PL202100044 PL2021-44

8.303 Acres

361,678 SF

See Civil Documents





PHASE 1 Lot 1 and 2

Property Area (Excluding ROW)

Building Total 140,400 SF Gross Area

Floor Area Ratio 0.38

Site Information Impervious Area See Civil Documents Paving and Sidewalk

<u>Phase 1</u> Building Frontage

Landscaped Area

28th Street South Property Frontage Building Frontage

American Blvd East Property Frontage Building Frontage

392'-0" Percentage of building at prescribed setback Percentage of Frontage

Percentage of building at prescribed setback Percentage of Frontage

I hereby certify that this plan, specgification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the state of

Signed:

License No.:

project name

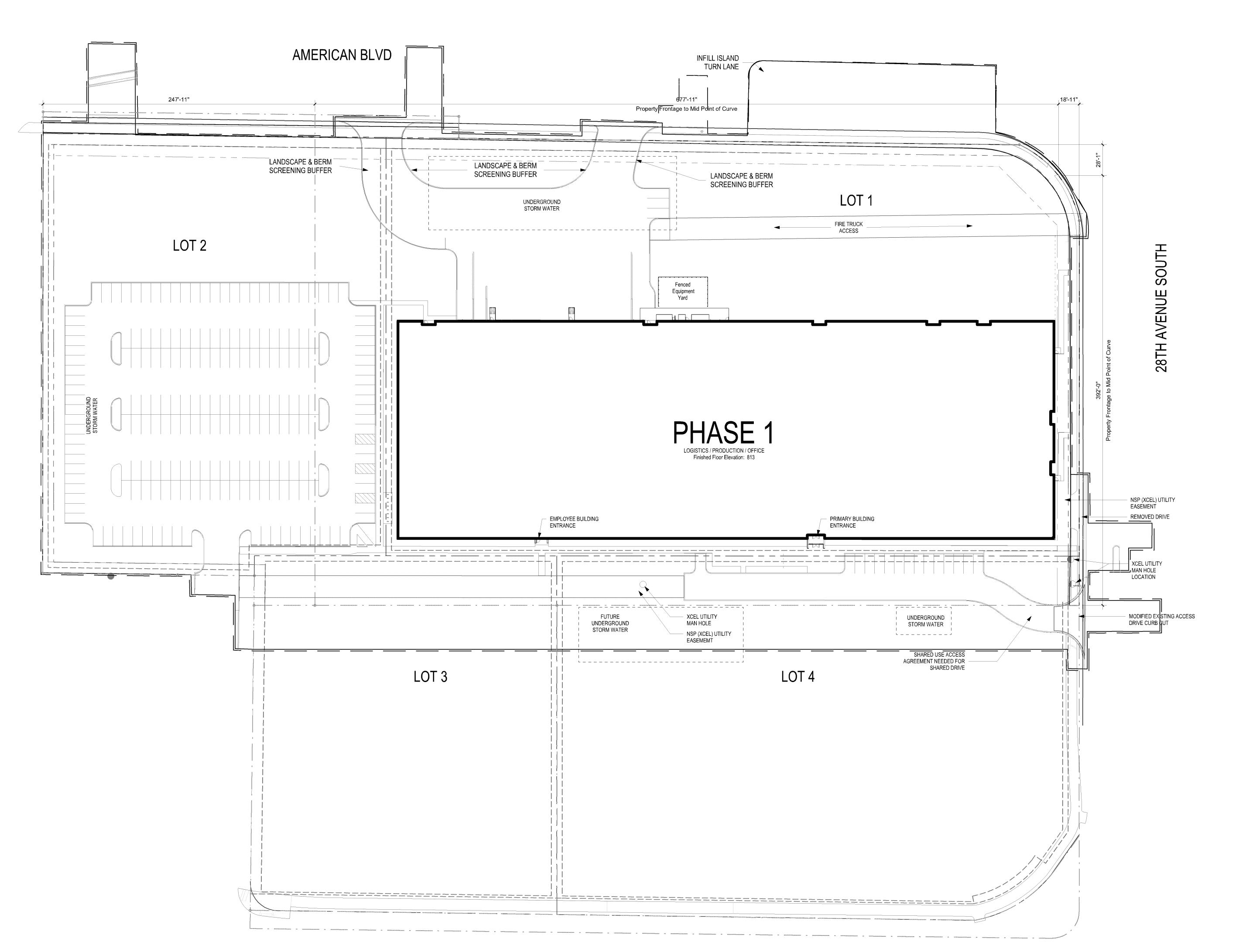
DRC SUBMITTAL 20-002

SICK - CAMPUS USA PHASE 1

Phase 1, Building & Parking Data

	Occupancy Type	Building Area		Occupants	Parking	Required
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf =	132 occ	1 per 1,000 sf =	66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf =	360 occ	1 per 500 sf =	72 stalls
Office	Business, B	38,400 sf	1 per 150 sf =	256 occ	1 per 285 sf =	135 stalls
Total		1,40,400 sf		748 occ		273 stalls
Total Reduction	10%			_	27 stalls	246 stalls

Parking Data Proposed Stalls, Provided 219 stalls 65 stalls Surface Lot Proof of Parking Total 284 stalls



