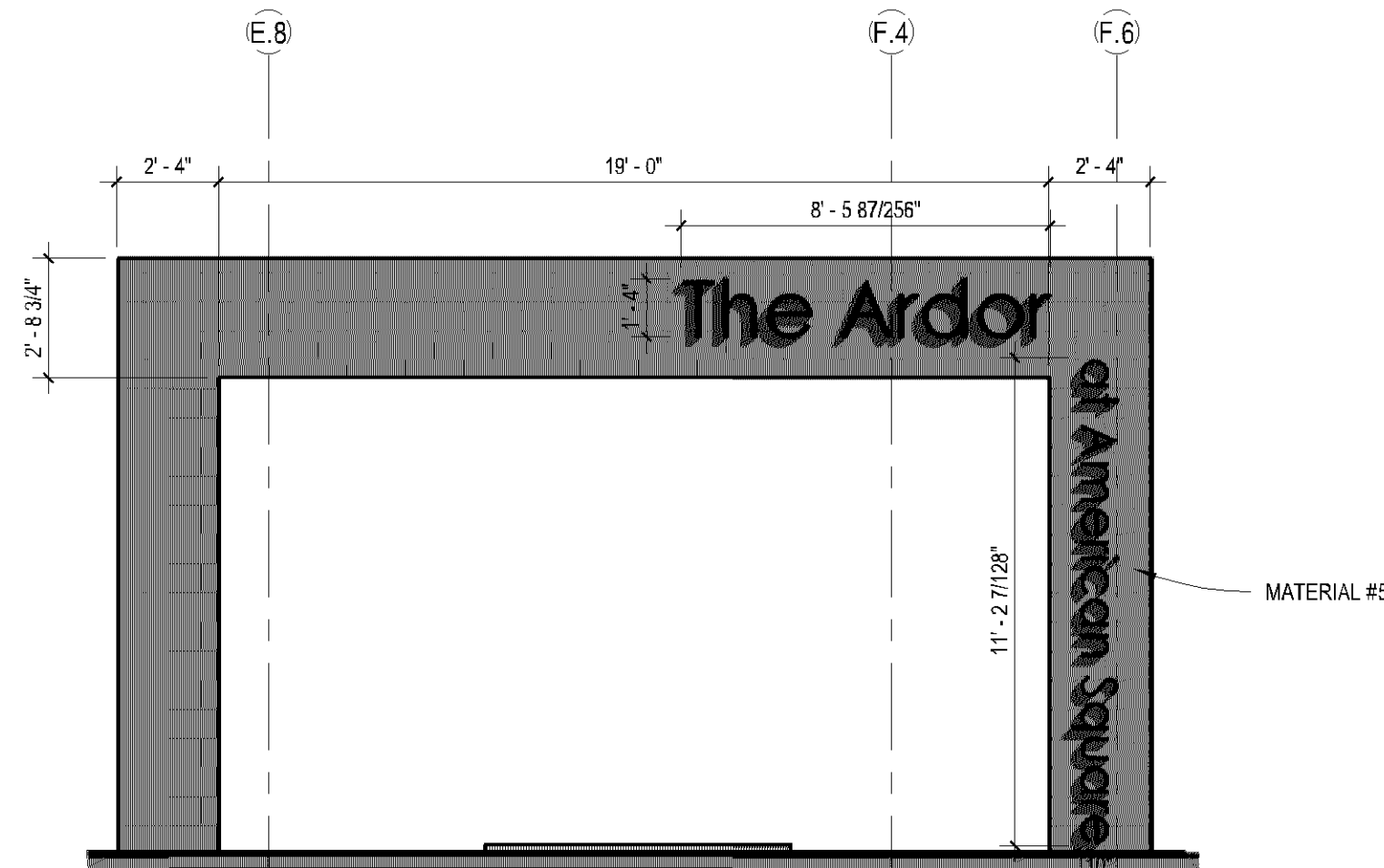
SCALE 1/16" = 1'-0"

MATERIAL PERCENTAGES:	
MATERIAL #1:	5% 960.00 SF
MATERIAL #2:	18% 3809.68 SF
MATERIAL #3:	15% 3175.76 SF
MATERIAL #4:	0% 0.00 SF
MATERIAL #5:	8% 1573.27 SF
MATERIAL #6:	29% 4143.27 SF
MATERIAL #7:	8% 1323.18 SF
GLAZING:	26% 5486.97 SF
TOTAL:	100% 23876.13 SF

CATEGORY:	
METAL PANEL:	33% 6965.44 SF
STUCCO:	34% 7045.72 SF
BRICK:	5% 960.00 SF
GLASS:	28% 5886.97 SF
TOTAL:	100% 20878.13 SF

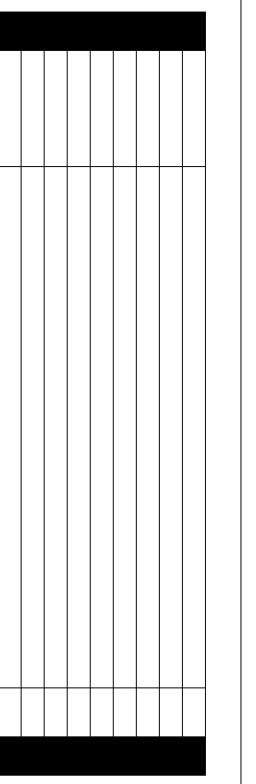
4 THE ARDOR BUILDING SIGN ELEVATION

SCALE 1/4" = 1'-0"



3 MARKET RATE ENTRY SIGNAGE ELEVATION

SCALE 1/4" = 1'-0"



