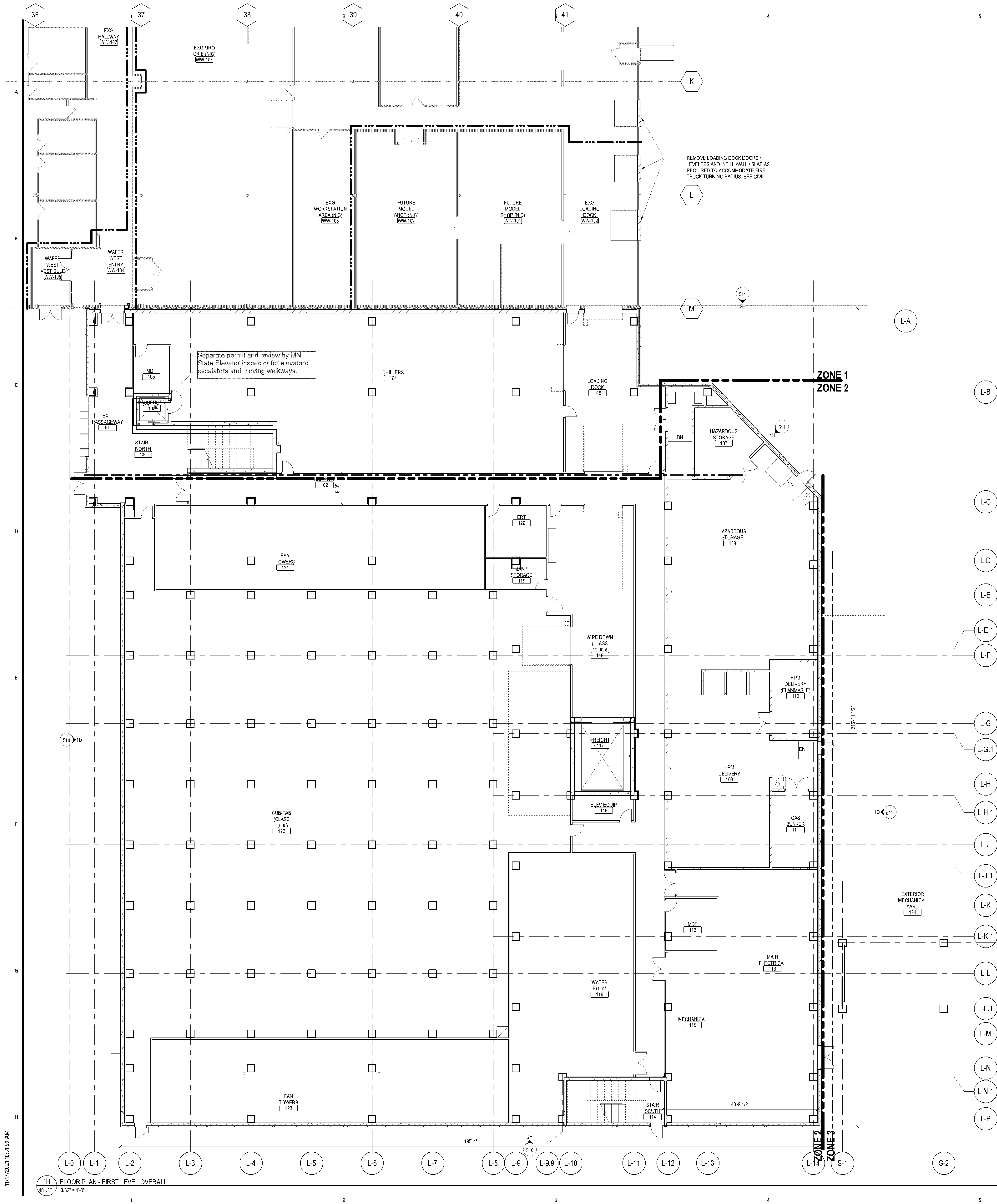




Building plans must be signed by a MN licensed architect.

When plans are 80 percent complete please contact Building and Inspections to set up a Building Code review.

Must meet 2020 MN State Building Code

SAC review by MET council will be required.

Provide a detailed code analysis with the plans.

Must comply with all H Occupancy requirements for any hazardous storage areas.