LINDAU LANE

Property Line	Phase 1 Parking Requirements	Building Information	Parking Ratio	<u>Parking</u> <u>Required</u>	Parking Provided
 Right-Of-Way	Logistics/Warehouse:	66,000 gsf	1/1000 sf	66 Stalls	
Easement	Production: Office:	36,000 gsf 38,400 gsf	1/500 sf 1/285 sf	72 Stalls <u>135 Stalls</u>	
Set Back		55,100 gc.		273 Stalls	231 Stalls
	Transit Reduction of 12.5%	.125 x 273	3 = 34 Stalls	239 Stalls	231 Stalls
	Proof of Parking				65 Stalls
	Accessible Parking			9 Stalls	9 Stalls

PHASE 1

P1-011

Site Plan - Phase 1

278,000 SF







9.84 Acres 428,466.97 SF Property Area (Excluding ROW)

Building Total Gross Area

Floor Area 0.64

Site Information Impervious Area See Civil Documents Paving and Sidewalk

Landscaped Area See Civil Documents

PHASE 2 Building Frontage

28th Street South
Property Frontage
Building Frontage
Percentage of building at prescribed setback 31%(200')

Lindau Lane Property Frontage Building Frontage Percentage of building at prescribed setback Percentage of Frontage

American Blvd East Property Frontage
Building Frontage 677'-11" 600'- 0"

1.79 Acres 78,203.18 SF

Parking Structure

Floor Area

Impervious Area x SF Paving and Sidewalk

214'-0"

Percentage of building at prescribed setback Percentage of Frontage

PHASE 2 Lot 3

(excluding RO

239,607 sf

Site Information

Landscape

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DRC SUBMITTAL 03.03.2021 20-002 project name

SICK - CAMPUS USA PHASE 1

LINDAU LANE

PARKING RAMP Finished Floor Elevation: 808

LOT 3

Building Information 1/285 sf 770 Stalls Transit Reduction of 10% Surface Parking 240 Stalls Ramp Parking 550 Stalls 66 Stalls Proof of Parking

Accessible Parking

AMERICAN BLVD

LOT 1

PHASE 2

OFFICE Finished Floor Elevation: 811

PLAZA / LANDSCAPE

PHASE 2

EMERGENCY ACCESS TURNAROUND

LOADING

PHASE 1

LOGISTICS / PRODUCTION / OFFICE Finished Floor Elevation: 813

EMERGENCY ACCESS

Phase 1, 2, Building & Parking Data

Electrical Man Hole

Access To Electrical Utility Feeder Ducts

	Occupancy Type	Building Area		Occupants	Parking	Required
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf =	132 occ	1 per 1,000 sf =	66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf =	360 occ	1 per 500 sf =	72 stalls
Office	Business, B	38,400 sf	1 per 150 sf =	256 occ	1 per 285 sf =	135 stalls
Office	Business, B	1,44,000 sf	1 per 150 sf =	960 occ	1 per 285 sf =	505 stalls
Total		2,84,400 sf		1,708 occ		778 stalls
Total w/ Transit Reduction	10%			-	77 stalls	701 stalls

Parking Data		
Proposed Stalls, Provided	Surface Lot	219 stalls
•	Parking Ramp	560 stalls
Total		779 stalls

Site Plan - Phase 2

P1-012

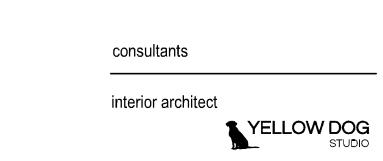
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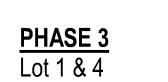
Electrical Man Hole

Access To Electrical

Utility Feeder Ducts

CLOW BERG





Property Area (Excluding ROW) 9.84 Acres 428,466.97 SF

Building Total Gross Area

Ratio

Floor Area

Site Information Impervious Area
Paving and Sidewalk

See Civil Documents

321,000 SF

0.75

See Civil Documents Landscaped Area

<u>Phase 3</u> Building Frontage

28th Street South 648'-11" 400'-0"

Property Frontage
Building Frontage
Percentage of building
at prescribed setback 31%(200')

Lindau Lane Property Frontage 440'-4" Building Frontage
Percentage of building
at prescribed setback
Percentage of Frontage 214'-0"

American Blvd East Property Frontage
Building Frontage
Percentage of building
at prescribed setback
Percentage of Frontage 677'-11" 600'- 0"

1.79 Acres 78,203.18 SF Property Area (excluding RO

Parking Structure 239,607 sf Area

Floor Area Ratio 0.0

Site Information Impervious Area x SF Paving and Sidewalk

Landscape

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DRC SUBMITTAL 03.03.2021

20-002

SICK - CAMPUS USA PHASE 1

project name

Phase 1, 2, 3, Building & Parking Data

Electrical Man Hole Access To Electrical Utility Feeder Ducts

	Occupancy Type	Building Area		Occupants	Parking	Required
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf =	132 occ	1 per 1,000 sf =	66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf =	360 occ	1 per 500 sf =	72 stalls
Office	Business, B	38,400 sf	1 per 150 sf =	256 occ	1 per 285 sf =	135 stalls
Office	Business, B	1,44,000 sf	1 per 150 sf =	960 occ	1 per 285 sf =	505 stalls
Production	Factory, F1	43,000 sf	1 per 100 sf =	430 occ	1 per 500 sf =	86 stalls
Total		3,27,400 sf		2,138 occ		864 stalls
Total w/Transit Reduction	10%			-	86 stalls	778 stalls

