

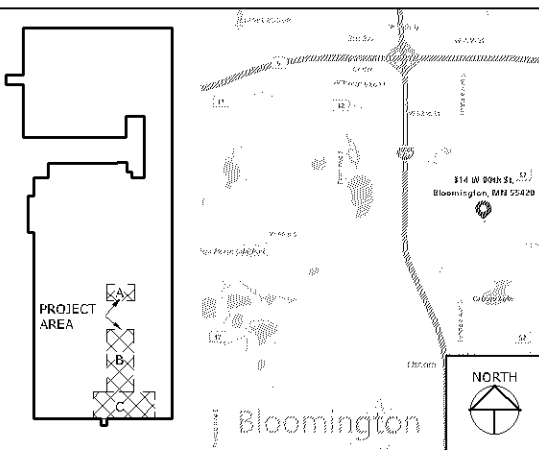
PL202100221

PL2021-221

THERMO KING PHASE 3B

EAST OFFICE RENOVATION

KEY PLAN AND VICINITY MAP:

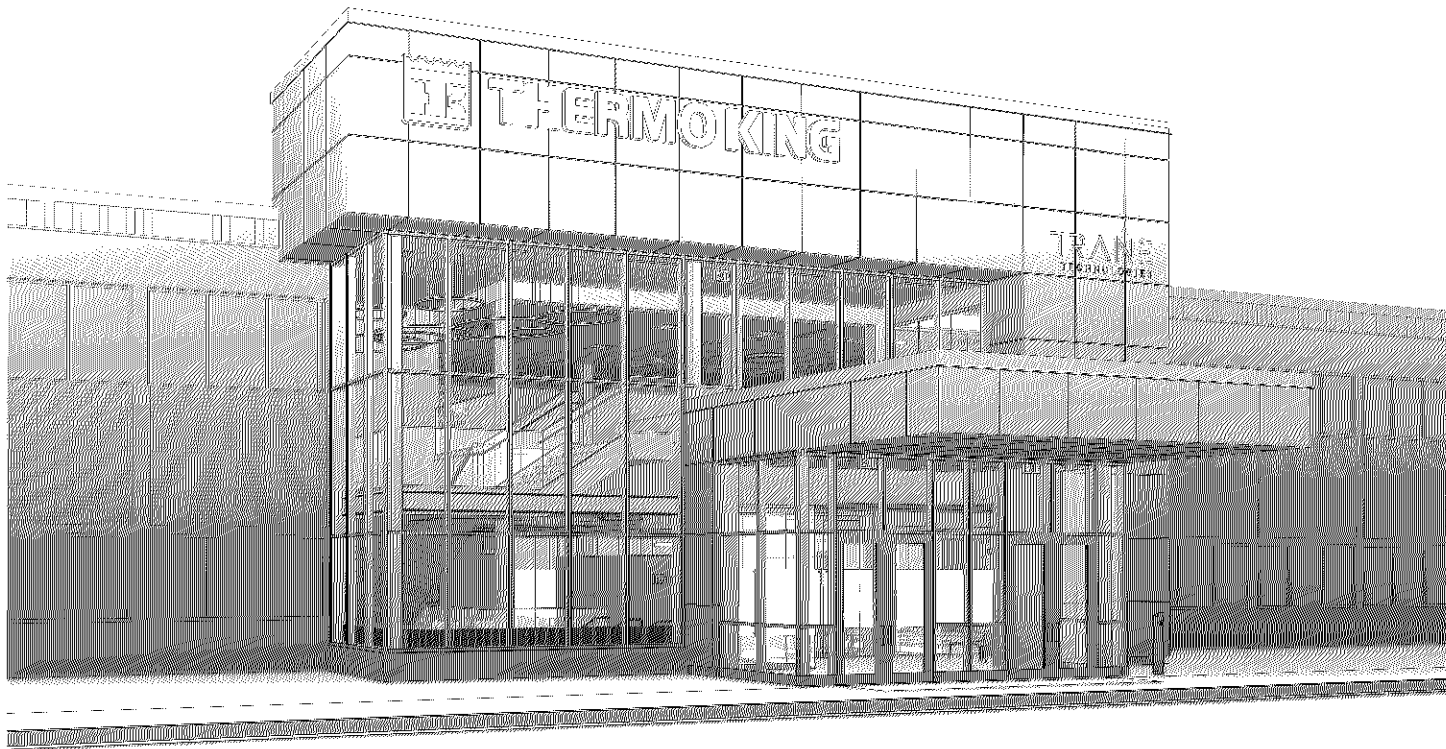


ROSTER:

OWNER:	THERMO KING 314 WEST 90TH ST, BLOOMINGTON, MN 55420 CONTACT: ERIC RETZLAFF 952-548-2794 PHONE ERETZLAFF@IRCO.COM
ARCHITECT:	KOMA 2051 KILLEBREW DRIVE, SUITE 680 BLOOMINGTON, MN 55425 651-789-4136 PHONE CONTACT: KEVIN DUMMER KDUMMER@KOMAINC.COM
STRUCTURAL ENGINEER:	KOMA 2051 KILLEBREW DRIVE, SUITE 680 BLOOMINGTON, MN 55425 651-789-4136 PHONE CONTACT: MICHAEL LISOWSKI MLISOWSKI@KOMAINC.COM
MECHANICAL ENGINEER:	MARTIN PEVZNER ENGINEERING 8030 OLD CEDAR AVE S # 203 BLOOMINGTON, MN 55425 CONTACT: BORIS PEVZNER 612-812-5196 PHONE BPEVZNER@MARTINPEVZNER.COM

DRAWING SYMBOLS:

 DETAIL NUMBER SHEET WHERE SECTION IS LOCATED	 ROOM NAME ROOM NUMBER	 EARTH OR FILL	 STEEL STUD
 BUILDING SECTION NUMBER SHEET WHERE SECTION IS LOCATED	 ROOM WHERE DOOR IS LOCATED	 POROUS FILL OR GRAVEL	 STRUCTURAL WOOD
 ELEMENT SECTION NUMBER SHEET WHERE SECTION IS LOCATED	 DOOR LETTER	 CMU	 FINISHED WOOD
 BUILDING ELEVATION NUMBER SHEET WHERE ELEVATION IS LOCATED	 WORK POINT, CONTROL POINT OR DATUM POINT	 CONCRETE	 PLYWOOD
 ELEMENT ELEVATION NUMBER SHEET WHERE ELEVATION IS LOCATED	 GRID REFERENCE	 MORTAR	 BATT INSULATION
 CLOUD AROUND REVISION REVISION NUMBER	 GRID LINE	 BITUMINOUS	 RIGID INSULATION EXTRUDED
 CENTERLINE SYMBOL	 EXISTING GRID REFERENCE	 BRICK	 RIGID INSULATION EXPANDED
	 WALL TYPE	 GYPSUM BOARD	 STEEL
	 WINDOW		
	 WINDOW TAG		



TITLE SHEET

THERMO KING - PHASE 3B EAST OFFICE

BID PACK 2

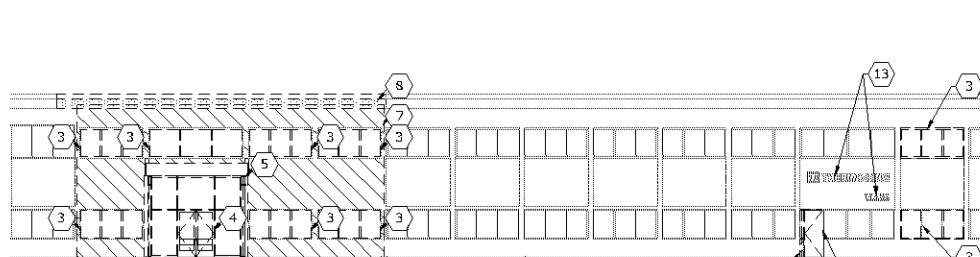
314 W 90th STREET

BLOOMINGTON, MN 55420

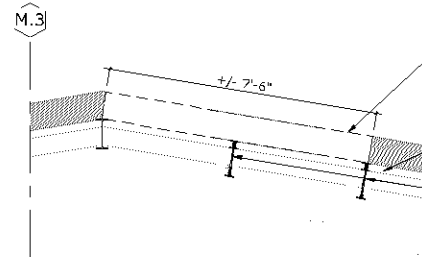
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DATE:	10/22/21
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T001



