

CLOW BERG  
8900 Burn Road East, Suite 200 Hopkins, Minnesota 55343 612-345-2655

consultants

---

interior architect

 **YELLOW DOG**  
STUDIO

**YELLOW DOG STUDIO**  
2744 Lyndale Ave S | Minneapolis 55408

**HEATHER ROSE DUNNING**  
hwd@yellowdogstudio.info  
(612) 251-1216

Property Area	8.303 Acres
(Excluding ROW)	361,678 SF

Floor Area Ratio 0.38

Site Information	
Impervious Area	See Civil Documents
Paving and Sidewalk	

Landscaped Area                      See Civil Documents

28th Street South	
Property Frontage	392'-0"
Building Frontage	200'-0"
Percentage of building at prescribed setback	51%
Percentage of Frontage	51 %

American Blvd East	
Property Frontage	677'-11"
Building Frontage	600'- 0"
Percentage of building at prescribed setback	0%
Percentage of Frontage	88%

revisions		
no.	date	description

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota

Signed:

Name:

License No.:

phase	DRC SUBMITTAL
date	03.03.2022
PIC	ME
drawn by	Author
project number	20-00
project name	

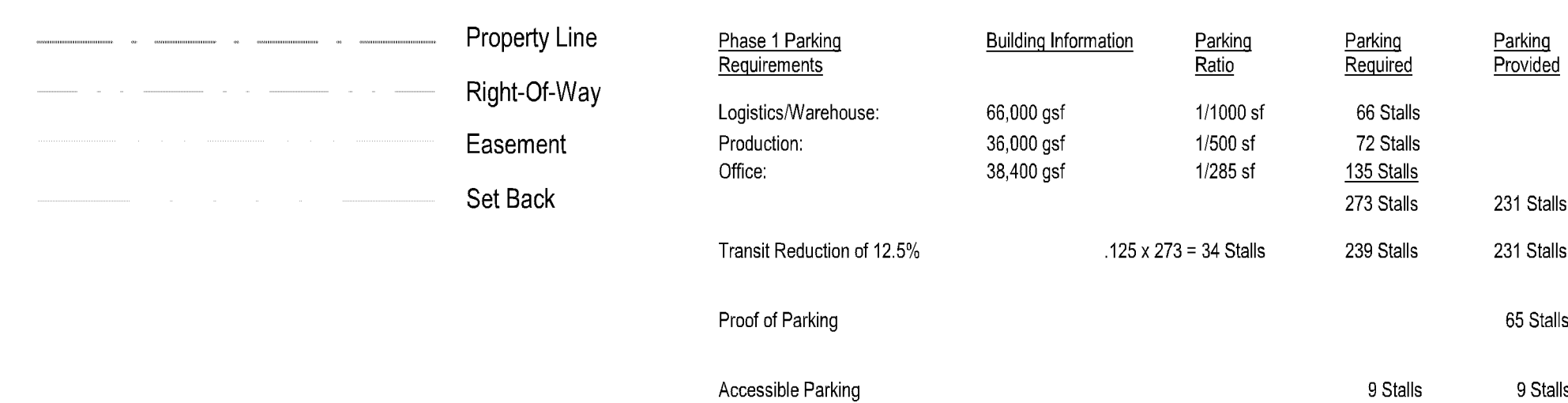
SICK - CAMPUS USA  
PHASE 1

Sheet Title

Site Plan - Phase 1

sheet number

P1-011



	Occupancy Type	Building Area	Occupants	Parking Required
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf = 132 occ	1 per 1,000 sf = 66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf = 360 occ	1 per 500 sf = 72 stalls
Office	Business, B	38,400 sf	1 per 150 sf = 256 occ	1 per 285 sf = 135 stalls
<b>Total</b>		<b>140,400 sf</b>	<b>748 occ</b>	<b>273 stalls</b>
<b>Total Reduction</b>	<b>10%</b>		<b>-</b>	<b>27 stalls</b> <b>246 stalls</b>

Parking Data		
Proposed Stalls, Provided Proof of Parking	Surface Lot	219 stalls 65 stalls
Total		284 stalls