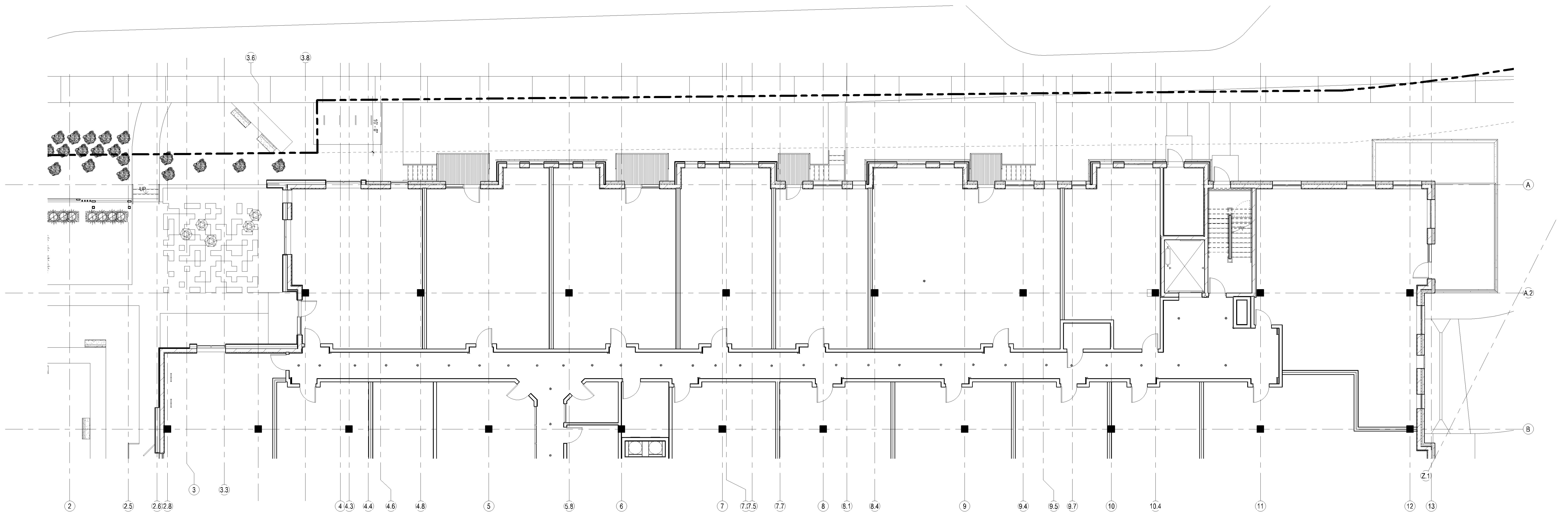
ARCHITECTURAL
SHEETS ISSUED FOR
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Date	04/23/21
Project Architect	NJ
Principal in Charge	JRW
Project Number	18020