1 ENTRY ELEVATION
1/16" = 1'-0"



2 DEMOLITION SECTION DETAIL
3/8" = 1'-0"

REMOVE PORTION OF ROOF FOR NEW SKYLIGHT; REFER TO PLAN

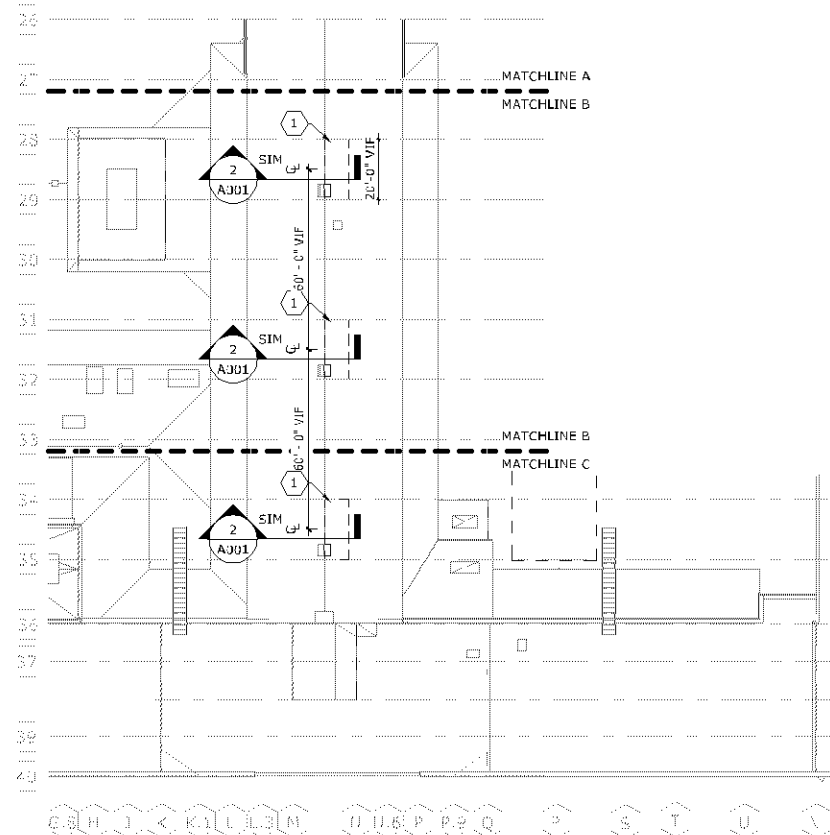
EXISTING STRUCTURAL TRUSS BEYOND

REMOVE BAR JOISTS AT NEW SKYLIGHT OPENINGS

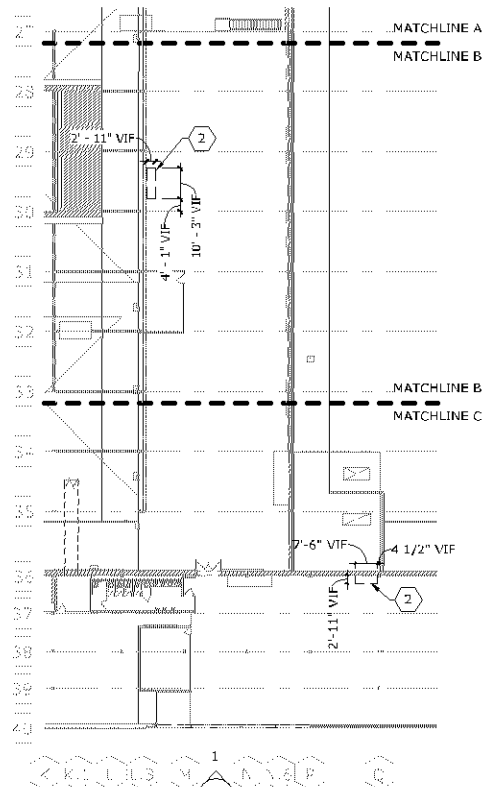
1	DEMO KEYNOTES
1	DEMO PORTION OF ROOF AND ROOF FRAMING FOR NEW SKYLIGHTS; COORDINATE JOISTS TO REMAIN WITH STRUCTURAL DOCUMENTS
2	CUT HOLE IN EXISTING FLOOR FOR NEW MECHANICAL CHASE
3	REMOVE ALUMINUM FRAMED WINDOW ASSEMBLY
4	REMOVE ALUMINUM FRAMED STOREFRONT ASSEMBLY
5	REMOVE CANOPY FINISHES AND STRUCTURE
6	DOOR AND FRAME DEMOLISHED AS PART OF BID PACK 1
7	REMOVE WALL ASSEMBLY DOWN TO STRUCTURAL STEEL
8	REMOVE PARAPET AND FLASHING
9	REMOVE PORTION OF BLOCK AND BRICK WALL FOR NEW PLUMBING FIXTURE
10	REMOVE DRINKING FOUNTAIN
11	REMOVE FLOOR SLAB FOR NEW ELECTRICAL WORK; REFER ALSO TO ELECTRICAL DOCUMENTS
13	SIGNAGE TO REMAIN
14	DEMO PORTION OF WALL IN PREP FOR NEW LARGER DOOR AND FRAME
15	DEMO PORTION OF MASONRY WALL TO MAKE ROOM FOR RECESSED HOSE CABINET AND SANDPIPE CONNECTION
16	DEMO DOOR AND FRAME; PREP FOR NEW
17	DEMO PORTION OF WALL
18	DEMO WALL
19	REFER TO NEW FLOOR PLAN FOR NEW HOUSEKEEPING PAD NOTES

GENERAL NOTES - DEMOLITION:

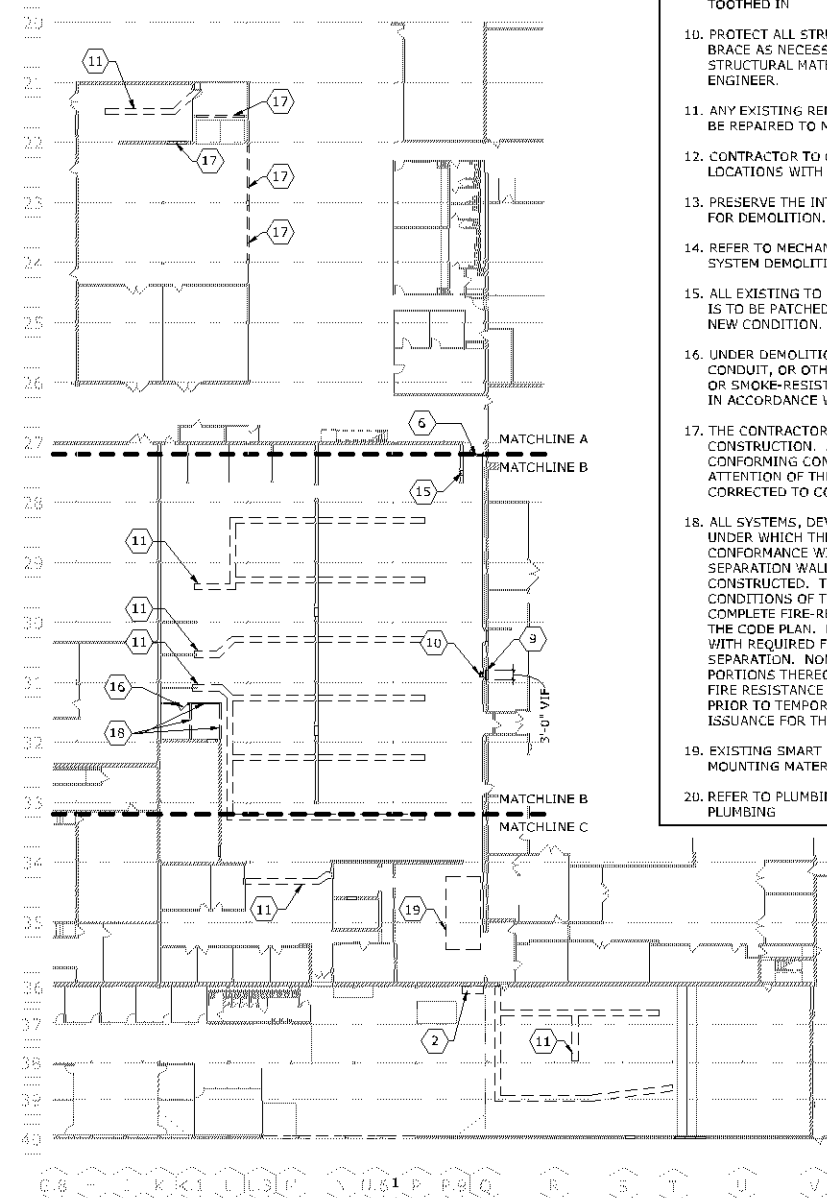
- ITEMS INTENDED FOR DEMOLITION OR SALVAGE ARE INDICATED BY DASHED LINES
- DEMOLISH: THE TERM "DEMOLISH" OR "DEMO" MEANS THE REMOVAL OF EXISTING MATERIAL OR ITEMS FROM THE SITE FOR DISPOSAL OFF-SITE IN AN APPROPRIATE AND LEGAL MANNER.
- SALVAGE: THE TERM "SALVAGE" MEANS THE SELECTIVE REMOVAL OF EXISTING MATERIAL OR ITEMS IN A MANNER TO PRESERVE THE INTEGRITY OF THE MATERIAL OR ITEM FOR REINSTALLATION WITHIN THE LIMITS OF CONSTRUCTION OR TURNED OVER TO OWNER FOR FUTURE USE. COORDINATE RELOCATION W/ OWNER.
- DEMOLITION KEY NOTE NUMBERING ON EACH DEMOLITION SHEET IS SPECIFIC TO THE SHEET ON WHICH THE KEYNOTE IS LOCATED.
- FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO ONSET OF DEMOLITION.
- REMOVE DEBRIS AND RUBBISH FROM THE SITE DAILY. DO NOT ALLOW DEBRIS TO ACCUMULATE IN BUILDING OR ON SITE. BROOM CLEAN CONSTRUCTION AREA AT END OF EACH WORK DAY.
- THE AMOUNT OF DUST RESULTING FROM DEMOLITION SHALL BE CONTROLLED TO PREVENT THE SPREAD OF DUST TO OCCUPIED PORTIONS OF THE BUILDING AND TO AVOID CREATION OF A NUISANCE IN THE SURROUNDING AREA. USE OF WATER WILL NOT BE PERMITTED WHEN IT WILL RESULT IN OR CREATE HAZARDOUS / OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, & POLLUTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER INDICATED ON THE PLANS OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH EXECUTION OF THE WORK. INACTIVE OR ABANDONED UTILITIES SHALL BE CAPPED IN ACCORDANCE WITH LOCAL RESTRICTIONS. REMOVE INACTIVE SERVICES (PLUMBING, ELECTRICAL, MECHANICAL, ETC.) AS REQUIRED TO MAINTAIN OPERATIONS; COORDINATE WITH THE ENGINEERING DRAWINGS. ALL UTILITIES MUST BE REMOVED TO THEIR POINT OF ORIGIN.
- ALL MASONRY DEMOLITION TO BE SAWCUT TO CREATE A CLEAN LINE AND PRESERVE EXISTING TO REMAIN UNLESS NOTED OTHERWISE IN DETAILS WHERE NEW BRICK IS TOOTHED IN
- PROTECT ALL STRUCTURAL MEMBERS AND FOUNDATIONS TO REMAIN FROM DAMAGE. BRACE AS NECESSARY DURING CONSTRUCTION. DO NOT CUT ANY EXISTING STRUCTURAL MATERIALS WITHOUT PRIOR NOTIFICATION TO THE STRUCTURAL ENGINEER.
- ANY EXISTING REMAINING FIRE ASSEMBLIES DAMAGED DURING DEMOLITION SHALL BE REPAIRED TO MEET ORIGINAL FIRE PROTECTION REQUIREMENTS.
- CONTRACTOR TO COORDINATE WORK AND ON-SITE TEMPORARY STORAGE LOCATIONS WITH OWNER
- PRESERVE THE INTEGRITY OF EXISTING CONSTRUCTION NOT SPECIFICALLY SLATED FOR DEMOLITION.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DOCUMENTS FOR RESPECTIVE SYSTEM DEMOLITION INFORMATION
- ALL EXISTING TO REMAIN CONSTRUCTION THAT IS DAMAGED DURING DEMOLITION IS TO BE PATCHED TO MATCH ADJACENT SURFACES AND BROUGHT BACK TO LIKE NEW CONDITION.
- UNDER DEMOLITION, WHERE THE REMOVAL OR ABANDONMENT OF A FIXTURE, DUCT, CONDUIT, OR OTHER PIECE OF EQUIPMENT LEAVES AN OPENING IN A FIRE-RESISTIVE OR SMOKE-RESISTIVE ASSEMBLY, THE OPENING SHALL BE FIRE-STOPPED OR SEALED IN ACCORDANCE WITH IBC CHAPTER 7 FOR NECESSARY RATING PROTECTION.
- THE CONTRACTOR SHALL VERIFY THE CONDITION OF EXISTING RATED CONSTRUCTION. ANY DISCREPANCIES IN THE RATING OF CONSTRUCTION, OR NON-CONFORMING CONSTRUCTION NOTED BY THE GC SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNERS. THE NON-CONFORMING WORK SHALL BE CORRECTED TO CONFORMING.
- ALL SYSTEMS, DEVICES, OR SAFEGUARDS THAT WERE REQUIRED BY THE CODE UNDER WHICH THE BUILDING WAS CONSTRUCTED SHALL BE MAINTAINED IN CONFORMANCE WITH THE REQUIREMENTS OF THAT CODE. THE FIRE WALLS/AREA SEPARATION WALLS MUST BE COMPLIANT WITH THE CODE UNDER WHICH THEY WERE CONSTRUCTED. THE CONTRACTOR SHALL SHOW THE FIELD INSPECTOR THE CONDITIONS OF THE EXISTING FIRE WALLS/AREA SEPARATION WALLS TO VERIFY COMPLETE FIRE-RESISTIVE INTEGRITY AS INDICATED ON THE CODE PLAN. REQUIRED FIRE WALLS/AREA SEPARATION WALLS MUST COMPLY WITH REQUIRED FIRE-RESISTIVE RATINGS AND PROVIDE COMPLETE BUILDING SEPARATION. NON-COMPLYING EXISTING FIRE WALLS/AREA SEPARATION WALLS OR PORTIONS THEREOF, WILL BE REQUIRED AND/OR SHALL BE UPGRADED TO MEET THE FIRE RESISTANCE RATING OF THE ASSEMBLY. THIS WORK SHALL BE COMPLETED PRIOR TO TEMPORARY CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF OCCUPANCY ISSUANCE FOR THIS BUILDING.
- EXISTING SMART BOARDS AND PROJECTORS, INCLUDING HARDWARE AND ALL MISC MOUNTING MATERIALS, SHALL BE REMOVED BY OWNER PRIOR TO WORK BY OTHERS.
- REFER TO PLUMBING DRAWINGS FOR ANY TRENCHING REQUIRED FOR UNDER SLAB PLUMBING