SEAGATE TECHNOLOGY - NORMANDALE WAFER SOUTH ADDITION

BWB R

380 St. Peter Street, Ste. 600
Saint Paul, MN 55102
651.222.3701
bwb.com

Consultants

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Header only on this plan set. If an error was noticed by the user, please contact the user or the licensed architect under the laws of the State of Minnesota.

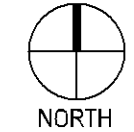
Name _____
Date _____ Lic./Reg. No. _____

Issued For _____
Item _____ Date _____
SD ISSUE 11/01/2021
BP-01 CD ISSUE 12/08/2021

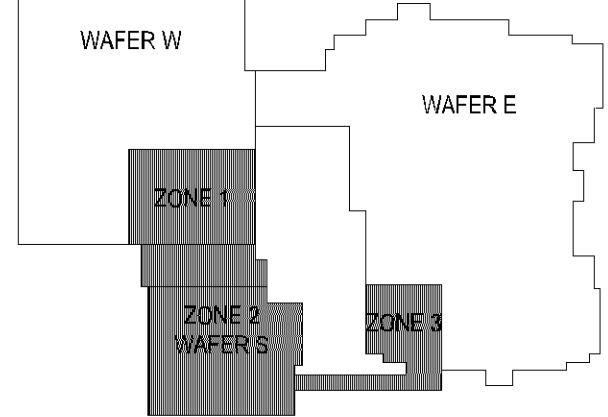
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Keyplan



NORTH



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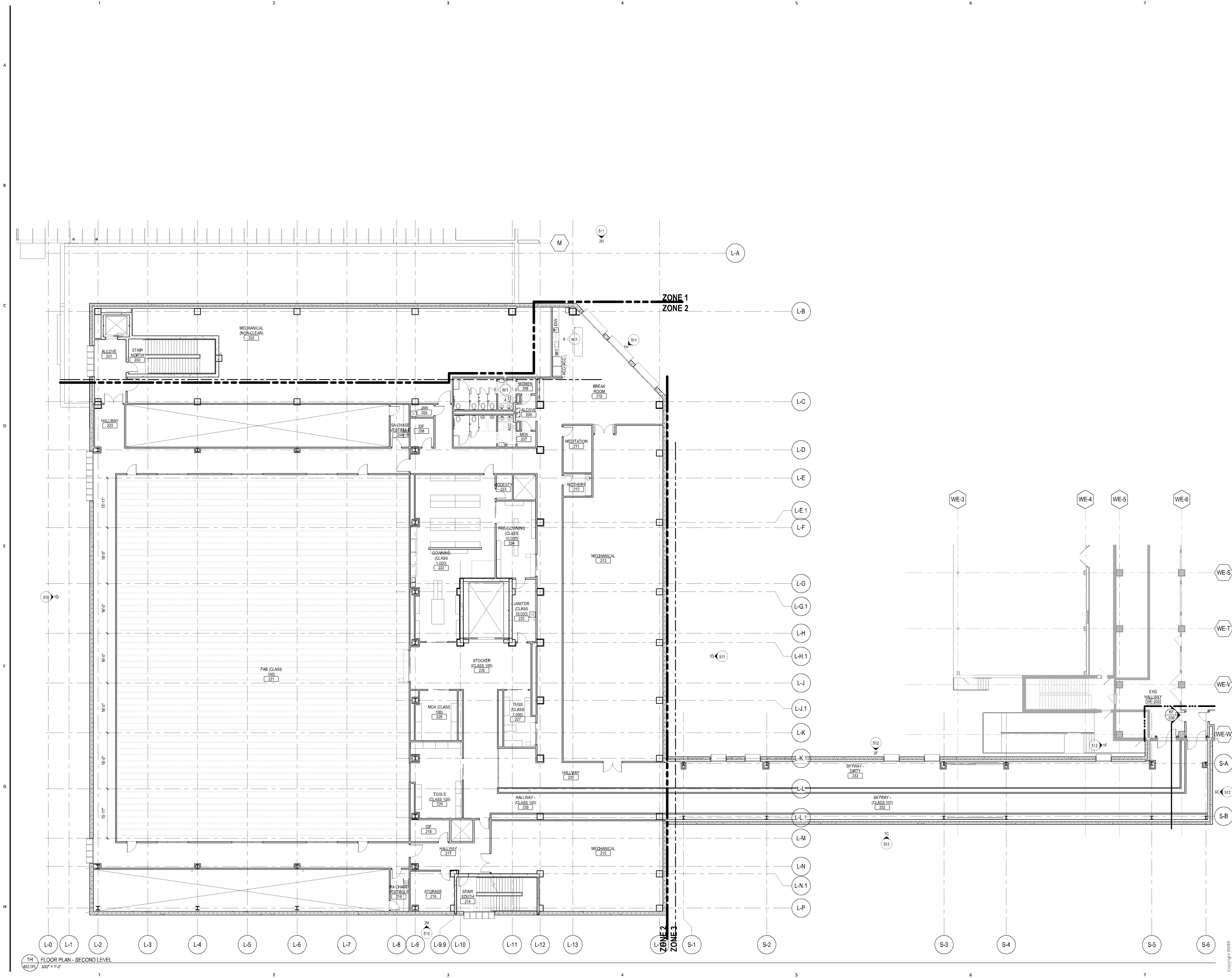
Sheet Title
FIRST LEVEL - OVERALL FLOOR PLAN

