

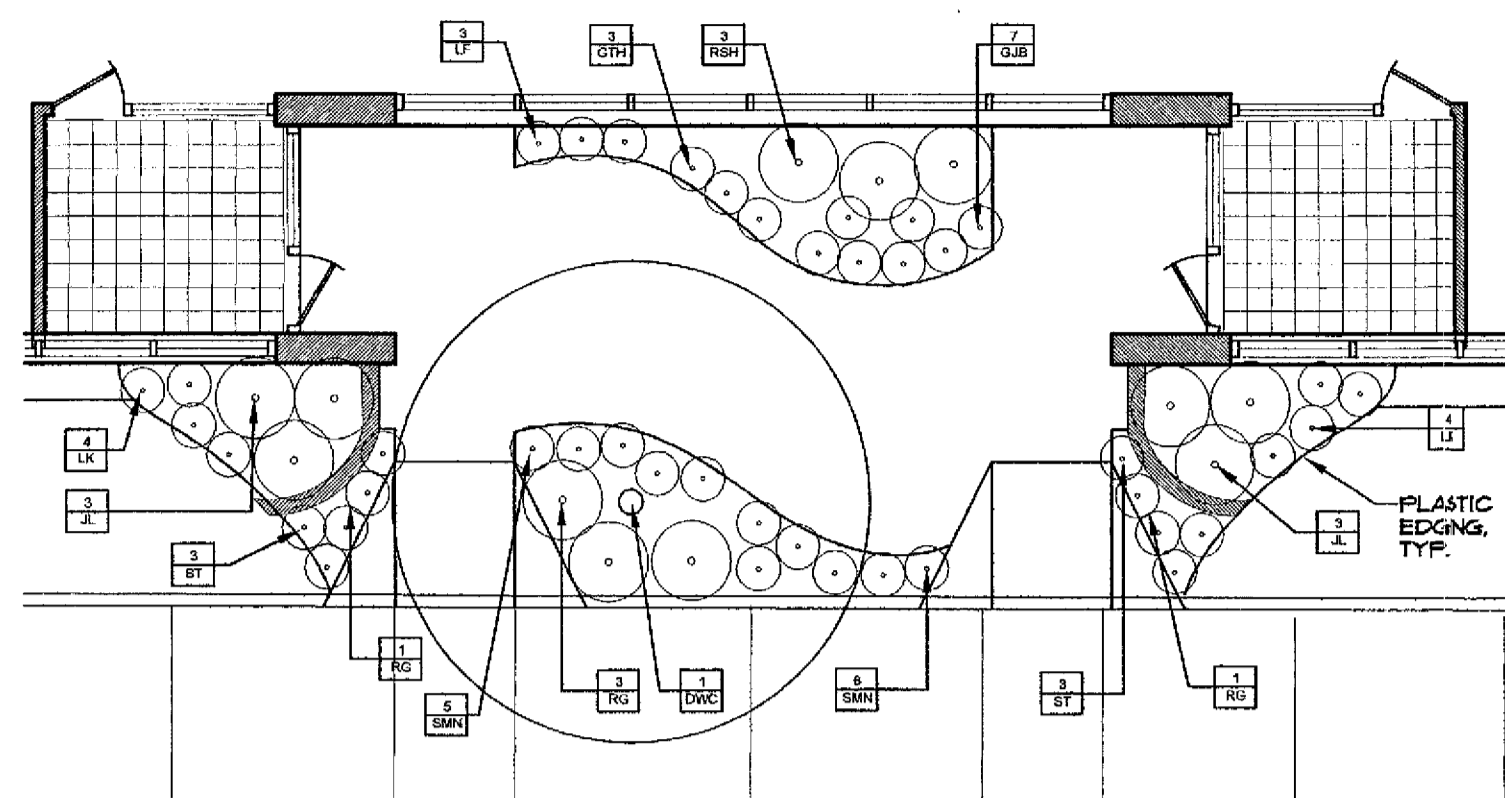
SANDERS
WACKER
BERGLY
INC.