3 DEMO PLAN - ROOF
1/32" = 1'-0"



4 DEMO PLAN - SECOND FLOOR
1/32" = 1'-0"



5 DEMO PLAN - FIRST FLOOR
1/32" = 1'-0"

DEMO PLANS

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

PROJECT: 18162.12
DRAWN BY: SPM
CHECKED BY: KDD
DATE: 10/22/21
REVISIONS:

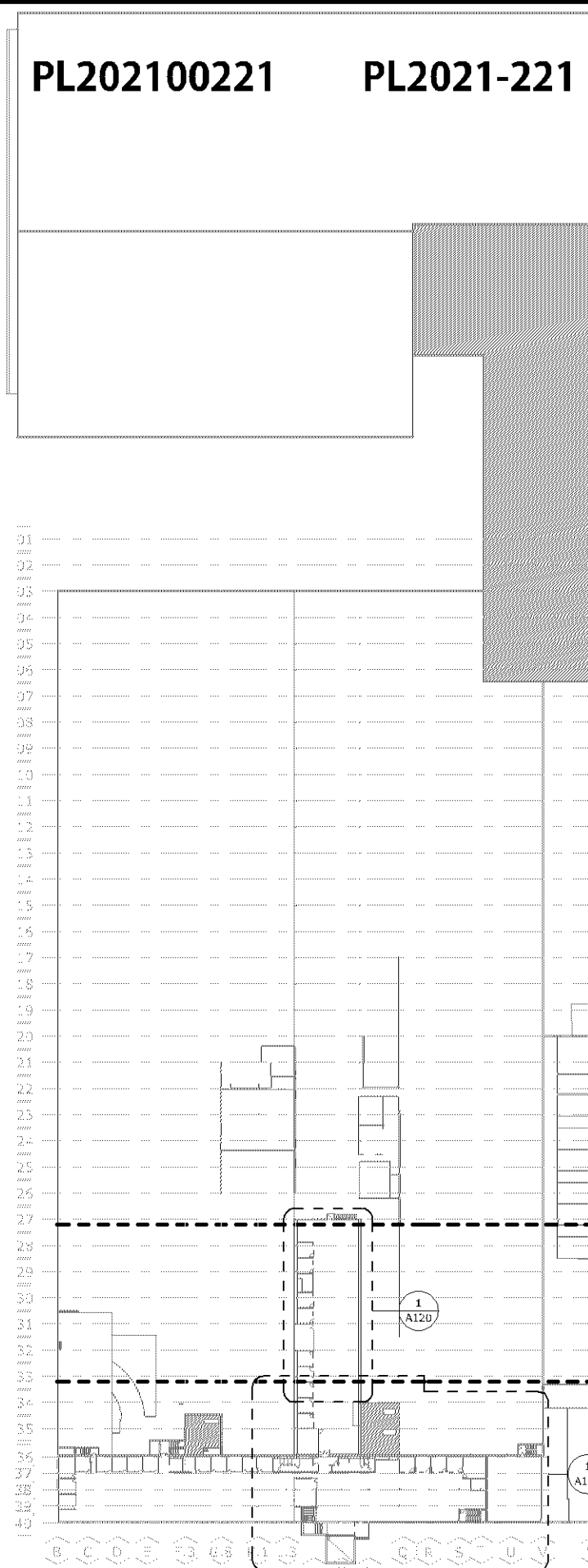
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A001





① OVERALL NEW PLAN
1" = 60'-0"



② OVERALL SECOND FLOOR PLAN
1" = 60'-0"

PL202100221 PL2021-221

GENERAL NOTES - WALL TYPES:

1. INSTALL 5/8" CEMENT BACKERBOARD BEHIND ALL WALL TILE LOCATIONS INSTEAD OF THE 5/8" GYPSUM, TYPICAL, SEE ROOM FINISH SCHEDULE FOR LOCATIONS
2. AT ALL ACOUSTIC PARTITIONS, REFER TO SPECIFICATION FOR DETAILS REGARDING SEALANT INSTALLATION FOR SOUND ISOLATION
3. ALL PENETRATIONS OF FIRE RATED WALLS ARE TO HAVE THE SAME FIRE RATING AS THE WALL TYPE THEY PASS THROUGH; PROVIDE UL TESTED ASSEMBLIES OR SIMILAR

GENERAL NOTES - FLOOR PLAN:

1. DIMENSIONS (UNLESS NOTED OTHERWISE) ARE TO:
 - FACE OF EXISTING (FOE)
 - FACE OF STUD (FOS)
 - FACE OF MASONRY (FOM)
 - CENTERLINE (CL) OF FIXTURES AND EQUIPMENT
2. DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL FINISH SURFACE, UNLESS NOTED OTHERWISE
3. REFER TO ENLARGED PLANS FOR MORE INFORMATION
4. REFER TO WINDOW/FRAME TYPES FOR DIMENSIONS OF GLAZING FRAMES/SYSTEM, SEE SHEET A90.
5. WALL PATCHES EXPOSED TO VIEW ARE TO BE PREPARED AND FINISHED TO MATCH ADJACENT SURFACES
6. MODIFY EXISTING SPRINKLER SYSTEM TO PROVIDE APPROPRIATE COVERAGE, IF NEEDED.
7. CLEAN / RESTORE EXISTING SURFACES TO REMAIN IN COMMON AREAS, INCLUDING BUT NOT LIMITED TO:
 - FLOORS, WALLS, CEILINGS
 - FIXTURES, EQUIPMENT
 - LIGHT FIXTURES
 - MECHANICAL RETURN AND SUPPLY GRILLS
8. FOR GYPSUM BOARD TERMINATIONS AT THE JUNCTION OF GYPSUM BOARD, WINDOWS, WINDOW STOOLS, AND DOOR FRAMES; FURNISH AND INSTALL CORNER BEAD LEVEL, TAPED, AND FINISH CAULKED
9. WHERE WALLS EXTEND TO DECK, IF THE WALL IS ADJACENT TO A SUSPENDED CEILING EXTEND THE SHEATHING TO 6" ABOVE THE CEILING ON THAT SIDE
10. ADD FIRE RESISTANT TREATED WOOD BLOCKING IN WALLS AS REQUIRED FOR ALL WALL MOUNTED CABINETRY AND EQUIPMENT. SEE PLANS, ELEVATIONS, AND DETAILS FOR LOCATIONS.
11. KEYNOTE NUMBERING ON EACH SHEET IS SPECIFIC TO THE SHEET ON WHICH THE KEYNOTE IS LOCATED.