## PHASE 1

PHASE 2  
Lot 1 & 2

Property Area  
(Excluding ROW) 9.84 Acres  
428,466.97 SF

Building Total  
Gross Area 278,000 SF

Floor Area  
Ratio 0.64

Site Information  
Impervious Area See Civil Documents  
Paving and Sidewalk

Landscaped Area See Civil Documents

PHASE 2  
Building Frontage

28th Street South  
Property Frontage 648'-11"  
Building Frontage 400'-0"  
Percentage of building  
at prescribed setback 31%(200')

Lindau Lane  
Property Frontage 440'-4"  
Building Frontage 214'-0"  
Percentage of building  
at prescribed setback 0 %  
Percentage of Frontage 48 %

American Blvd East  
Property Frontage 677'-11"  
Building Frontage 600'- 0"  
Percentage of building  
at prescribed setback 0%  
Percentage of Frontage 88%

PHASE 2  
Lot 3

Property Area 1.79 Acres  
(excluding RO 78,203.18 SF

Parking Structure  
Area 239,607 sf

Floor Area  
Ratio 0.0

Site Information  
Impervious Area x SF  
Paving and Sidewalk

Landscape  
A x SF

I hereby certify that this plan, specification, or  
report was prepared by me or under my direct  
supervision and that I am a duly Licensed  
Architect under the laws of the state of  
Minnesota

Signed:

Name:

License No.:

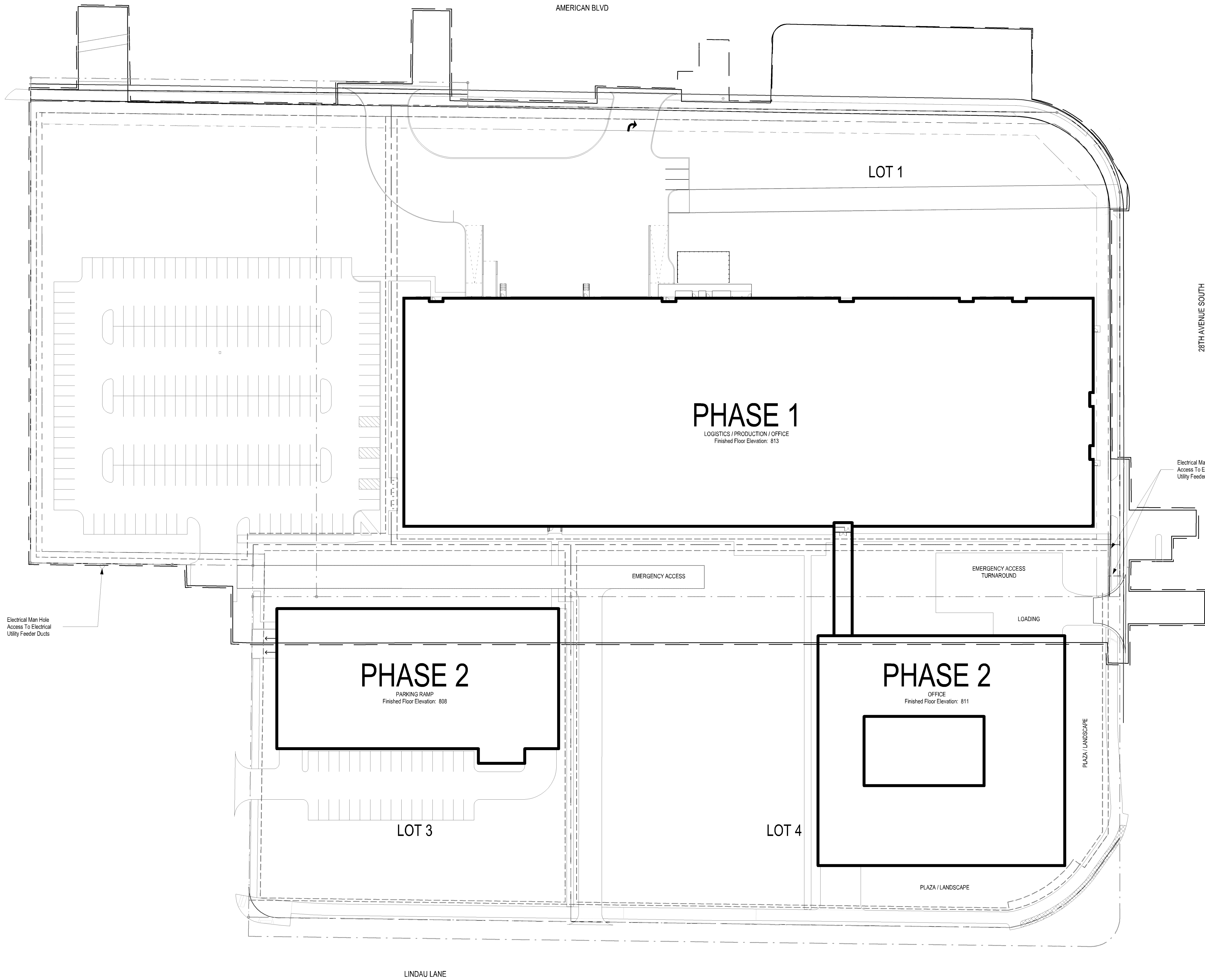
phase DRC SUBMITTAL  
date 03.03.2021  
PIC MEB  
drawn by Author  
project number 20-002  
project name