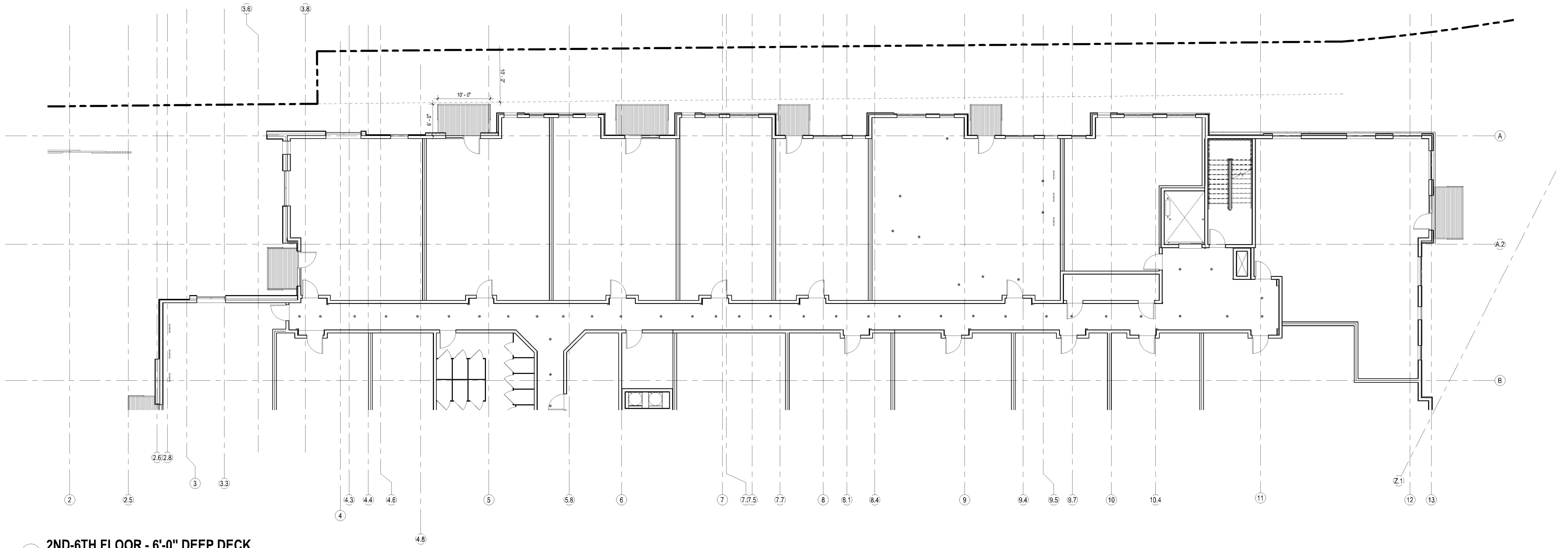
MARKET RATE
AMERICAN
BLVD.
SETBACK

MR-10

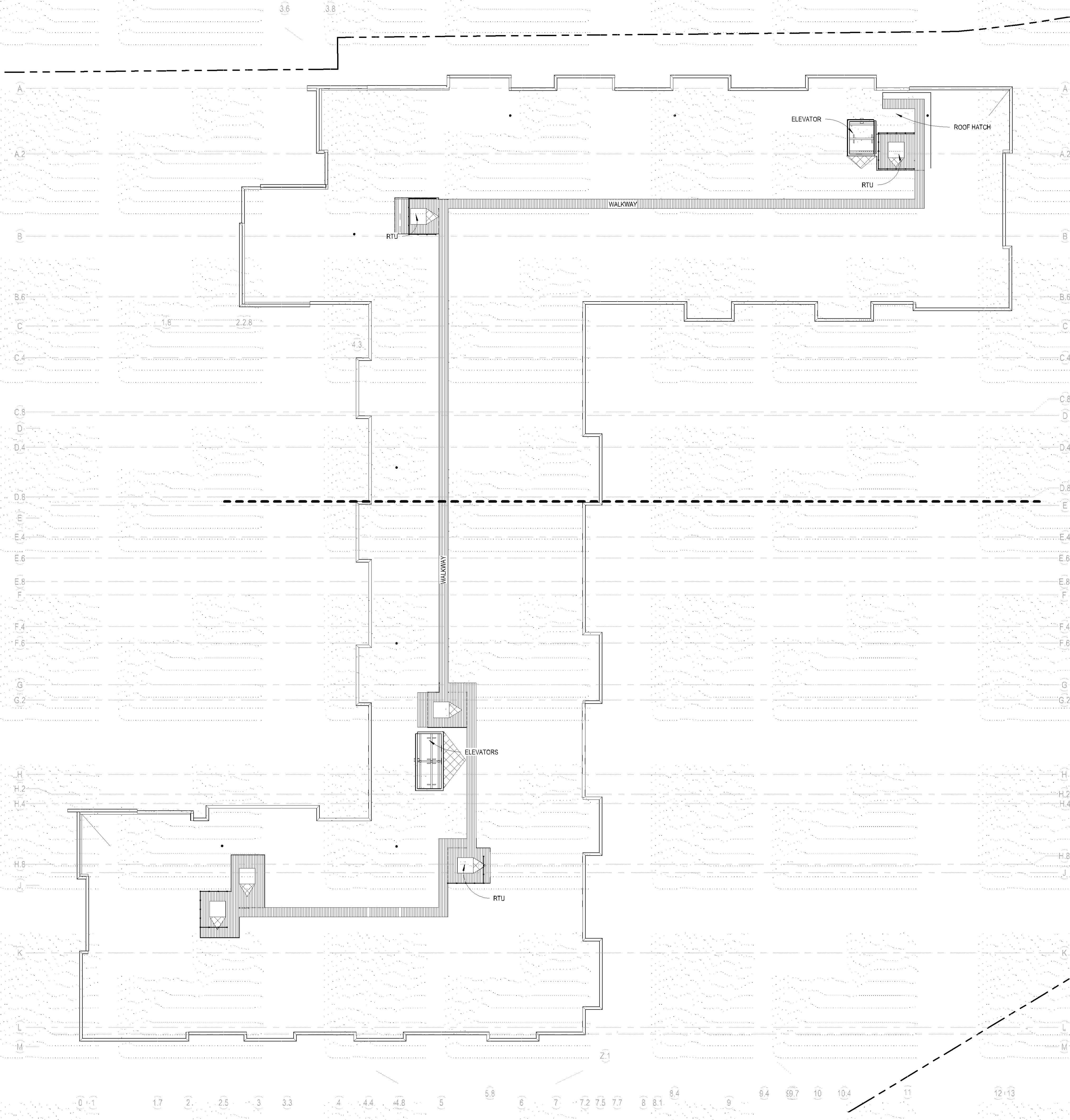
NOT FOR CONSTRUCTION



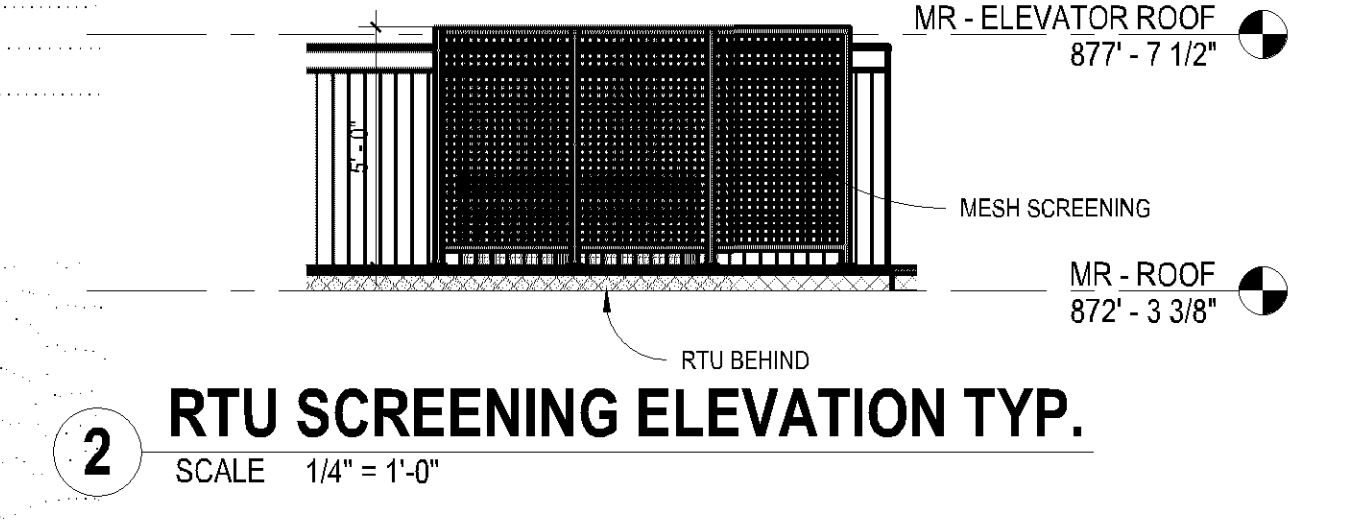
1 1ST FLOOR - 6'-0" DEEP DECK
SCALE 1/8" = 1'-0"