LANDSCAPE ARCHITECTS & PLANNERS

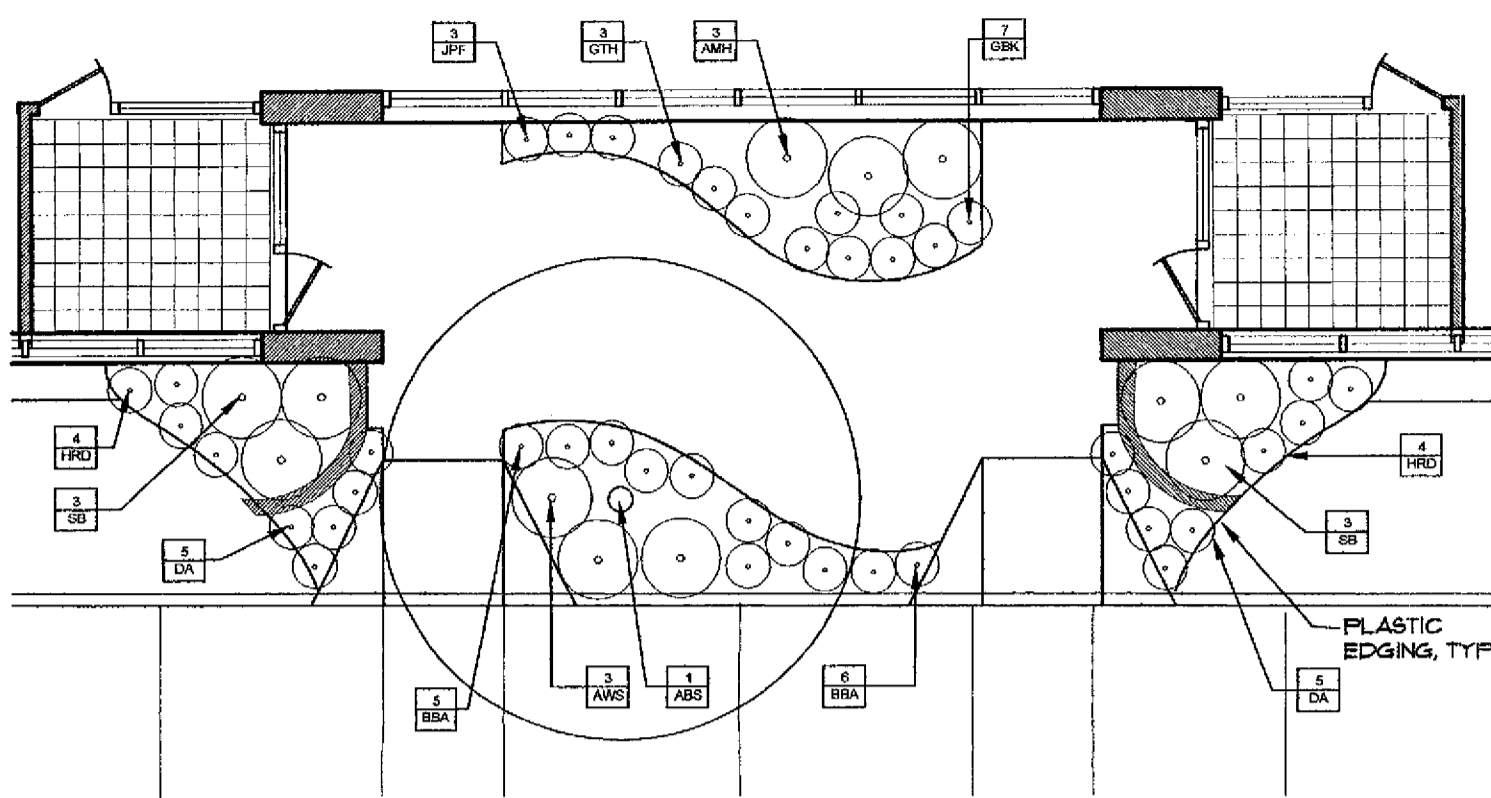
365 East Kellogg Blvd.
Saint Paul, MN 55101
Phone: (651) 221-4001
Fax: (651) 297-6817
E-mail: swbinc@swbinc.com