SICK - CAMPUS USA  
PHASE 1

Sheet Title  
Site Plan - Phase 2

Sheet Number

P1-012



Property Line	PHASE 2 Parking Requirements	Building Information	Parking Ratio	Parking Required	Parking Provided
Right-Of-Way	Logistics/Warehouse:	66,000 gsf	1/1000 sf	66 Stalls	
Easement	Production:	36,000 gsf	1/500 sf	72 Stalls	
Set Back	Office:	38,400 gsf	1/285 sf	135 Stalls	
	Office Phase 2:	144,000 gsf	1/285 sf	505 Stalls	
				778 Stalls	770 Stalls
	Transit Reduction of 10% Surface Parking Ramp Parking		77 Stalls	771 Stalls	770 Stalls 240 Stalls 550 Stalls
	Proof of Parking				66 Stalls
	Accessible Parking			15 Stalls	15 Stalls

Phase 1, 2, Building & Parking Data

	Occupancy Type	Building Area	Occupants		Parking Required	
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf =	132 occ	1 per 1,000 sf =	66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf =	360 occ	1 per 500 sf =	72 stalls
Office	Business, B	38,400 sf	1 per 150 sf =	256 occ	1 per 285 sf =	135 stalls
Office	Business, B	1,44,000 sf	1 per 150 sf =	960 occ	1 per 285 sf =	505 stalls
Total		2,84,400 sf		1,708 occ		778 stalls
Total w/ Transit Reduction	10%			-	77 stalls	701 stalls

Parking Data		
Proposed Stalls, Provided	Surface Lot Parking Ramp	219 stalls 560 stalls
Total		779 stalls

PHASE 2

PL202100044  
PL2021-44

PHASE 3  
Lot 1 & 4

Property Area  
(Excluding ROW) 9.84 Acres  
428,466.97 SF

Building Total  
Gross Area 321,000 SF

Floor Area  
Ratio 0.75

Site Information  
Impervious Area  
Paving and Sidewalk See Civil Documents

Landscaped Area See Civil Documents

Phase 3  
Building Frontage

28th Street South  
Property Frontage 648'-11"  
Building Frontage 400'-0"  
Percentage of building  
at prescribed setback 31%(200')

Lindau Lane  
Property Frontage 440'-4"  
Building Frontage 214'-0"  
Percentage of building  
at prescribed setback 0 %  
Percentage of Frontage 48 %

American Blvd East  
Property Frontage 677'-11"  
Building Frontage 600'- 0"  
Percentage of building  
at prescribed setback 0%  
Percentage of Frontage 88%

PHASE 3  
Lot 3

Property Area 1.79 Acres  
(excluding RO 78,203.18 SF

Parking Structure  
Area 239,607 sf

Floor Area  
Ratio 0.0

Site Information  
Impervious Area x SF  
Paving and Sidewalk

Landscape  
A x SF

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota

Signed:

Name:

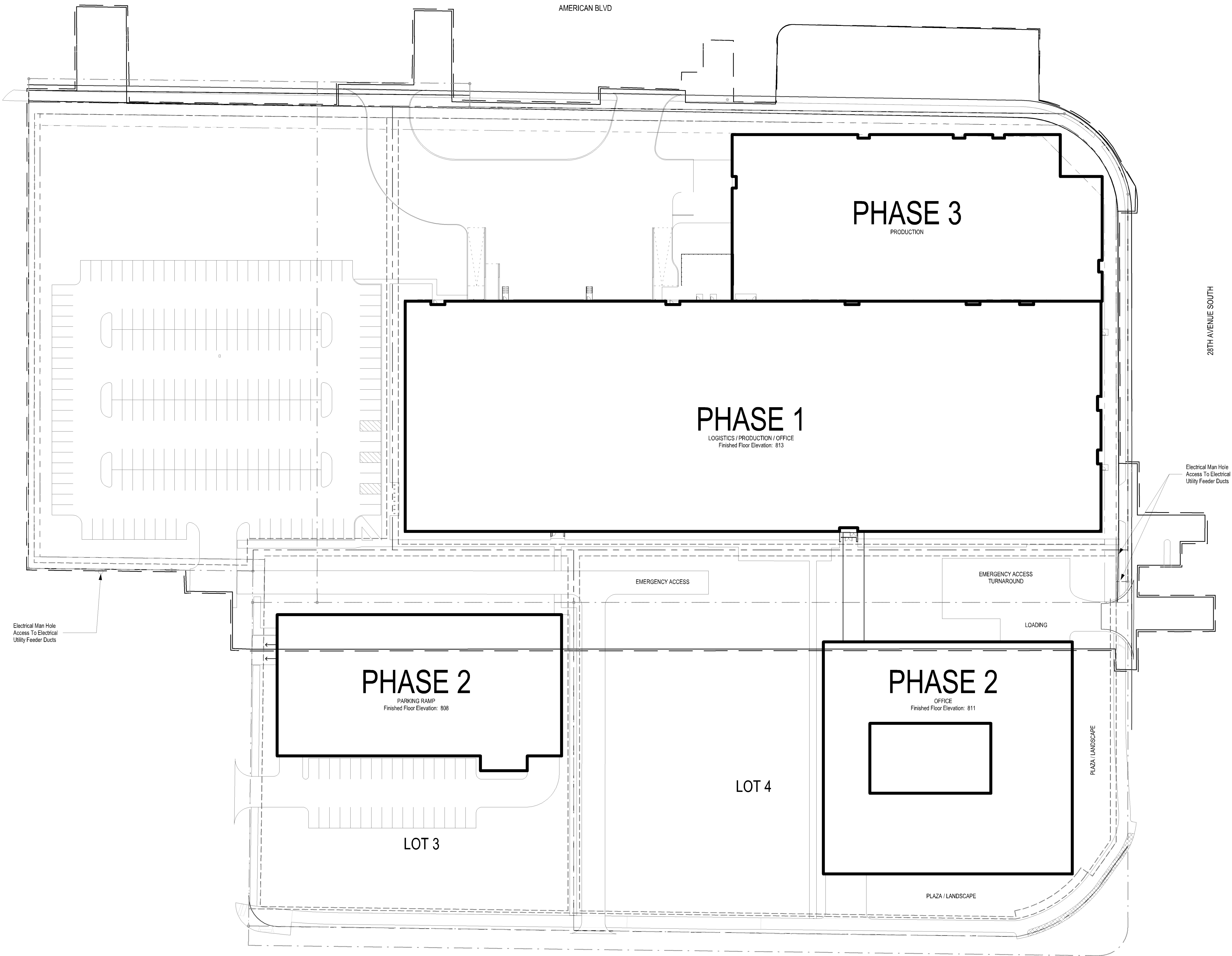
License No.:

phase DRC SUBMITTAL  
date 03.03.2021  
PIC MEB  
drawn by Author  
project number 20-002  
project name