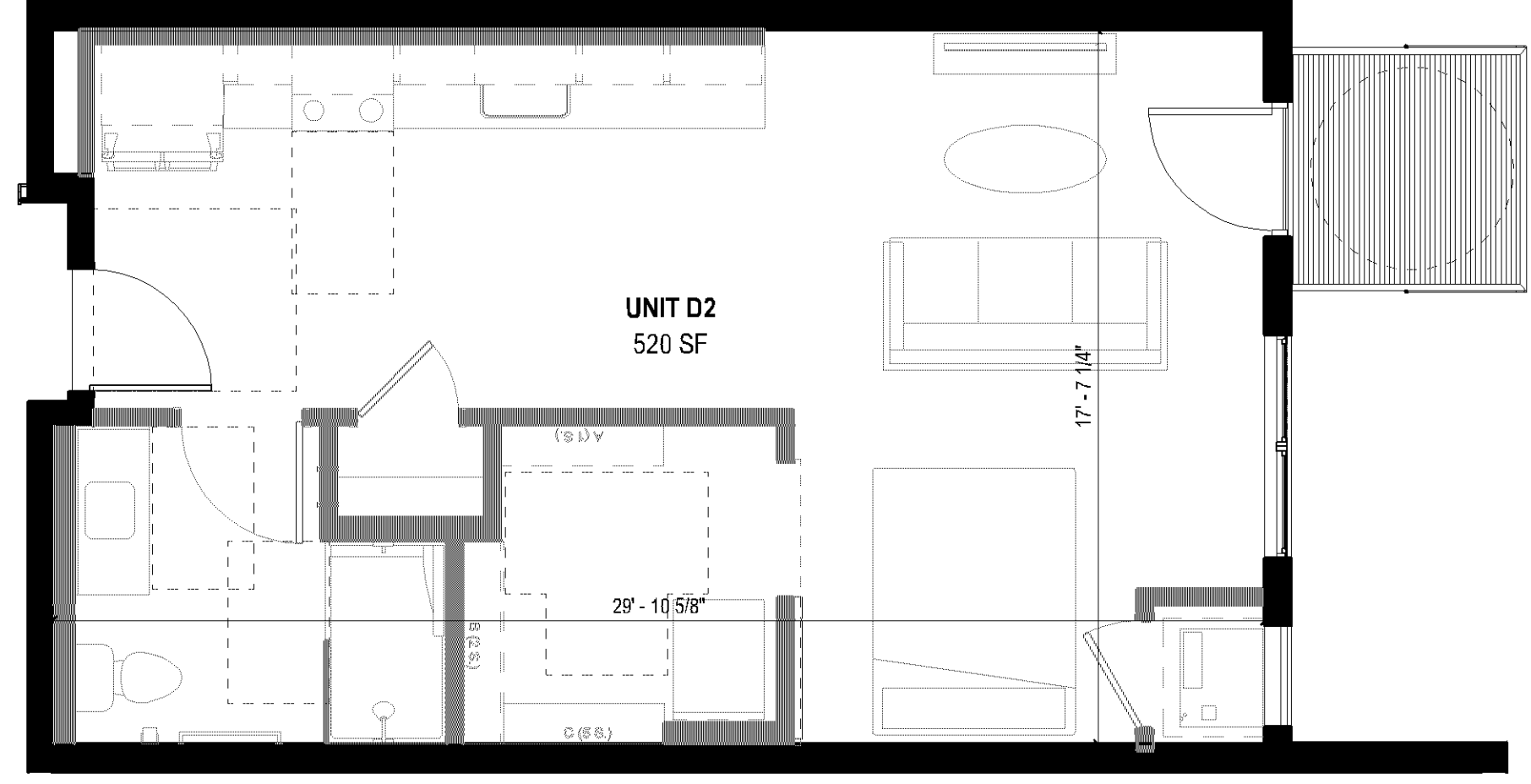
2 2ND-6TH FLOOR - 6'-0" DEEP DECK
SCALE 1/8" = 1'-0"