CEDAR BUSINESS
CENTER

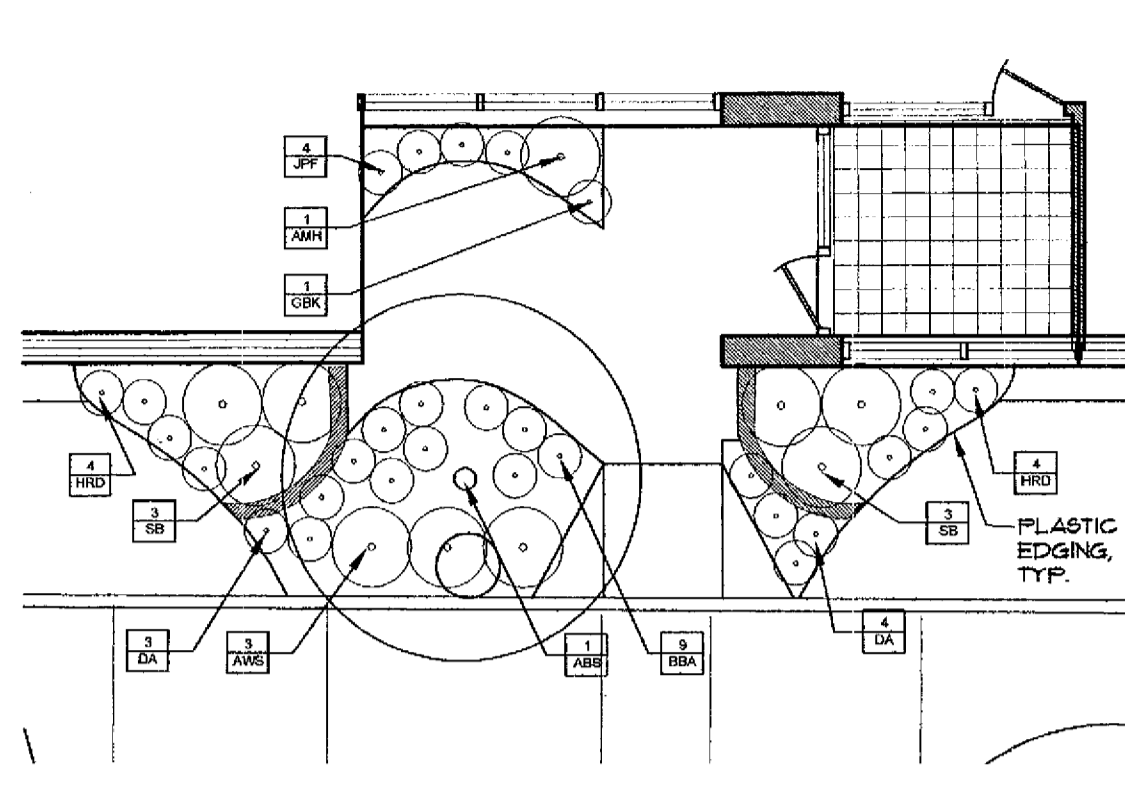
BLOOMINGTON,
MINNESOTA



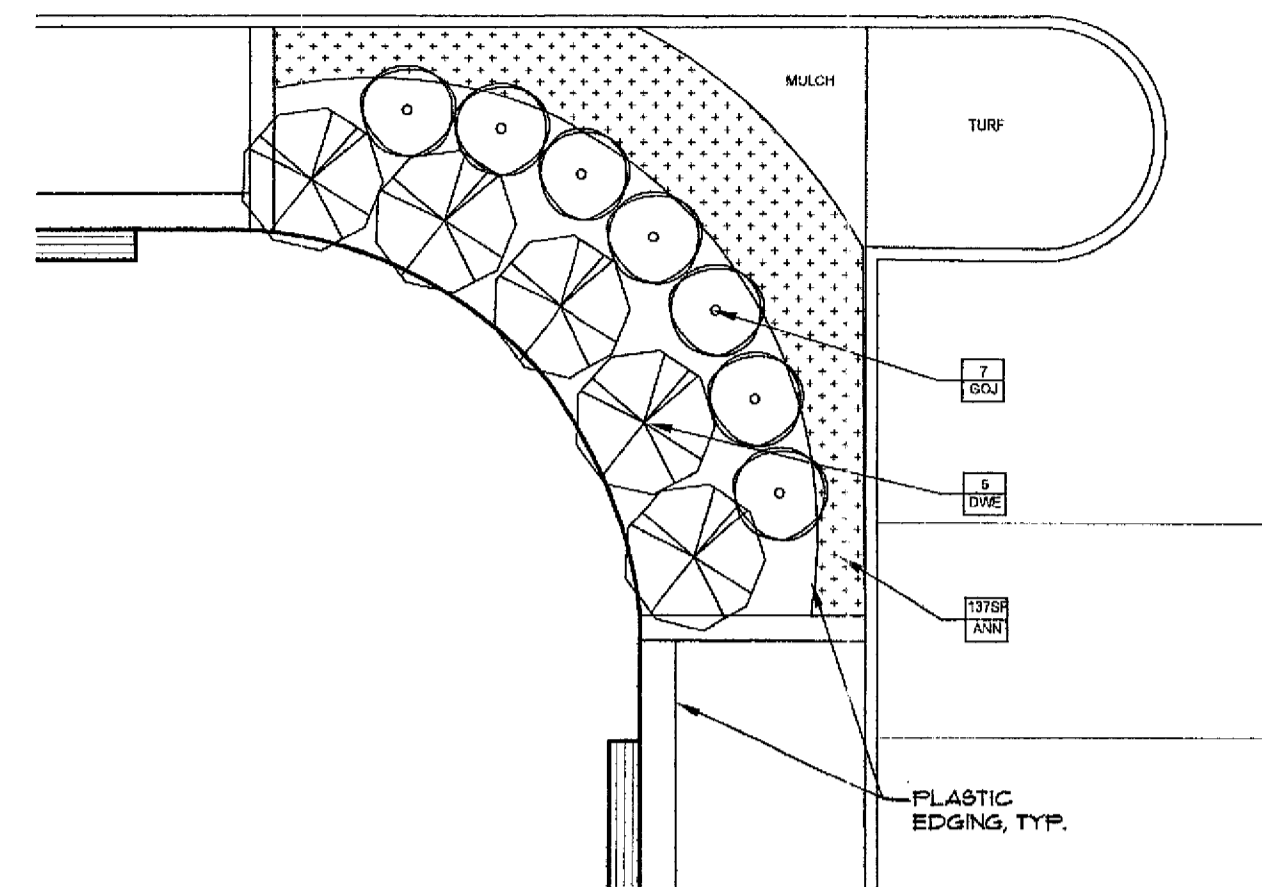
1 DOUBLE ENTRY - WEST EXPOSURE - TYP. (3)
L5 SCALE: 1/8" = 1'-0" AT 24 X 36



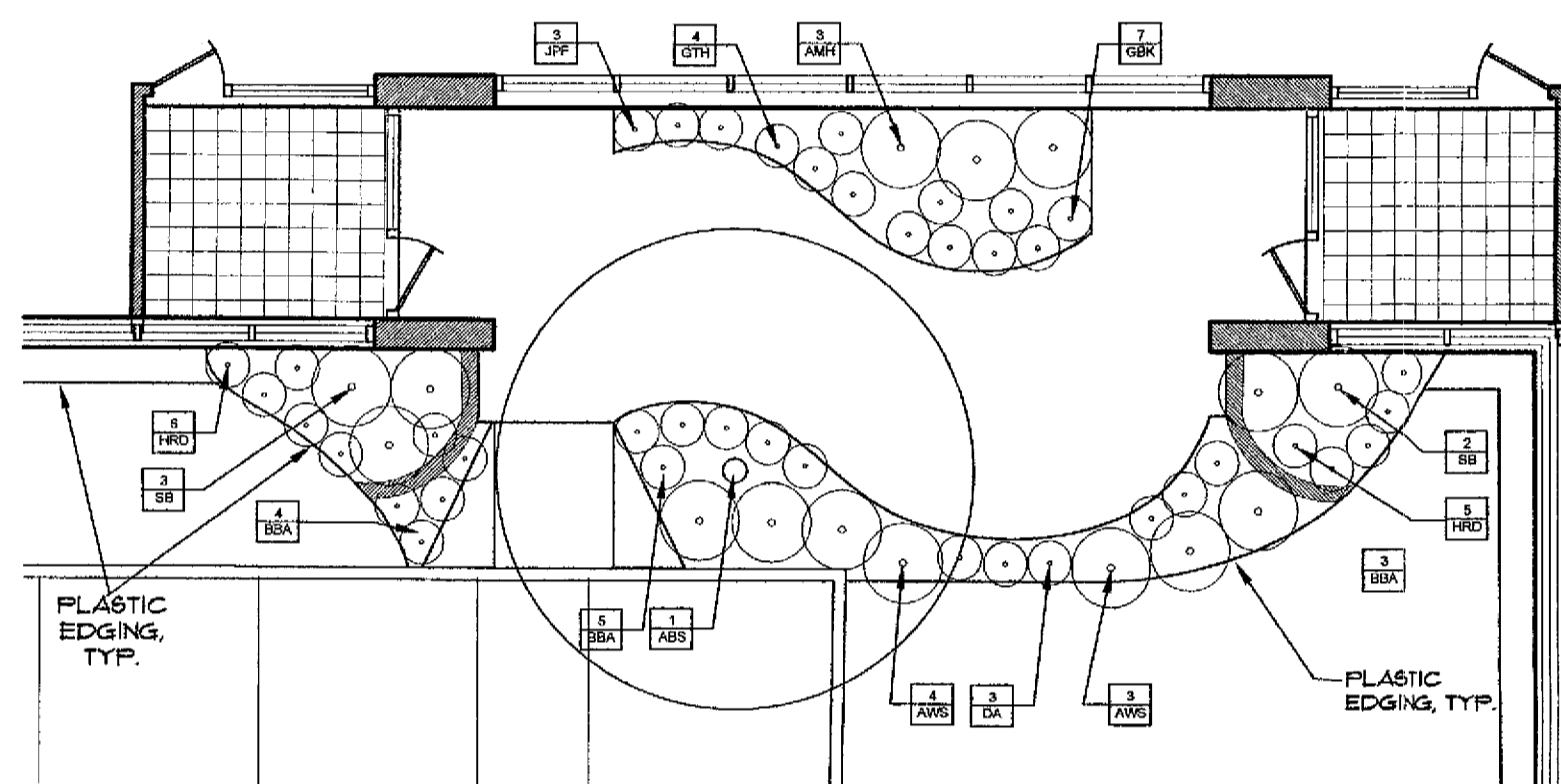
2 DOUBLE ENTRY - EAST EXPOSURE - TYP. (3)
L5 SCALE: 1/8" = 1'-0" AT 24 X 36



3 SINGLE ENTRY - NORTH EXPOSURE - TYP. (1)
L5 SCALE: 1/8" = 1'-0" AT 24 X 36



4 NORTH CORNER PLANTINGS - TYP. (4)
L5 SCALE: 1/8" = 1'-0" AT 24 X 36



5 CORNER ENTRY - NORTH EXPOSURE - TYP. (2)
L5 SCALE: 1/8" = 1'-0" AT 24 X 36

NOTE: THE CONTRACTOR SHALL DESIGN AND
INSTALL AN AUTOMATIC UNDERGROUND
LANDSCAPE IRRIGATION SYSTEM WITH
COMPLETE COVERAGE ON ALL TURF AND
PLANTING BEDS IN THE PROJECT AREA. SEE
SPEC.