SICK - CAMPUS USA  
PHASE 1

Sheet Title  
Site Plan - Phase 3

Sheet Number  
P1-013



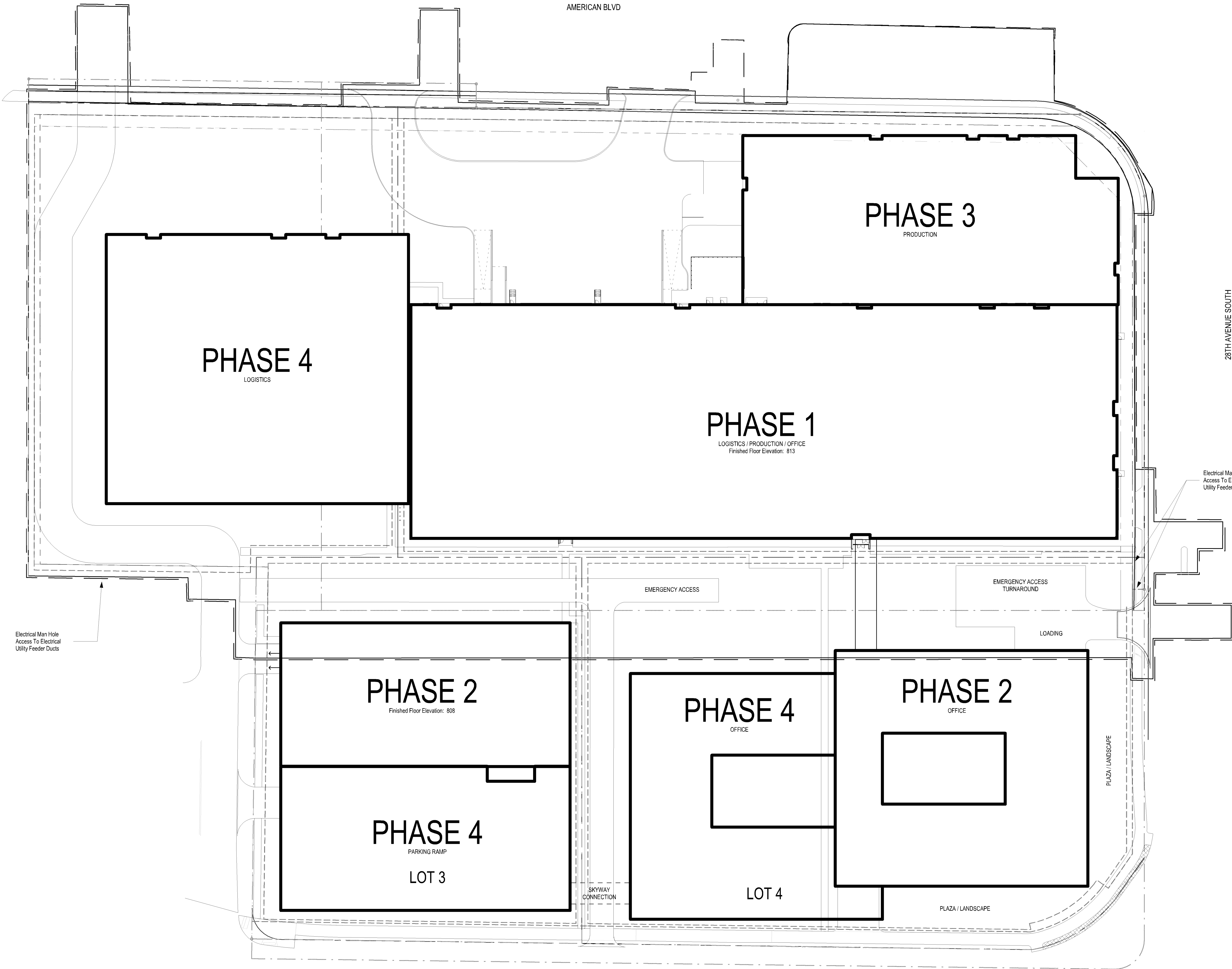
Phase 1, 2, 3, Building & Parking Data

	Occupancy Type	Building Area	Occupants	Parking Required
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf = 132 occ	1 per 1,000 sf = 66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf = 360 occ	1 per 500 sf = 72 stalls
Office	Business, B	38,400 sf	1 per 150 sf = 256 occ	1 per 285 sf = 135 stalls
Office	Business, B	1,44,000 sf	1 per 150 sf = 960 occ	1 per 285 sf = 505 stalls
Production	Factory, F1	43,000 sf	1 per 100 sf = 430 occ	1 per 500 sf = 86 stalls
Total		3,27,400 sf	2,138 occ	864 stalls
Total w/ Transit Reduction	10%		-	86 stalls 778 stalls