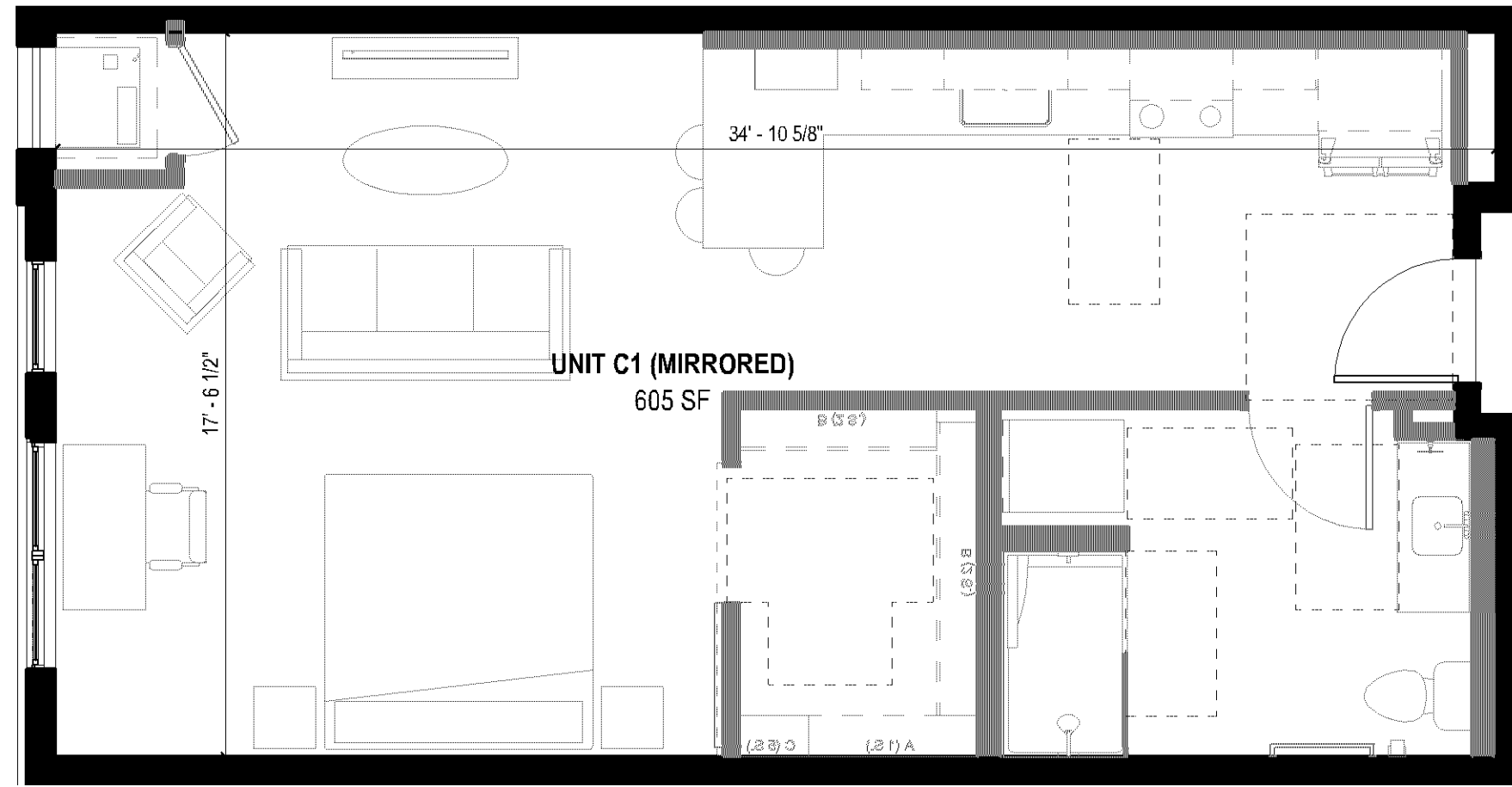
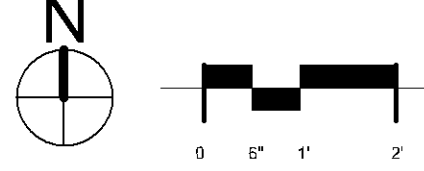
1 MARKET RATE ROOF PLAN
SCALE 1/16" = 1'-0"