Sheet No.

401.0FL

11/07/2021 10:51:55 AM

1H FLOOR PLAN - FIRST LEVEL OVERALL
401.0FL 3/32" = 1'-0"



SEAGATE
TECHNOLOGY -
NORMANDALE
WAFER SOUTH
ADDITION

B | W | B | R

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I hereby certify that this plan, specification or report was prepared by me or under the direct supervision of me and I am a duly Licensed Architect under the laws of the State of Minnesota.

Name _____

Date _____ Lic./Reg. No. _____

Issued For _____

Item _____ Date _____

SD ISSUE 11/01/2021

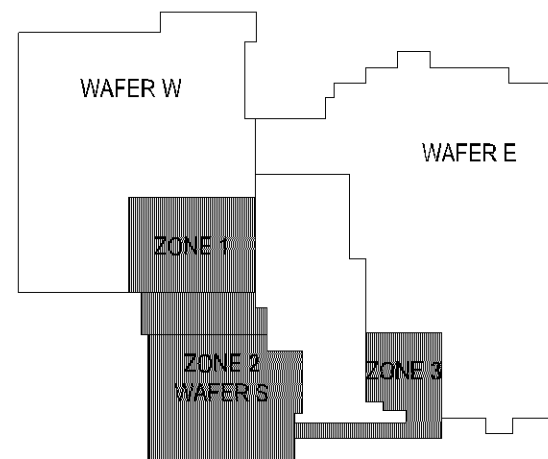
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Keyplan

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Sheet Title

SECOND LEVEL -
OVERALL FLOOR PLAN

Sheet No.

402.0FL

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SCHEMATIC EXTERIOR
PERSPECTIVE



Exterior building materials
must comply with
Section 18.53.05(c) of the
City Code.

EXTERIOR PERSPECTIVE - SOUTHWEST



EXTERIOR PERSPECTIVE - SOUTHEAST

REQUIRED PARKING

BLOOMINGTON SIDE

CLEAN ROOM	112,839.46 sf	INDUSTRIAL	1/500	225.68
COMMON	95,428.12 sf	PROPORTIONATE	1/479	199.22
LAB	59,791.12 sf	INDUSTRIAL	1/500	119.58
MECH/ELEC	190,801.04 sf	NON OCCUPIED		
OFFICE	120,147.7 sf	OFFICE	1/285	421.57
SUPPORT	37,385.26 sf	WAREHOUSE	1/1000	37.39
TOTAL SF	616,392.7 sf	TOTAL STALLS REQUIRED		1,004
TOTAL BUILDING	765,692.38 sf	TOTAL LOT STALLS REQUIRED		1,406

EDINA SIDE

CLEAN ROOM	36,103.38 sf	MANUFACTURING	1/300	120.34
COMMON	15,455.32 sf	PROPORTIONATE	1/374	41.32
LAB	41,449.62 sf	LAB	1/500	82.9
MECH/ELEC	23,386.46 sf	NON OCCUPIED		
OFFICE	31,123.87 sf	OFFICE	1/200	155.62
SUPPORT	1,781.03 sf	WAREHOUSE	1/2000	0.89
TOTAL SF	149,299.68 sf	TOTAL STALLS REQUIRED		402

BLOOMINGTON PROPORTIONATE COMMON AREA CALCULATION

616,392.7 total -
 95,428.12 common -
 190,801.04 non-occupied =
 330,163.54 sf

172,630.58 industrial (total) / 330,163.54 = 0.523
 120,147.7 office / 330,163.54 = 0.364
 37,385.26 warehouse / 330,163.54 = 0.113