Parking Data		
Proposed Stalls, Provided	Surface Lot Parking Ramp	219 stalls 560 stalls
Total		779 stalls

PHASE 3

Property Line	Phase 2 Parking Requirements	Building Information	Parking Ratio	Parking Required	Parking Provided
Right-Of-Way	Logistics/Warehouse:	66,000 gsf	1/1000 sf	66 Stalls	
Easement	Production:	36,000 gsf	1/500 sf	72 Stalls	
Set Back	Office:	38,400 gsf	1/285 sf	135 Stalls	
	Office Phase 2:	144,000 gsf	1/285 sf	505 Stalls	770 Stalls
	Transit Reduction of 10% Surface Parking Ramp Parking			77 Stalls	770 Stalls 240 Stalls 550 Stalls
	Proof of Parking				66 Stalls
	Accessible Parking			15 Stalls	15 Stalls



PHASE 4  
Lot 1, 2 & 4

Property Area  
(Excluding ROW) 12.21 Acres  
531,861.63 SF

Building Total  
Gross Area 489,000 SF

Floor Area  
Ratio 0.92

Site Information  
Impervious Area  
Paving and Sidewalk See Civil Documents

Landscaped Area See Civil Documents

Phase 4  
Building Frontage

28th Street South  
Property Frontage 648'-11"  
Building Frontage 400'-0"  
Percentage of building  
at prescribed setback 31%(200')

Lindau Lane  
Property Frontage 440'-4"  
Building Frontage 214'-0"  
Percentage of building  
at prescribed setback 0 %  
Percentage of Frontage 48 %

American Blvd East  
Property Frontage 677'-11"  
Building Frontage 600'- 0"  
Percentage of building  
at prescribed setback 0%  
Percentage of Frontage 88%

PHASE 4  
Lot 3

Property Area 1.79 Acres  
(excluding RO 78,203.18 SF

Parking Structure  
Area 479,214 sf

Floor Area  
Ratio 0.0

Site Information  
Impervious Area x SF  
Paving and Sidewalk

Landscape  
A x SF

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of Minnesota

Signed:

Name:

License No.:

phase DRC SUBMITTAL  
date 03.03.2021  
PIC MEB  
drawn by Author  
project number 20-002  
project name

SICK - CAMPUS USA  
PHASE 1

Sheet Title  
Site Plan - Phase 4

Sheet Number

P1-014

Phase 1, 2, 3, 4, Building & Parking Data

	Occupancy Type	Building Area	Occupants		Parking Required	
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf =	132 occ	1 per 1,000 sf =	66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf =	360 occ	1 per 500 sf =	72 stalls
Office	Business, B	38,400 sf	1 per 150 sf =	256 occ	1 per 285 sf =	135 stalls
Office	Business, B	1,44,000 sf	1 per 150 sf =	960 occ	1 per 285 sf =	505 stalls
Production	Factory, F1	43,000 sf	1 per 100 sf =	430 occ	1 per 500 sf =	86 stalls
Logistics / Warehouse	Storage, S2	60,000 sf	1 per 500 sf =	120 occ	1 per 1,000 sf =	60 stalls
Office	Business, B	1,08,000 sf	1 per 150 sf =	720 occ	1 per 285 sf =	379 stalls
Total		4,95,400 sf		2,978 occ		1,303 stalls
Total w/ Transit Reduction	10%			-	130 stalls	1173 stalls

Parking Data		
Proposed Stalls, Provided	Surface Lot	15 stalls
Proof of Parking	Parking Ramp	1160 stalls
Total		1175 stalls

	Phase 2 Parking Requirements	Building Information	Parking Ratio	Parking Required	Parking Provided
Transit Reduction of 10% Surface Parking Ramp Parking	Logistics/Warehouse:	66,000 gsf	1/1000 sf	66 Stalls	
	Production:	36,000 gsf	1/500 sf	72 Stalls	
	Office:	38,400 gsf	1/285 sf	135 Stalls	
	Office Phase 2:	144,000 gsf	1/285 sf	505 Stalls	770 Stalls
Proof of Parking				77 Stalls	770 Stalls
					240 Stalls
Accessible Parking					550 Stalls
					66 Stalls
				15 Stalls	15 Stalls

PHASE 4