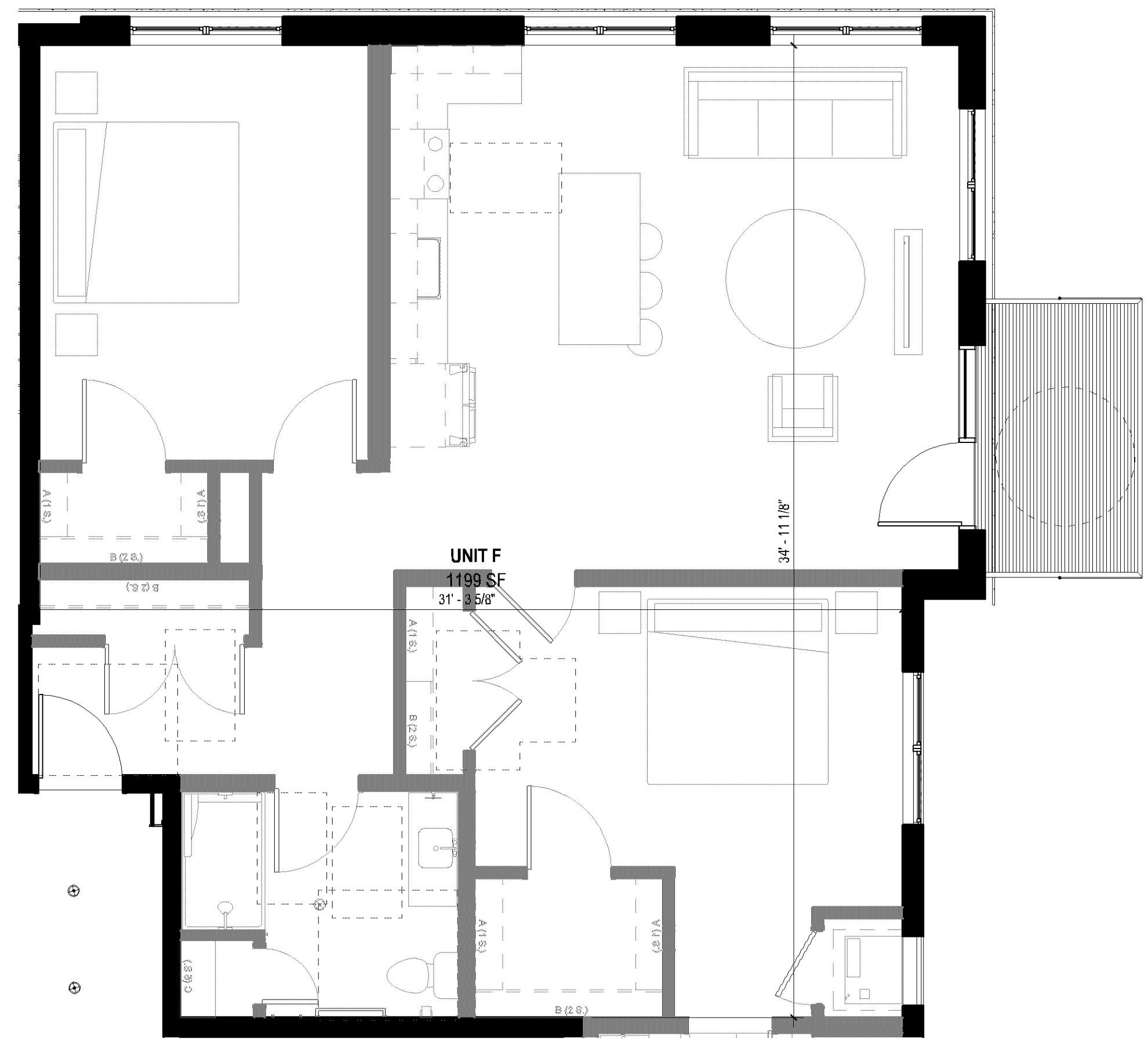
2 RTU SCREENING ELEVATION TYP.
SCALE 1/4" = 1'-0"



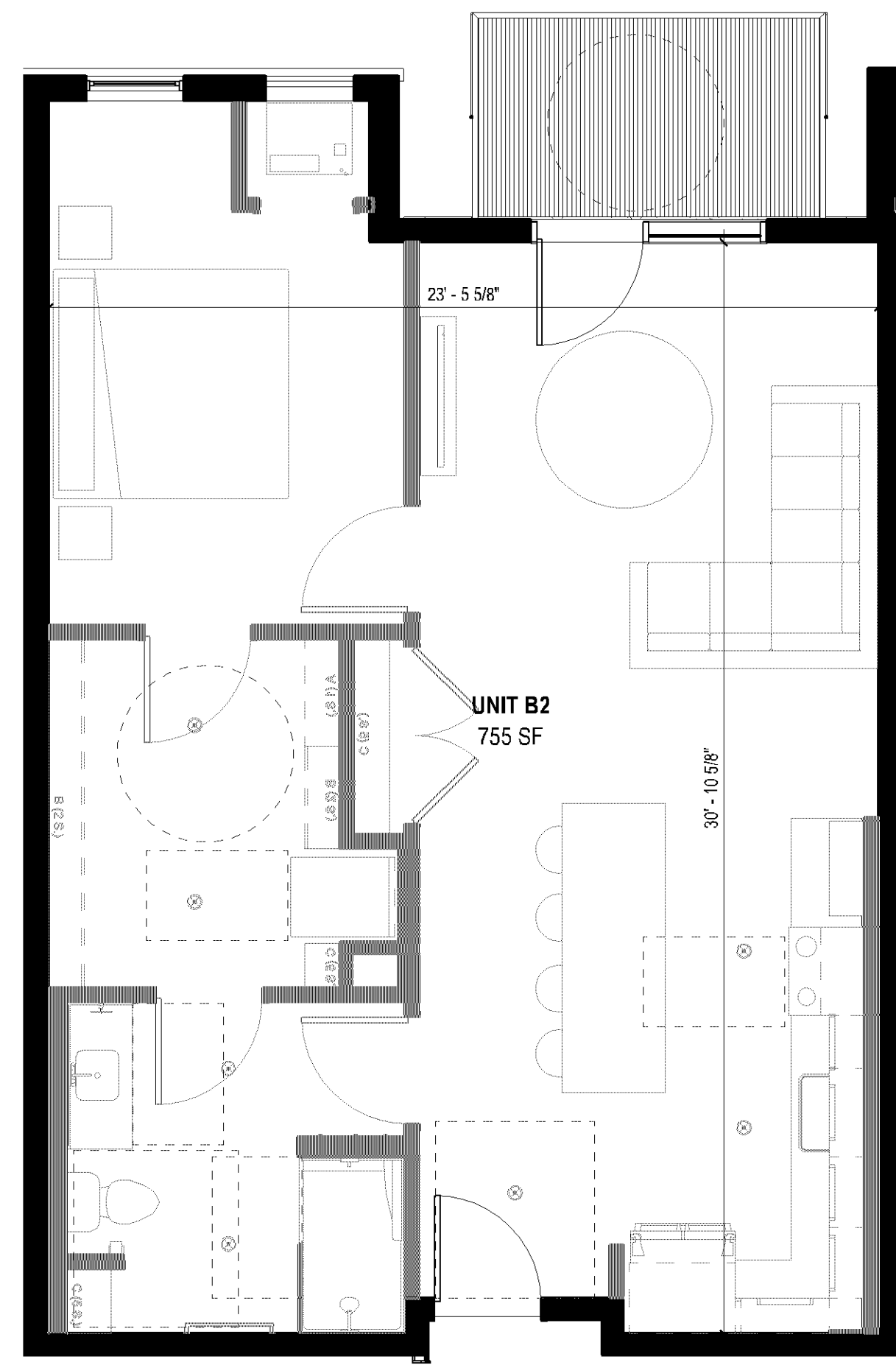
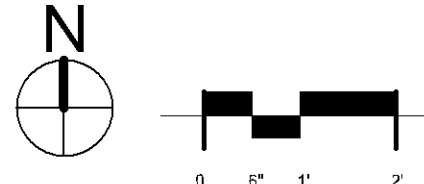
2 TYPICAL STUDIO FLOOR PLAN
SCALE 1/4" = 1'-0"