0.523 x 500 industrial ratio +
 0.364 x 285 office ratio +
 0.113 x 1,000 warehouse ratio =
1 per 479 sf common area ratio

EDINA PROPORTIONATE COMMON AREA CALCULATION

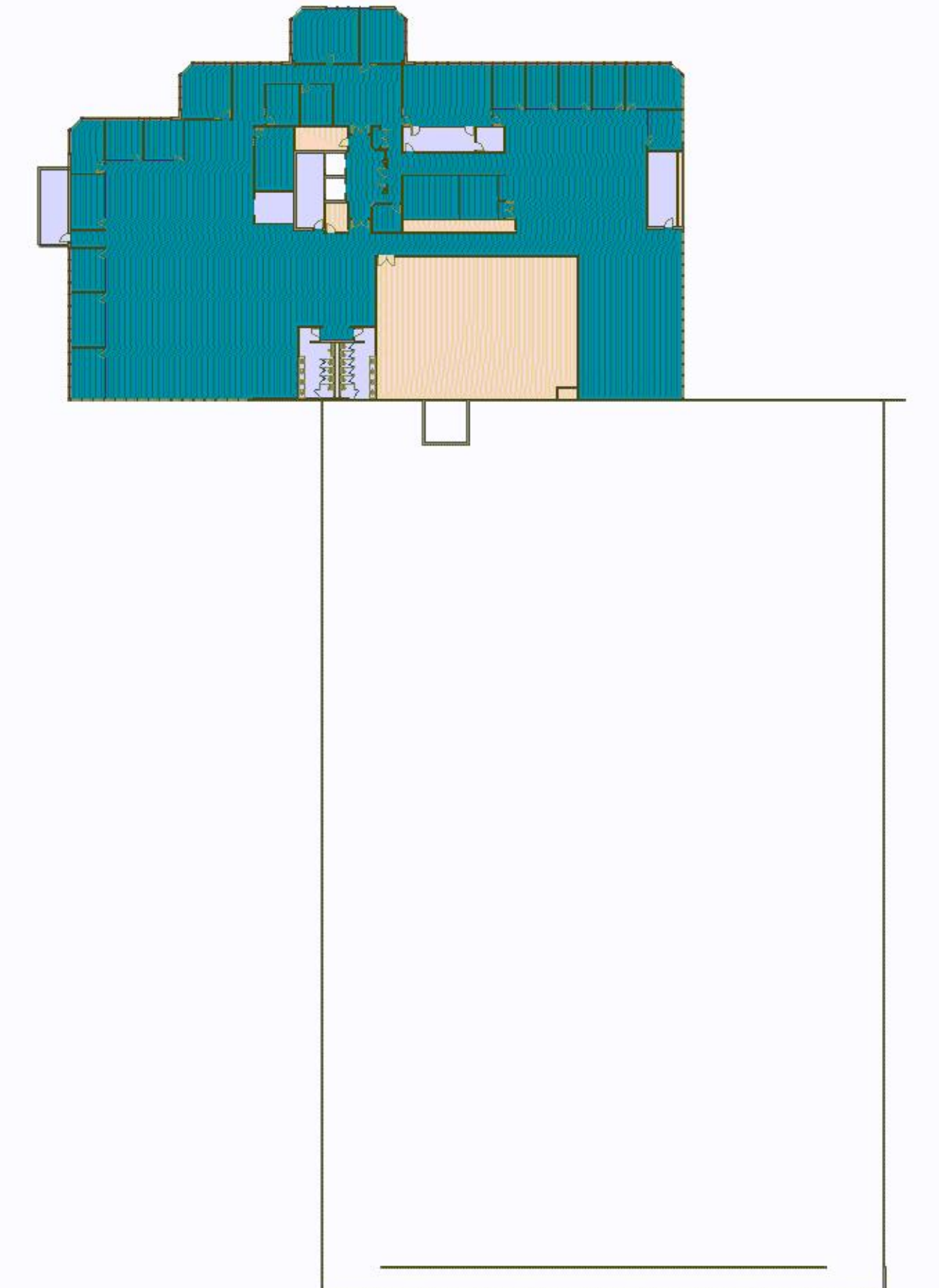
149,299.68 total -
 15,455.32 common -
 23,386.46 non-occupied =
 110,457.9 sf