OVERALL FIRST AND SECOND FLOOR PLAN

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BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

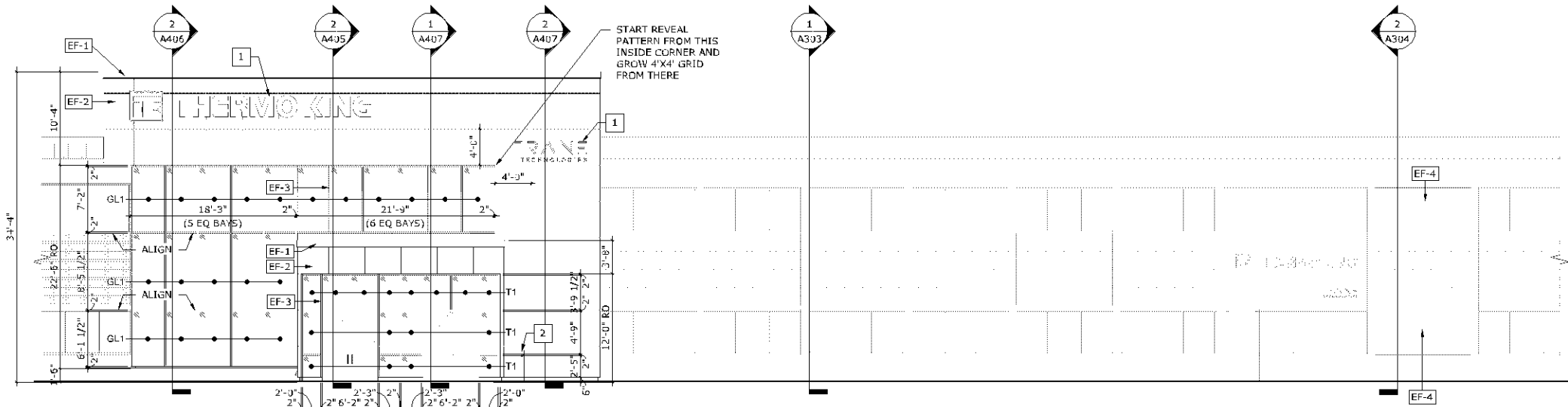
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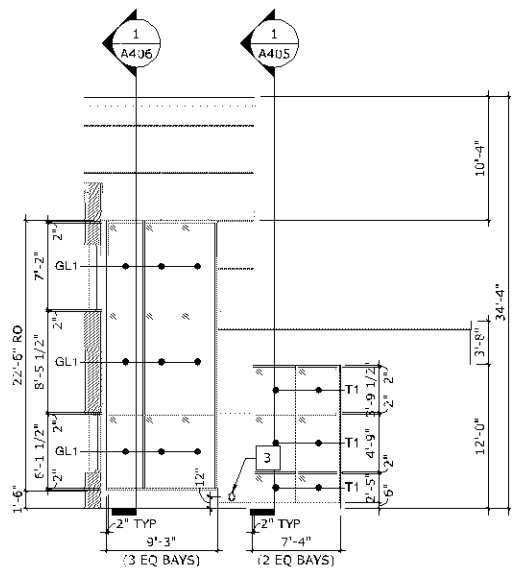
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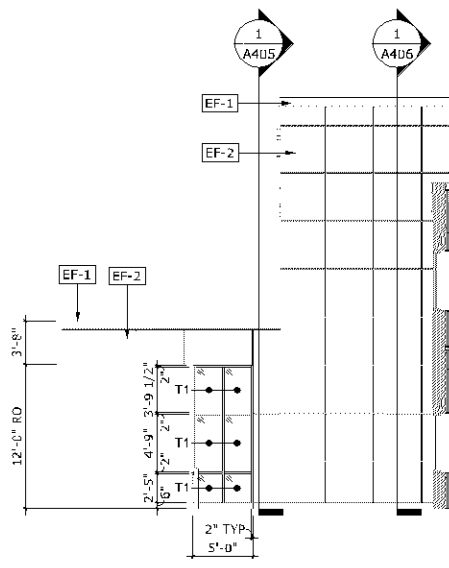
KEYNOTES	
MARK	NOTE
1	SIGNAGE BY OWNER
2	ACCESSIBLE DOOR OPERATOR AND PEDESTAL
3	3" EXTERIOR COWS TONGUE DRAIN FOR OVERFLOW



1 ENTRY ELEVATION
1/8" = 1'-0"



2 ENTRY ELEVATION
1/8" = 1'-0"



3 ENTRY ELEVATION
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
MARK	MATERIAL DESCRIPTION	MANUFACTURER	COMMENTS
EF-1	EXTERIOR PRE-FINISHED METAL COPING		MATCH METAL PANEL COLOR
EF-2	EXTERIOR PRE-FINISHED METAL PANELS	ALUCOBOND PLUS	
EF-3	EXTERIOR CURTAIN WALL ASSEMBLY		6" THERMALLY BROKEN ANODIZED ALUMINUM
EF-4	STUCCO INFILL ASSEMBLY		MATCH ADJACENT STUCCO FINISH AND COLOR

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P: 612-251-5405 FAX: 612-251-5405

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[Signature]
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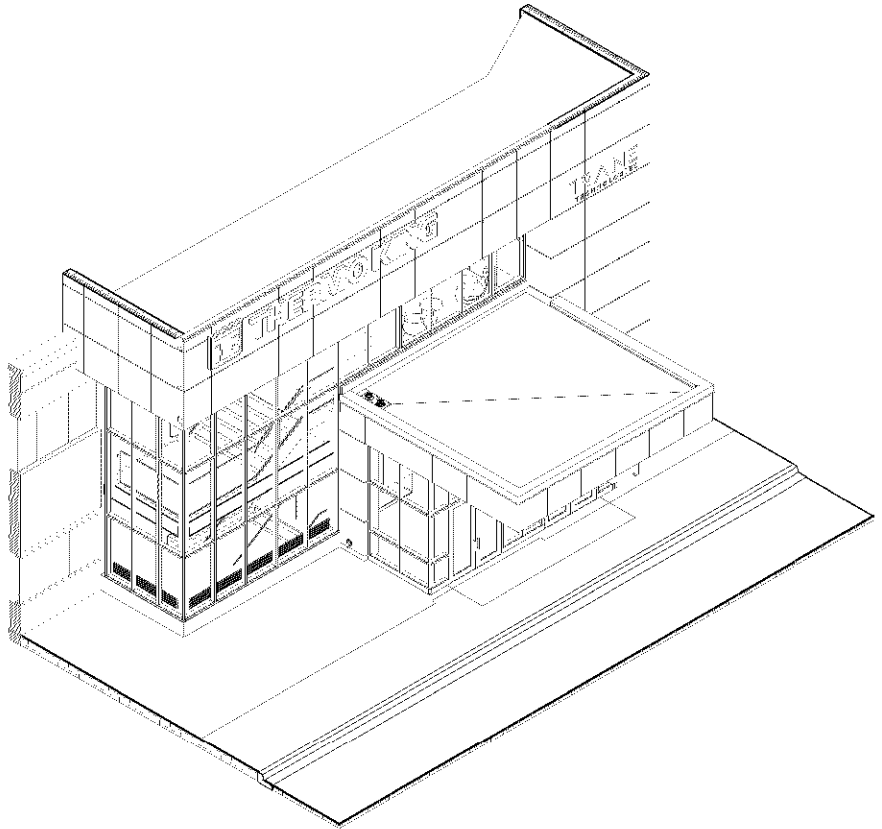
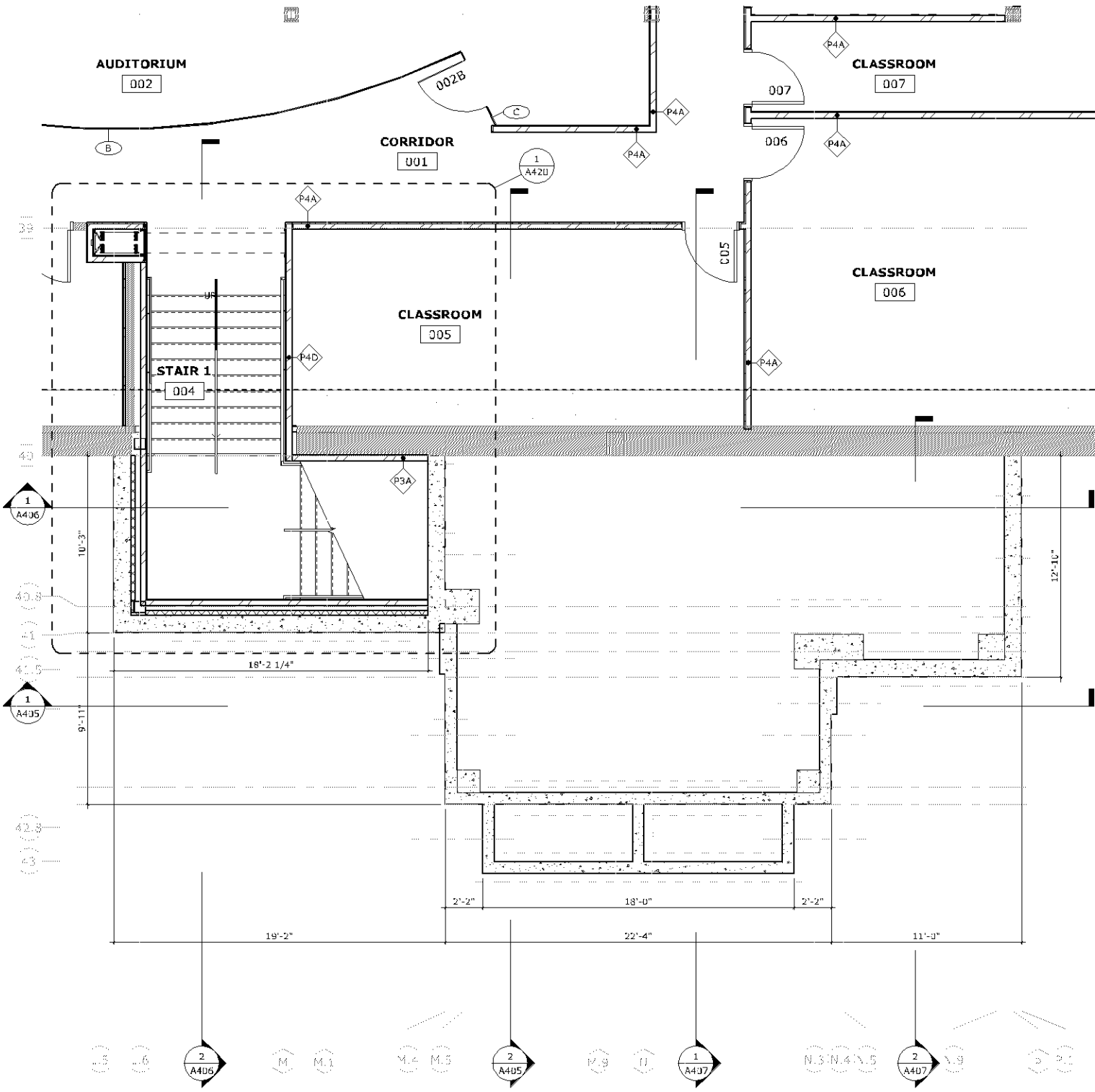
BUILDING ELEVATIONS

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BID PACK 2
314 W 90th STREET
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A300



2 ISOMETRIC VIEW
NOT TO SCALE

1 FLOOR PLAN - BASEMENT
1/4" = 1'-0"

**ENLARGED PLAN - TOWER
BASEMENT**

**THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2**
314 W 90th STREET
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Paul D. Dumas