PLANTING SCHEDULE - WEST EXPOSURE

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE
TREE				
DWC	3	DONALD WYMAN CRAB APPLE	Malus 'Donald Wyman'	2" BB
SHRUBS				
JL	18	JOSEE LILAC	Syringa 'Josée'	1/2" CONT.
PERENNIALS				
LF	9	LADY FERN	Athyrium filix-femina	1/4" CONT.
GJB	21	GERANIUM 'JOHNSON'S BLUE'	Geranium x 'Johnson's Blue'	1/4" POT.
GTH	9	GOLDEN TIARA HOSTA	Hosta 'Golden Tiara'	1/4" CONT.
RSH	9	ROYAL STANDARD HOSTA	Hosta 'Royal Standard'	1/4" CONT.
LK	24	LIATRIS KOBOLD	Liatris spicata 'Kobold'	1/4" POT.
RG	15	GOLDSTURM RUDBECKIA	Rudbeckia 'Goldsturm'	1/4" POT.
SMN	33	SALVIA 'MAY NIGHT'	Salvia x superba 'May Night'	1/4" POT.
ST	18	SPOROBIUS TARA	Sporobolus heterolepis 'Tara'	1/4" POT.

PLANTING SCHEDULE - NORTH AND EAST EXPOSURE

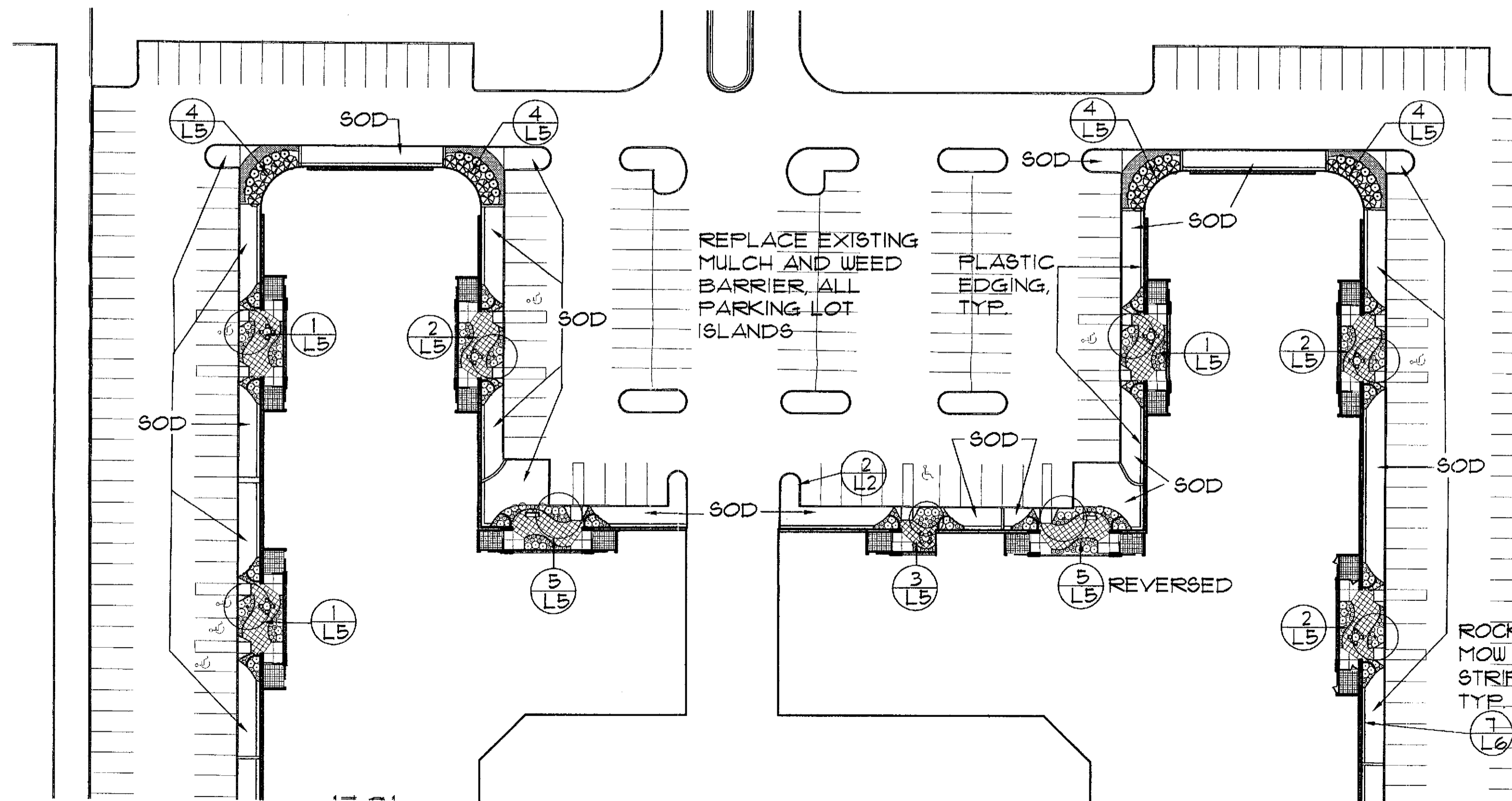
KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE
TREE				
AB3	9	AUTUMN BRILLIANCE SERVICEBERRY	Amelanchier x grandiflora 'Autumn Brilliance'	2" BB
SHRUBS				
AUS	23	ANTHONY WATERER SPIREA	Spiraea x bumalda 'Anthony Waterer'	1/2" CONT.
SB	30	SNOUBERRY	Symphoricarpos x doorenbosii 'Marleen'	1/2" CONT.
PERENNIALS				
BBA	66	BRESSINGHAM BEAUTY ASTILBE	Astilbe x arendsi 'Bressingham Beauty'	1/4" CONT.
DA	40	DEUTSCHLAND ASTILBE	Astilbe x arendsi 'Deutschland'	1/4" CONT.
GEK	35	GERANIUM 'BIOKOVO'	Geranium x 'Biokovo'	1/4" POT.
JFF	19	JAPANESE PAINTED FERN	Athyrium niponicum 'Picum'	1/4" CONT.
HRD	56	HAPPY RETURNS DAYLILY	Heimerocallis x 'Happy Returns'	1/4" CONT. 18" O.C.
AMH	16	AUGUST MOON HOSTA	Hosta 'August Moon'	1/4" CONT.
GTH	17	GOLDEN TIARA HOSTA	Hosta 'Golden Tiara'	1/4" CONT.