36,103.38 manufacturing / 110,457.9 = 0.327
 41,449.62 lab / 110,457.9 = 0.375
 31,123.87 office / 110,457.9 = 0.282
 1,781.03 warehouse / 110,457.9 = 0.016

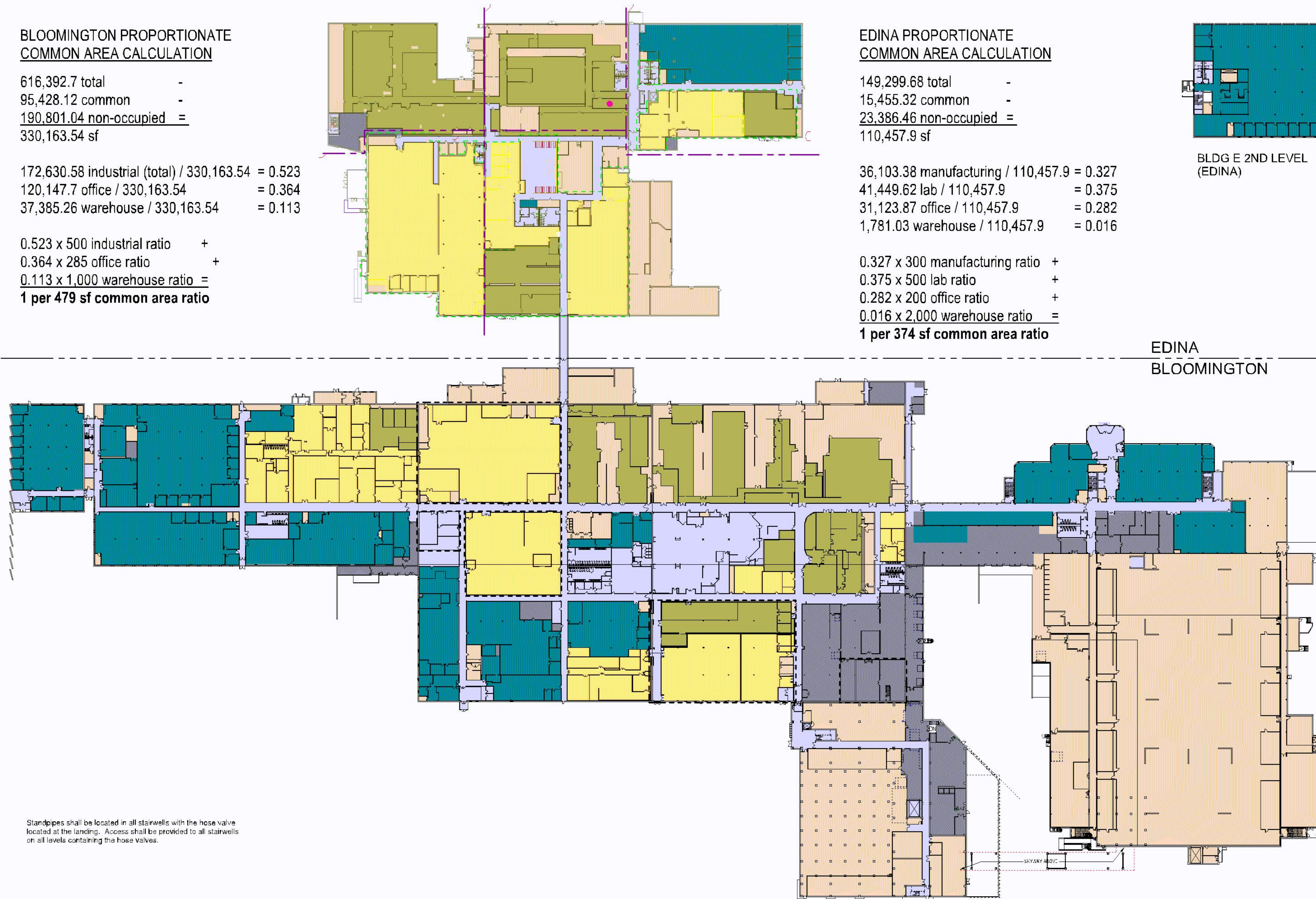
0.327 x 300 manufacturing ratio +
 0.375 x 500 lab ratio +
 0.282 x 200 office ratio +
 0.016 x 2,000 warehouse ratio =
1 per 374 sf common area ratio