DATE: 10/22/2014 PLS. NO: 02415

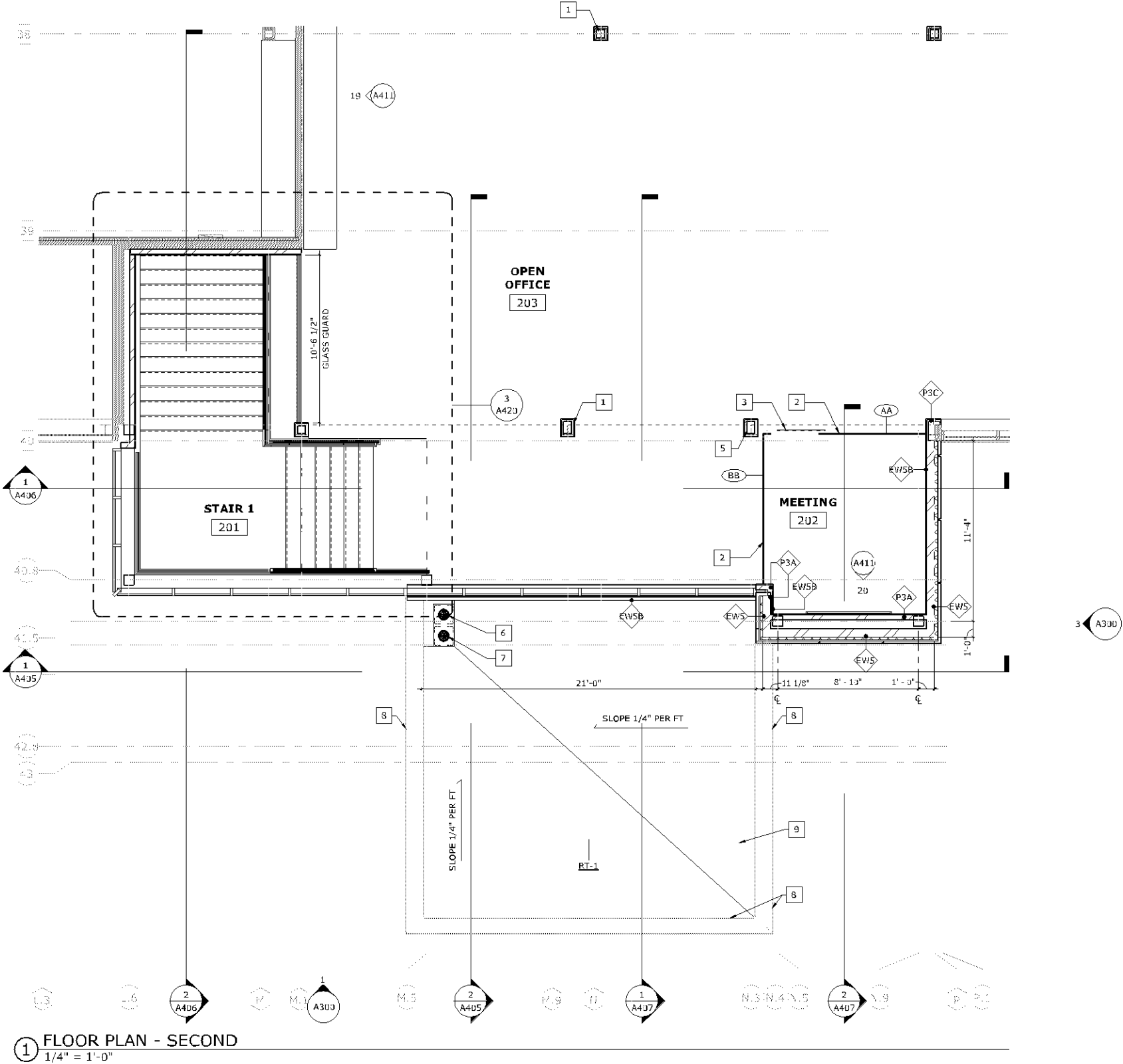
ENLARGED PLAN - TOWER FIRST FLOOR

**314 W 90th STREET
BLOOMINGTON, MN 55420**

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A402



1 FLOOR PLAN - SECOND
1/4" = 1'-0"

1	KEYNOTES
MARK	NOTE
1	ALL PARTIALLY/FULLY EXPOSED COLUMNS IN THE WORK AREA ARE TO BE WRAPPED AS TIGHT AS POSSIBLE WITH NEW 5/8" GYPSUM AND MTL FRAMING
2	FULL HEIGHT GLASS PANELS; 9' HIGH
3	FULL HEIGHT GLASS PANEL DOOR; 9' HIGH
4	8' WIDE MONUMENTAL STAIR; CONCRETE FILLED METAL PAN WITH DECORATIVE GUARDRAIL AND HANDRAILS
5	ALL PARTIALLY/FULLY EXPOSED COLUMNS IN THE WORK AREA ARE TO BE WRAPPED AS TIGHT AS POSSIBLE WITH NEW 5/8" GYPSUM AND MTL FRAMING
6	OVERFLOW ROOF DRAIN
7	PRIMARY ROOF DRAIN
8	PRE-FINISHED METAL COPING; REFER TO BUILDING ELEVATIONS
9	EPDM AND TAPERED INSULATION ROOF ASSEMBLY; REFER TO ROOF ASSEMBLY TYPE

KOMA
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P: 612-222-5400 KOMA-BNC.COM

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ENLARGED PLAN - TOWER SECOND FLOOR

THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

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A403

KEYNOTES	
MARK	NOTE
1	REFER TO TOWER SECOND FLOOR PLAN FOR CANOPY ROOF PLAN

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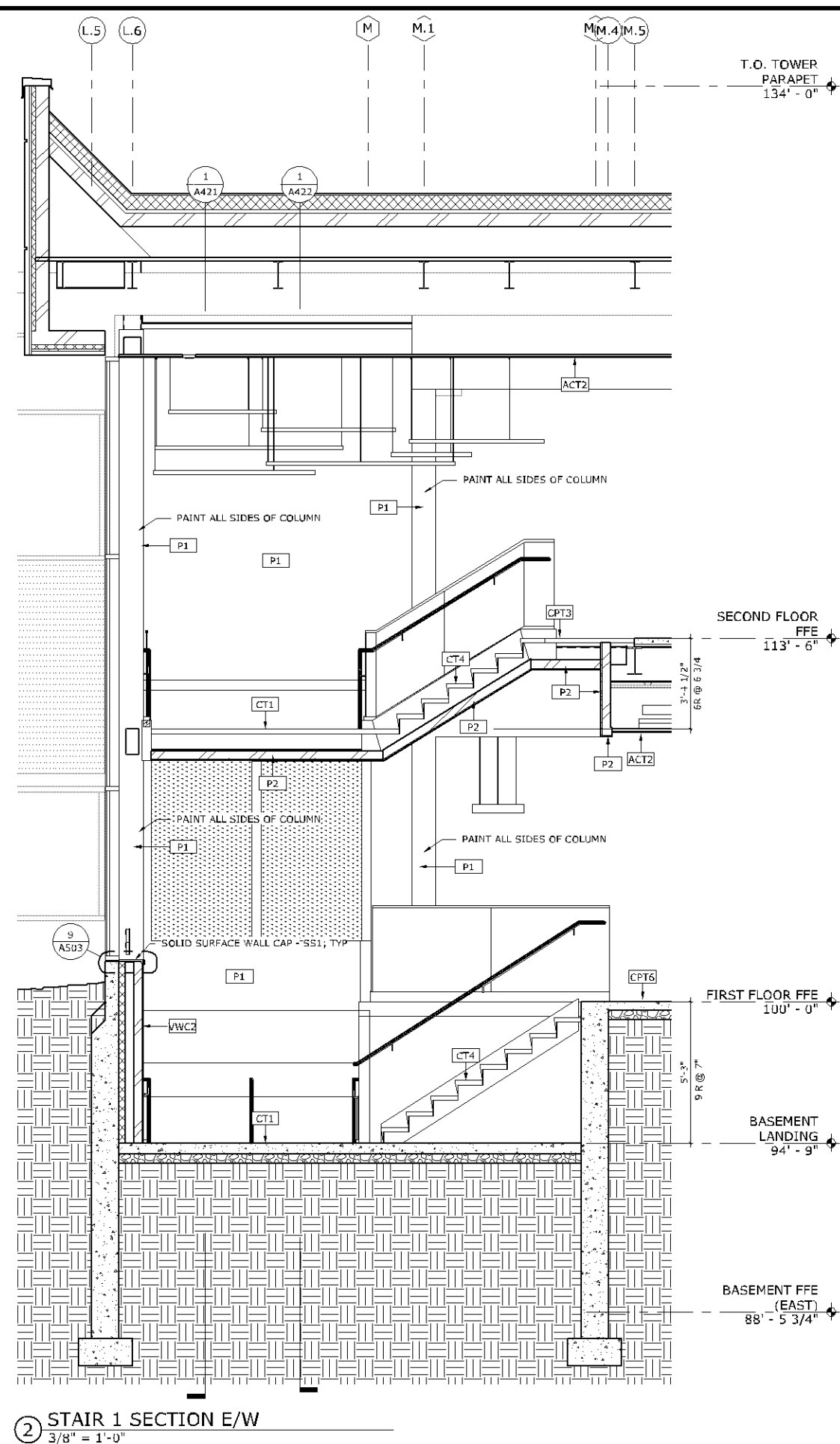
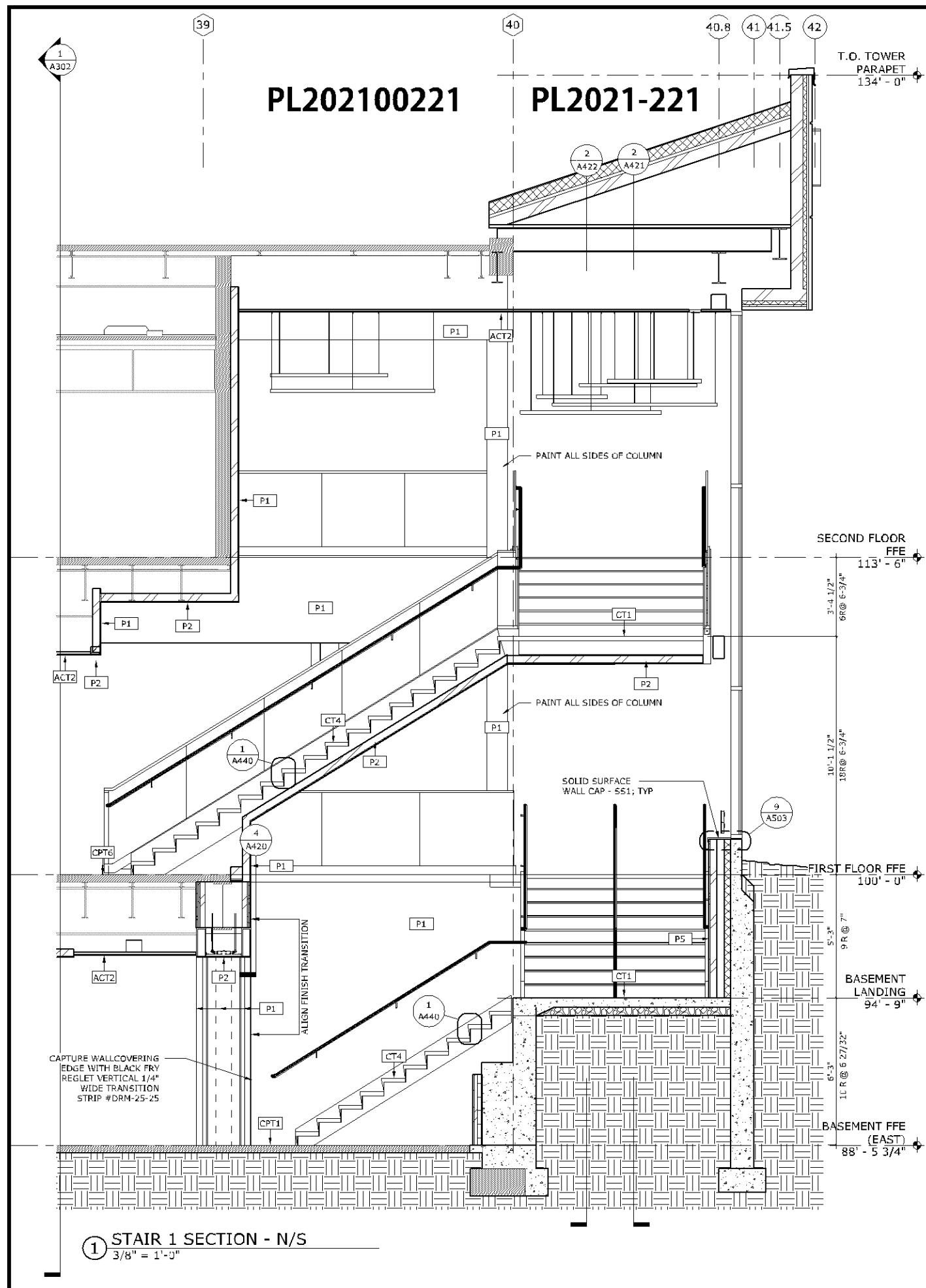
ENLARGED PLAN - TOWER ROOF