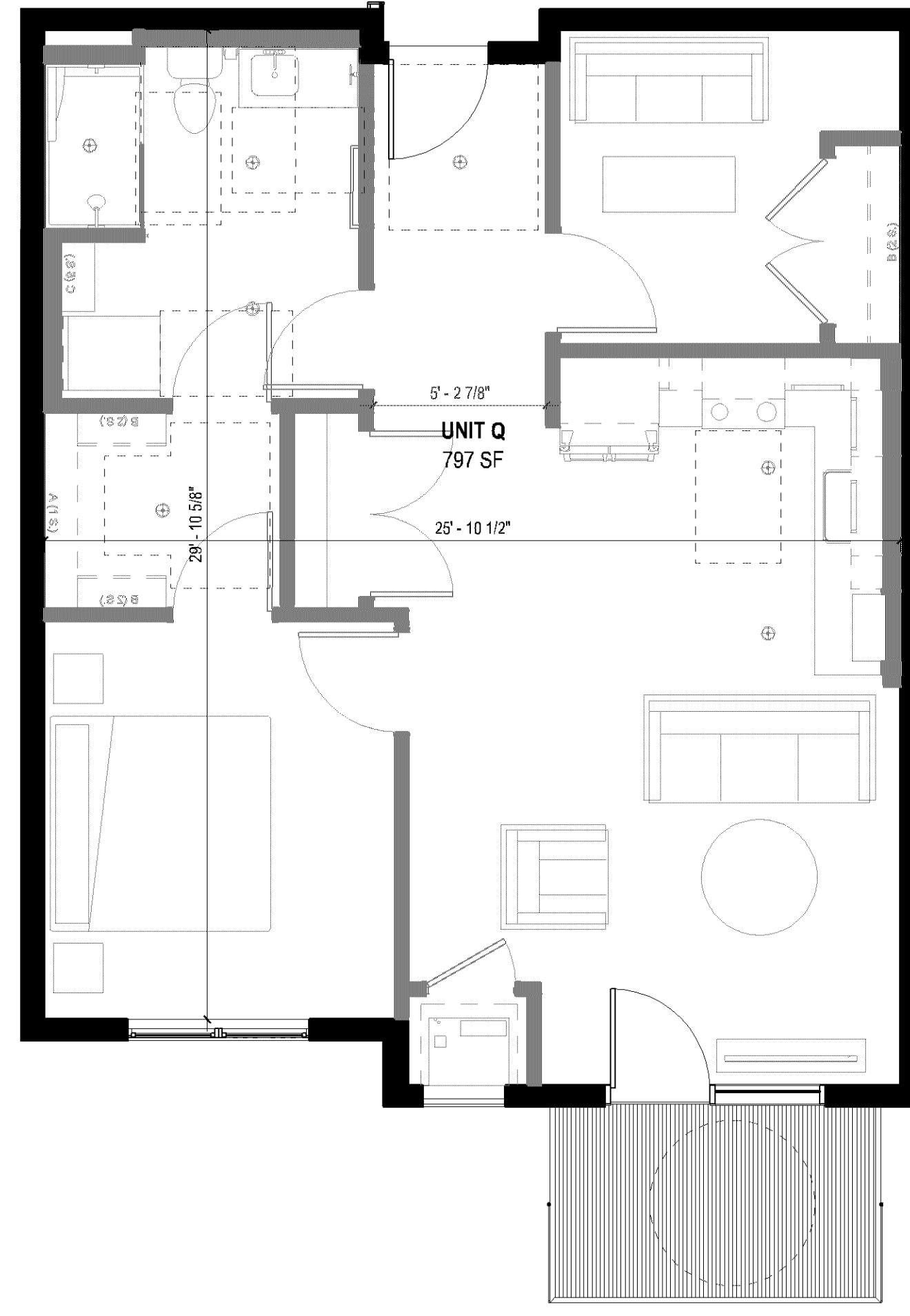
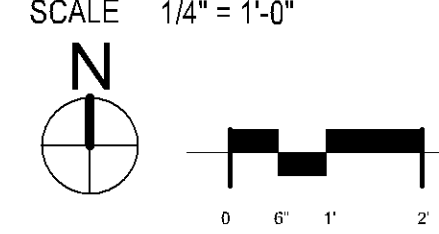
1 TYPICAL ALCOVE FLOOR PLAN
SCALE 1/4" = 1'-0"