Total		779 stalls
	Parking Ramp	560 stalls
Proposed Stalls, Provided	Surface Lot	219 stalls
Parking Data		

LINDAU LANE

PARKING RAMP Finished Floor Elevation: 808

LOT 3

Property Line	Phase 2 Parking Requirements	Building Information	<u>Parking</u> <u>Ratio</u>	<u>Parking</u> <u>Required</u>	<u>Parking</u> <u>Provided</u>
 Right-Of-Way	Logistics/Warehouse:	66,000 gsf	1/1000 sf	66 Stalls	
Easement	Production: Office:	36,000 gsf 38,400 gsf	1/500 sf 1/285 sf	72 Stalls 135 Stalls	
Set Back	Office Phase 2:	144,000 gsf	1/285 sf	505 Stalls 778 Stalls	770 Stalls
	Transit Reduction of 10% Surface Parking Ramp Parking		77 Stalls	771 Stalls	770 Stalls 240 Stalls 550 Stalls
	Proof of Parking				66 Stalls
	A 31 D 11			45.00 !!	45.00 !!

AMERICAN BLVD

EMERGENCY ACCESS

LOT 4

PHASE 3

EMERGENCY ACCESS
TURNAROUND

PHASE 2

OFFICE
Finished Floor Elevation: 811

PLAZA / LANDSCAPE

LOADING

PHASE 3

THE PROPERTY OF THE PROPERTY O

Electrical Man Hole Access To Electrical Utility Feeder Ducts

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SICK - CAMPUS USA

20-002

supervision and that I am a duly Licensed Architect under the laws of the state of

Signed:

Name:

License No.:

project name

PHASE 1

Site Plan - Phase

YELLOW DOG STUDIO

interior architect

12.21 Acres 531,861.63 SF

Building Total Gross Area 489,000 SF

Floor Area 0.92

Site Information See Civil Documents

Landscaped Area

Phase 4
Building Frontage

28th Street South
Property Frontage
Building Frontage
Percentage of building
at prescribed setback 31%(200')

Lindau Lane

American Blvd East 677'-11" 600'- 0"

PHASE 4 Lot 3

Parking Structure

Floor Area 0.0

Site Information Impervious Area x SF Paving and Sidewalk

Landscape

PHASE 4 Lot 1, 2 & 4

Property Area (Excluding ROW)

Impervious Area
Paving and Sidewalk

See Civil Documents

Property Frontage
Building Frontage
Percentage of building
at prescribed setback 214'-0" Percentage of Frontage

Property Frontage
Building Frontage
Percentage of building
at prescribed setback
Percentage of Frontage

Property Area (excluding RO 1.79 Acres 78,203.18 SF

479,214 sf

Phase 1, 2, 3, 4, Building & Parking Data

Electrical Man Hole
Access To Electrical
Utility Feeder Ducts

	Occupancy Type	Building Area		Occupants	Parking	Required
Logistics / Warehouse	Storage, S2	66,000 sf	1 per 500 sf =	132 occ	1 per 1,000 sf =	66 stalls
Production	Factory, F1	36,000 sf	1 per 100 sf =	360 occ	1 per 500 sf =	72 stalls
Office	Business, B	38,400 sf	1 per 150 sf =	256 occ	1 per 285 sf =	135 stalls
Office	Business, B	1,44,000 sf	1 per 150 sf =	960 occ	1 per 285 sf =	505 stalls
Production	Factory, F1	43,000 sf	1 per 100 sf =	430 occ	1 per 500 sf =	86 stalls
Logistics / Warehouse	Storage, S2	60,000 sf	1 per 500 sf =	120 occ	1 per 1,000 sf =	60 stalls
Office	Business, B	1,08,000 sf	1 per 150 sf =	720 occ	1 per 285 sf =	379 stalls
Total		4,95,400 sf		2,978 occ		1,303 stalls
Total w/ Transit Reduction	10%			_	130 stalls	1173 stalls

Surface Lot	15 stalls
Parking Ramp	1160 stalls
	1175 stalls

Electrical Man Hole Access To Electrical Utility Feeder Ducts

PHASE 4

Phase 2 Parking Requirements Office Phase 2: Transit Reduction of 10% Surface Parking Ramp Parking 550 Stalls Proof of Parking

Accessible Parking

SKYWAY CONNECTION

PHASE 2
Finished Floor Elevation: 808

PHASE 4

LOT 3

LINDAU LANE

AMERICAN BLVD

PHASE 4

EMERGENCY ACCESS TURNAROUND

PHASE 2

PLAZA / LANDSCAPE

LOADING

PRODUCTION PRODUCTION

PHASE 1

PHASE 4

LOT 4

15 Stalls

EMERGENCY ACCESS