THERMO KING - PHASE 3B EAST OFFICE
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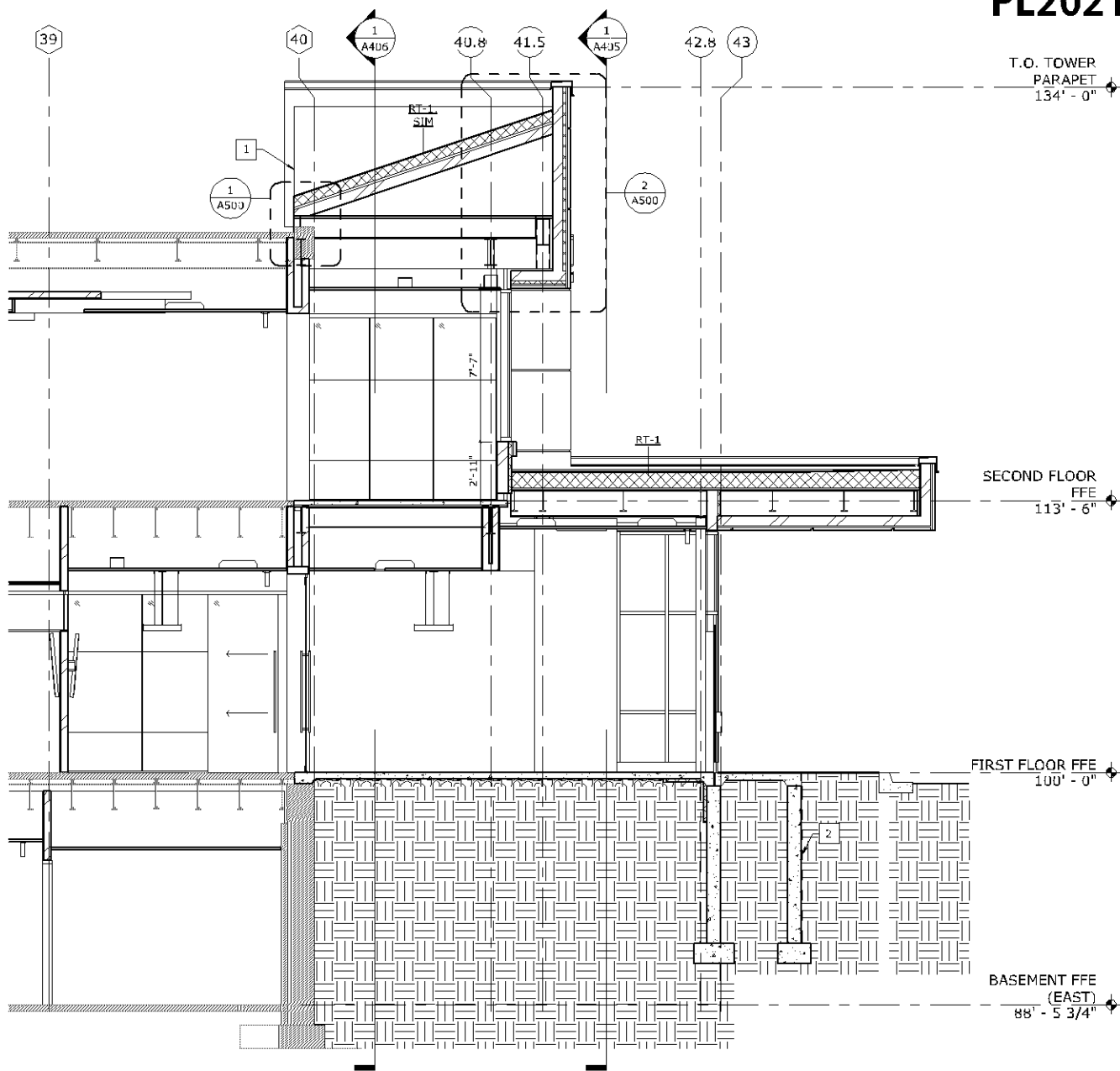
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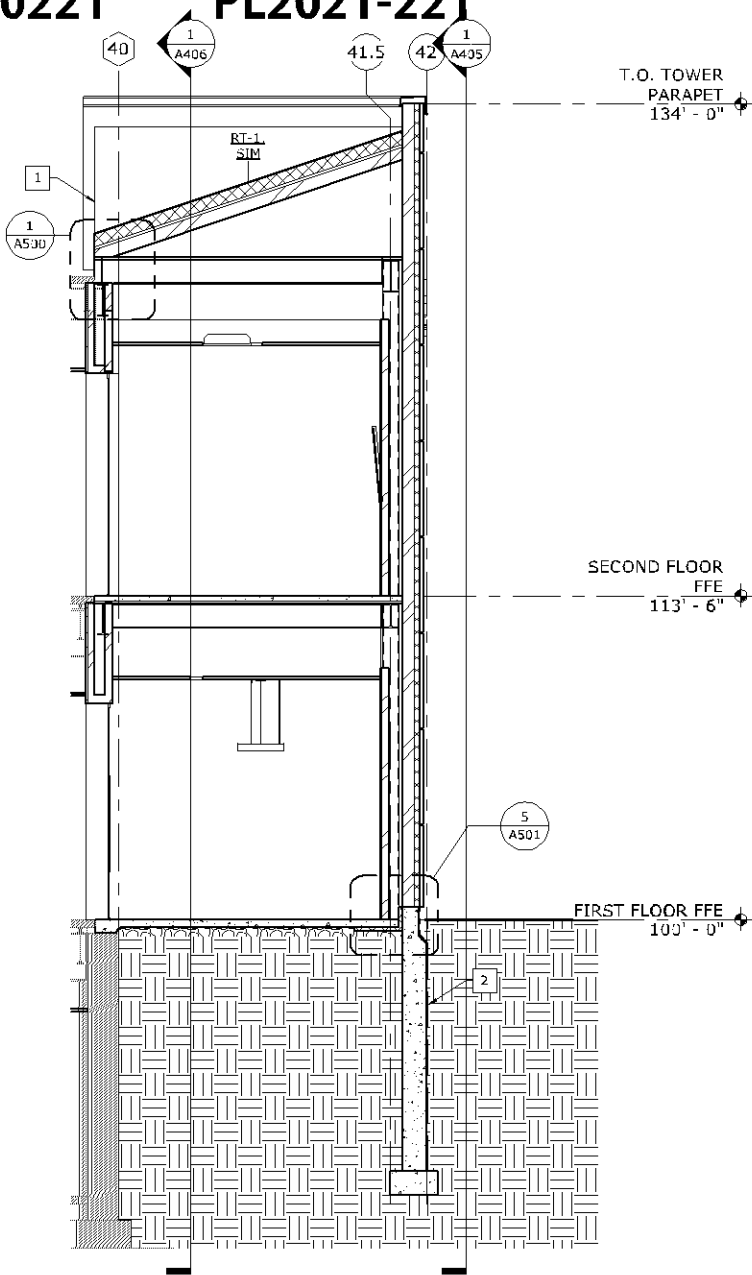
A404



PL202100221 PL2021-221



① TOWER SECTION - VIEW EAST
1/4" = 1'-0"



② TOWER SECTION - VIEW EAST
1/4" = 1'-0"

KEYNOTES	
MARK	NOTE
1	FRAME AND SHEATH DRIFT ROOF END CAP WITH KNEEWALL CONSTRUCTION SIMILAR TO DETAIL 1/A500
2	FLUID APPLIED WATER PROOF MEMBRANE FROM FINISHED GRADE TO TOP OF FOOTING

KOMA
ARCHITECTS | DESIGNERS | ENGINEERS
2051 GILLESPIE DRIVE, SUITE 500, BLOOMINGTON, MINN 55425
P: 612-222-5400 F: 612-222-5401 WWW.KOMAINC.COM