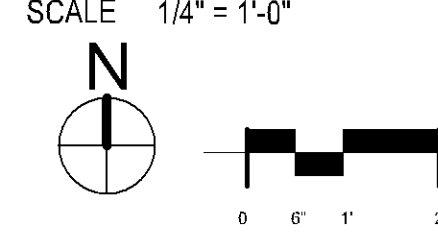
5 TYPICAL 2 BED/1 BATH FLOOR PLAN
SCALE 1/4" = 1'-0"



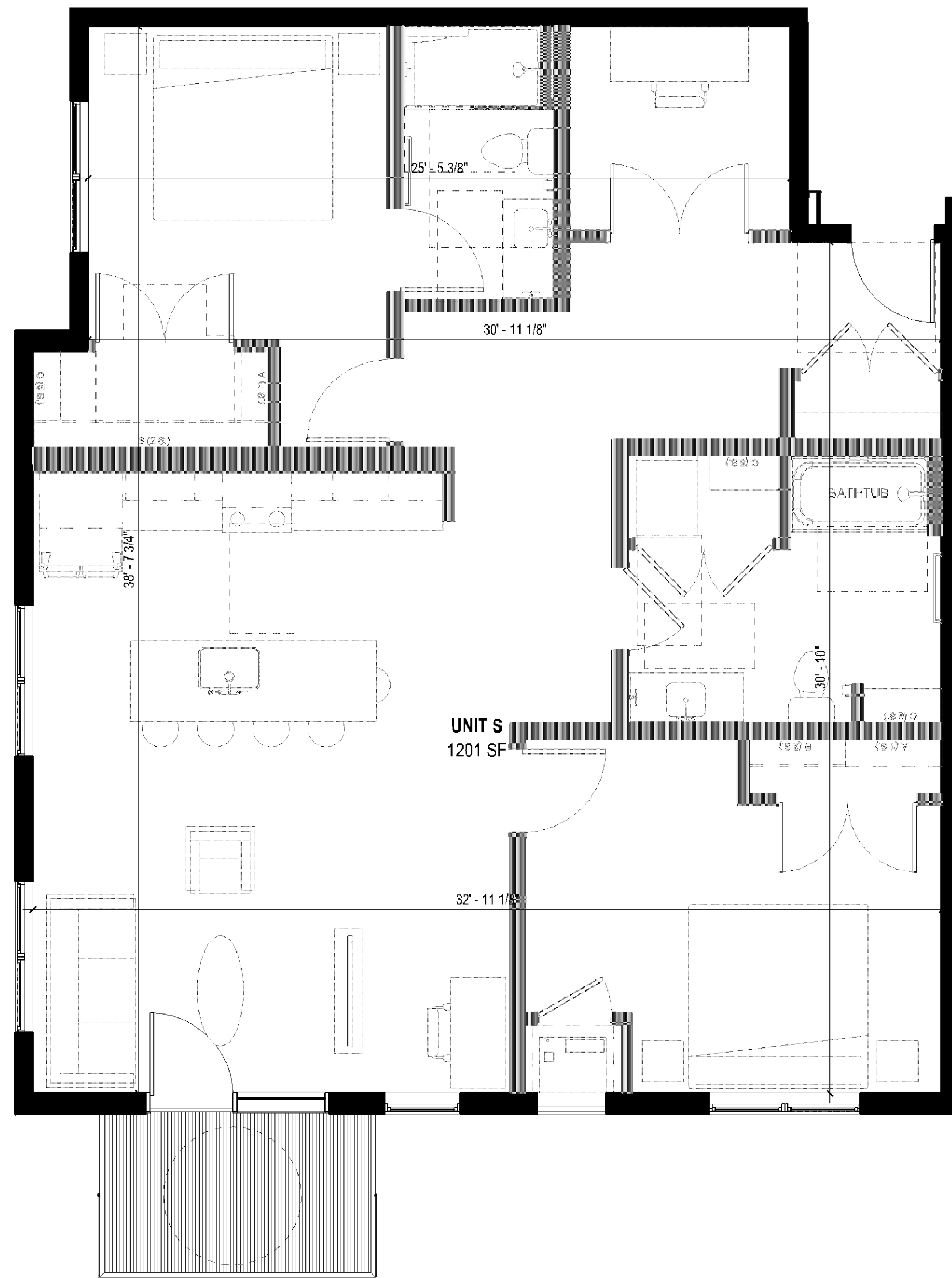
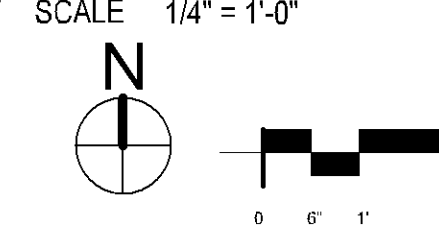
3 TYPICAL 1 BED FLOOR PLAN
SCALE 1/4" = 1'-0"



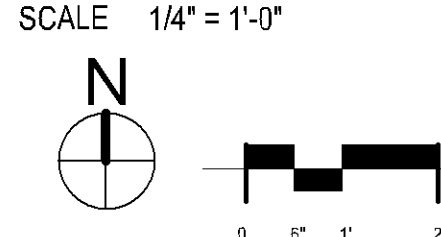
4 TYPICAL 1 BED + DEN FLOOR PLAN
SCALE 1/4" = 1'-0"



6 TYPICAL 2 BED/2 BATH FLOOR PLAN
SCALE 1/4" = 1'-0"



7 TYPICAL 2 BED + DEN FLOOR PLAN
SCALE 1/4" = 1'-0"



8 TYPICAL 3 BED FLOOR PLAN
SCALE 1/4" = 1'-0"