BLDG E 2ND LEVEL
(EDINA)

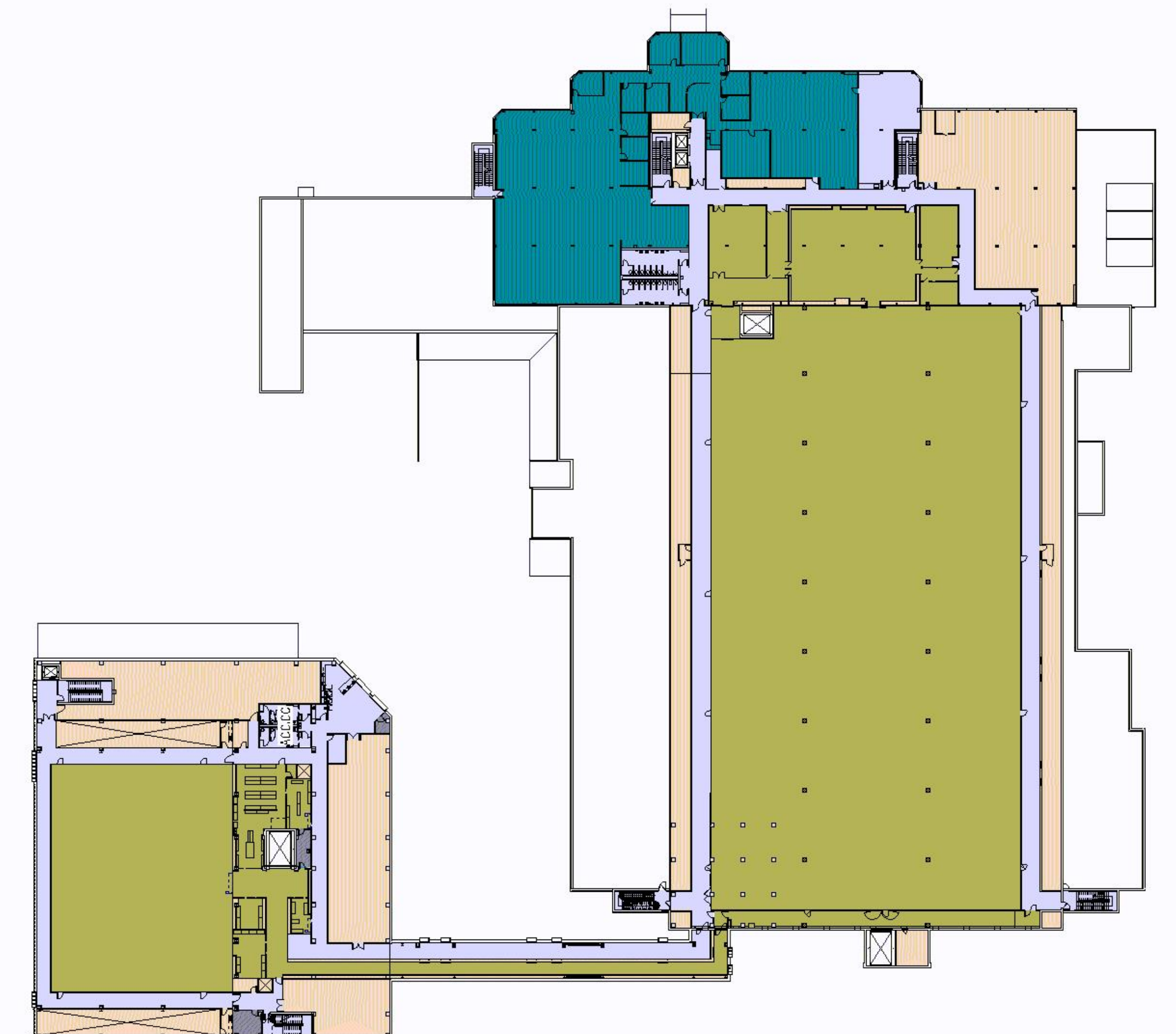


BLDG J 3RD LEVEL
(BLOOMINGTON)



Standpipes shall be located in all stairwells with the hose valve located at the landing. Access shall be provided to all stairwells on all levels containing the hose valves.

FLOOR PLAN - FIRST LEVEL
1" = 50'-0"



FLOOR PLAN - SECOND & THIRD LEVELS
1" = 20'-0"