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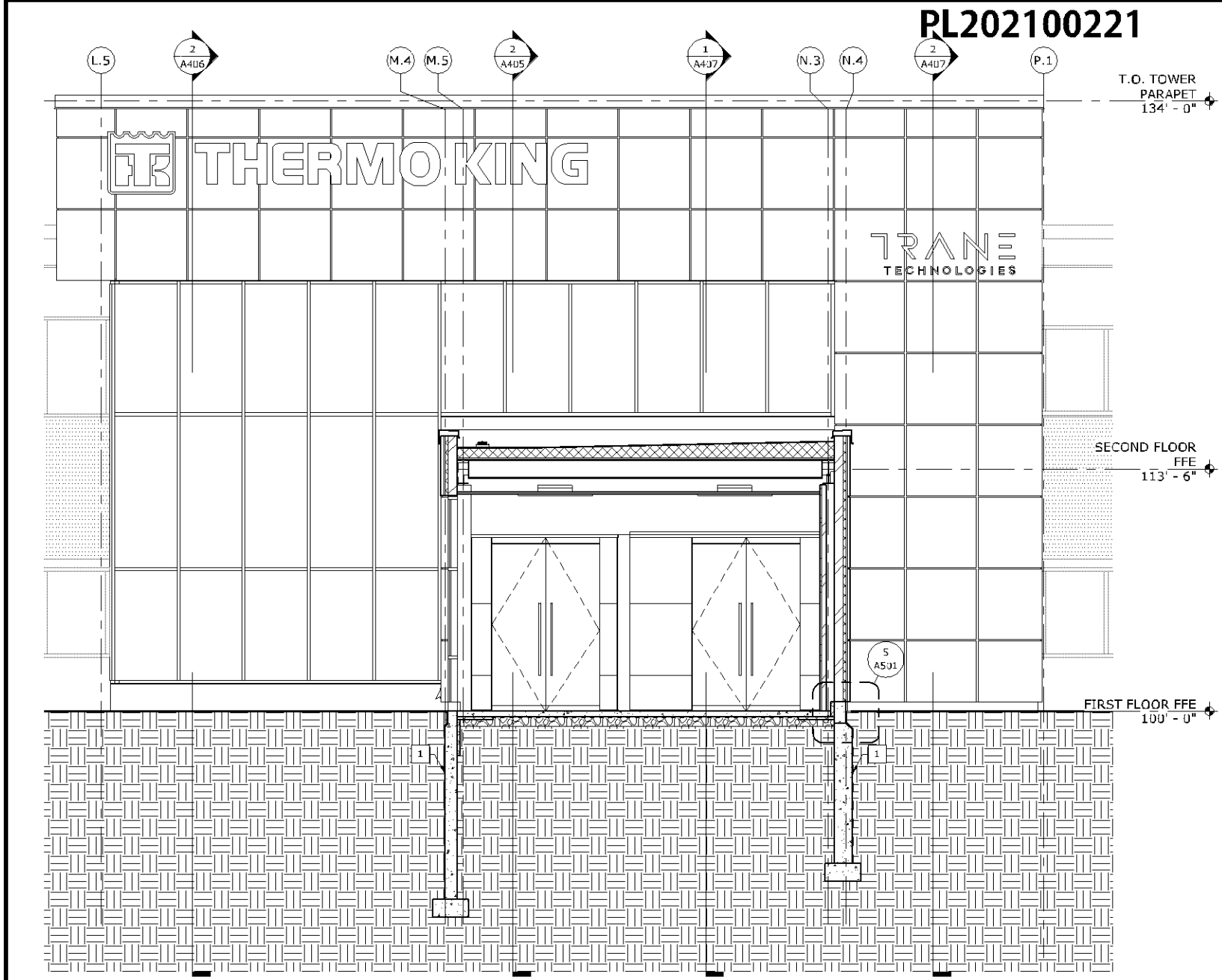
TOWER SECTIONS

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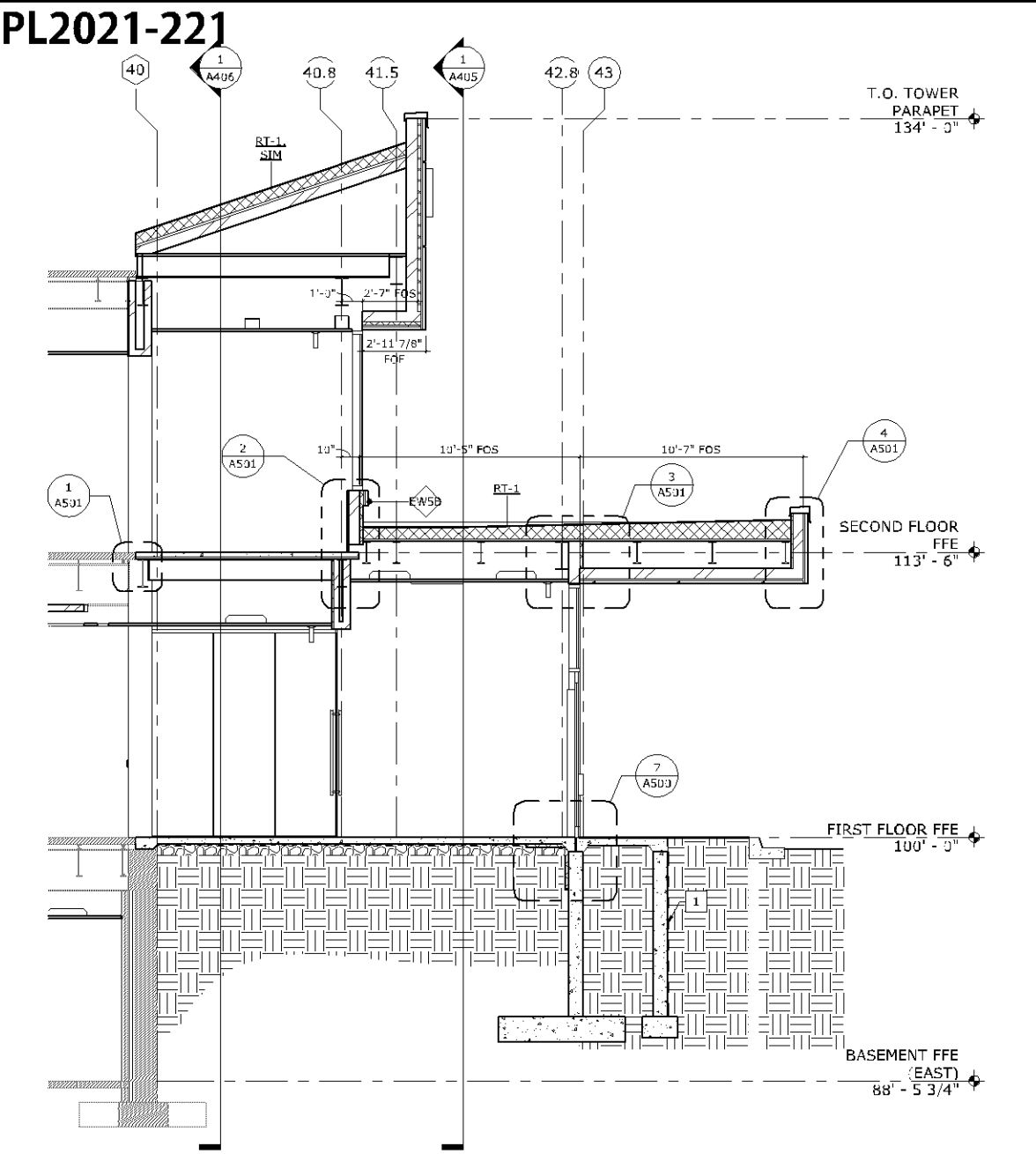
PROJECT:	18162.12
DRAWN BY:	SPM
CHECKED BY:	KDD
DATE:	10/22/21
REVISIONS:	

PRELIMINARY:
NOT FOR
CONSTRUCTION

A407



① TOWER SECTION - VIEW NORTH
1/4" = 1'-0"



② TOWER SECTION - VIEW EAST
1/4" = 1'-0"

KEYNOTES	
MARK	NOTE
1	FLUID APPLIED WATER PROOF MEMBRANE FROM FINISHED GRADE TO TOP OF FOOTING



ARCHITECTS | DESIGNERS | ENGINEERS

2051 GILLESPIE DRIVE, SUITE 500, BLOOMINGTON, MINNESOTA 55420
P: 612-221-5405 F: 612-221-5405

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DATE: 10/22/21 PER. NO.: 02415

TOWER SECTIONS

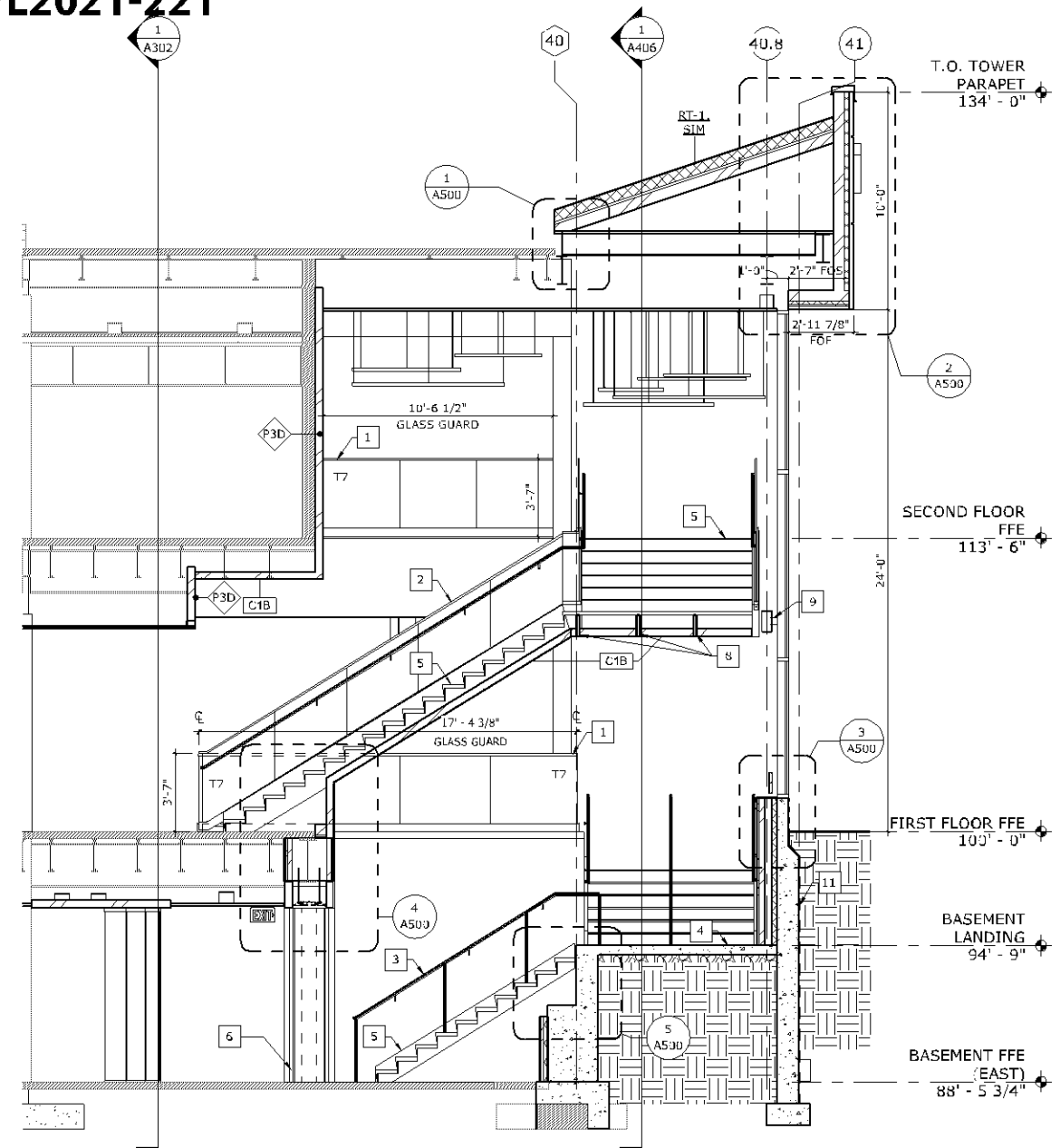
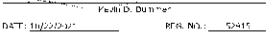
THERMO KING - PHASE 3B EAST OFFICE
BID PACK 2
314 W 90th STREET
BLOOMINGTON, MN 55420

PROJECT: 18162.12
DRAWN BY: SPM
CHECKED BY: KDD
DATE: 10/22/21
REVISIONS:

PERMIT SET

A405

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② TOWER SECTION - VIEW EAST
1/4" = 1'-0"

TOWER SECTIONS

THERMO KING - PHASE 3B EAST OFFICE

BID PACK 2

314 W 90th STREET
BLOOMINGTON, MN 55420

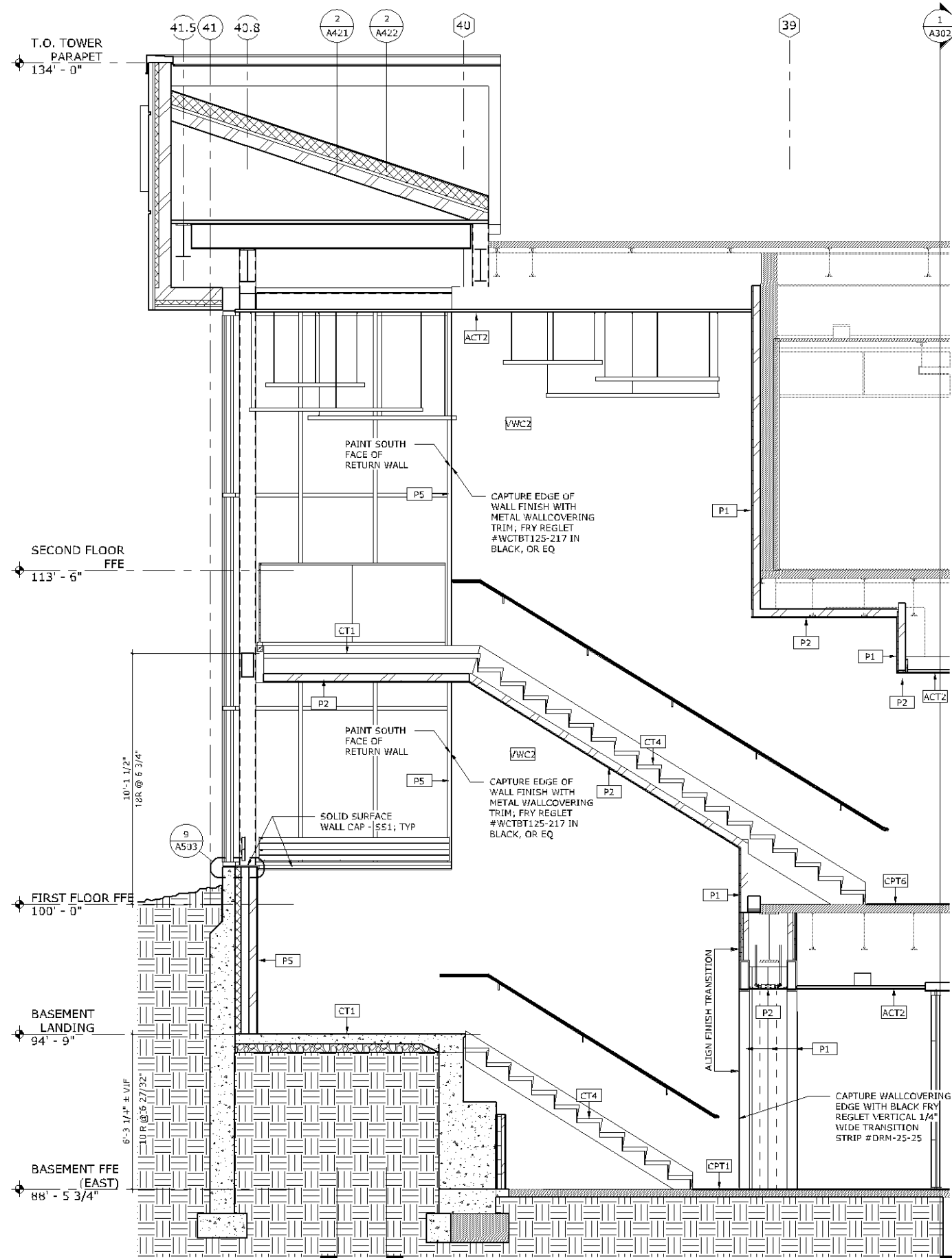
PROJECT:	18162.12
DRAWN BY:	SPM
CHECKED BY:	KDD
DATE:	10/22/21

PRELIMINARY:
NOT FOR
CONSTRUCTION

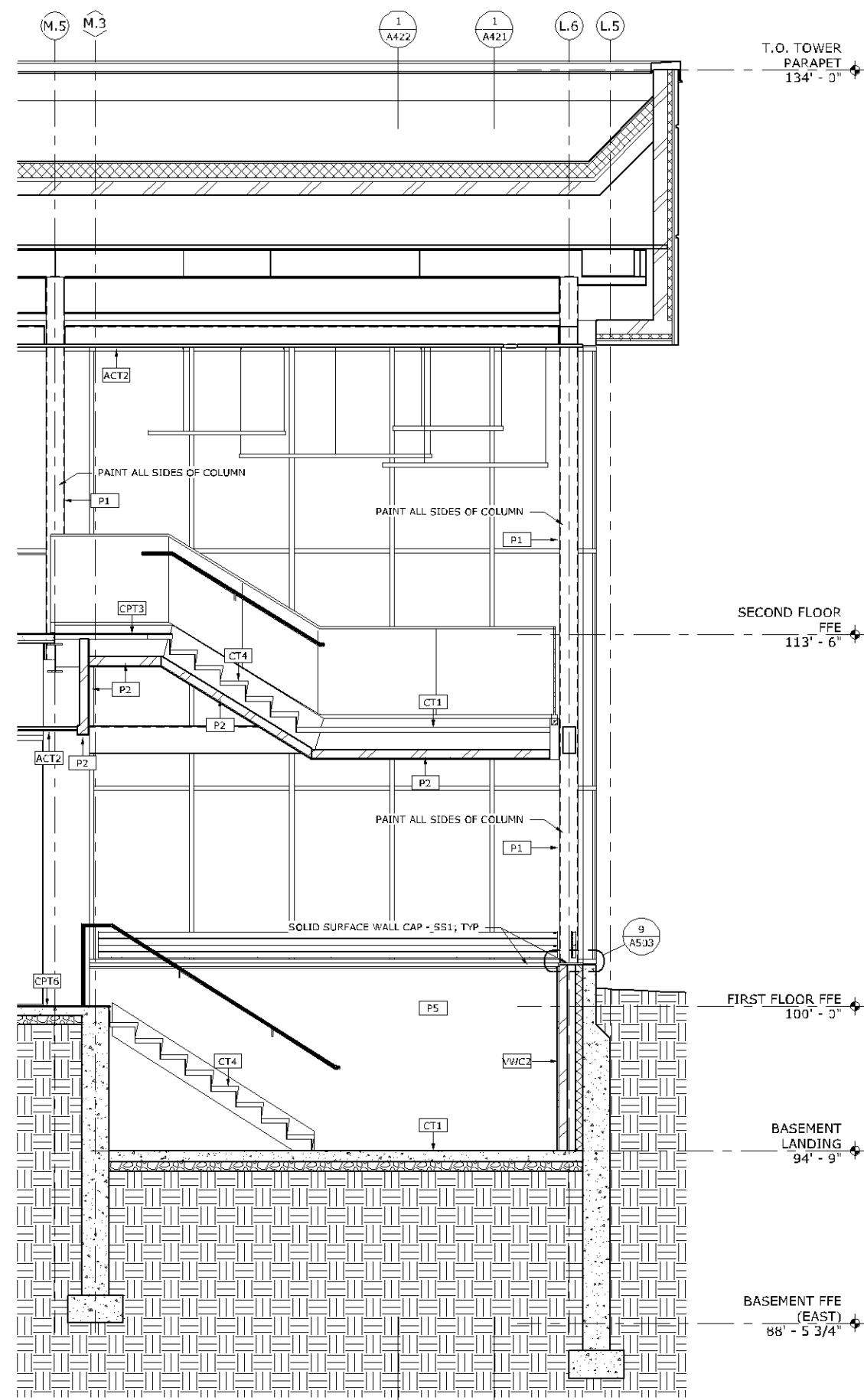
A406

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1 STAIR 1 SECTION - N/S
3/8" = 1'-0"



2 STAIR 1 SECTION E/W
3/8" = 1'-0"