PLANTING SCHEDULE - CORNER PLANTINGS

KEY	QTY.	COMMON NAME	BOTANICAL NAME	SIZE
SHRUBS				
GOV	28	GREY OUL JUNIFER	Juniperus virginiana 'Grey Owl'	1/4" CONT.
DUE	20	DWARF WINGED ELONYMOUS	Eunymous alatus 'Compactus'	1/4" CONT.
ANN	1100	ANNUALS - MIXED, EVOLUTION BLUE SALVIA 1 MEDIUM DWARF YELLOW MARIGOLD 8" O.C. AREA=541 SF		

* ANNUALS CHANGE YEARLY AT THE DISCRETION OF THE OWNER. TYPES NOTED HERE UNDER 'BOTANICAL NAME' RECOMMENDED FOR INITIAL YEAR.

6 PLANT SCHEDULES
L5 NTS



1 PLANTING AREA KEY
L5 SCALE: 1" = 40'-0" AT 24 X 36

I hereby certify that this plan, specification, or report
was prepared by me or under my direct supervision
and that I am a duly registered Landscape Architect
under the laws of the State of Minnesota.

Signature: *James W. Wal*
Date: Reg. Number: 12579

Project Number: 0524

Drawn By: KMR

Original Issue Date: 05/21/05

Revision:	Date:	Description:

PLANTING PLANS

SHEET:

L5

OF: 6

CITY OF BLOOMINGTON, MN
LANDSCAPE PLAN APPROVED
FOR BOOTH
3/23/06
Landscape File



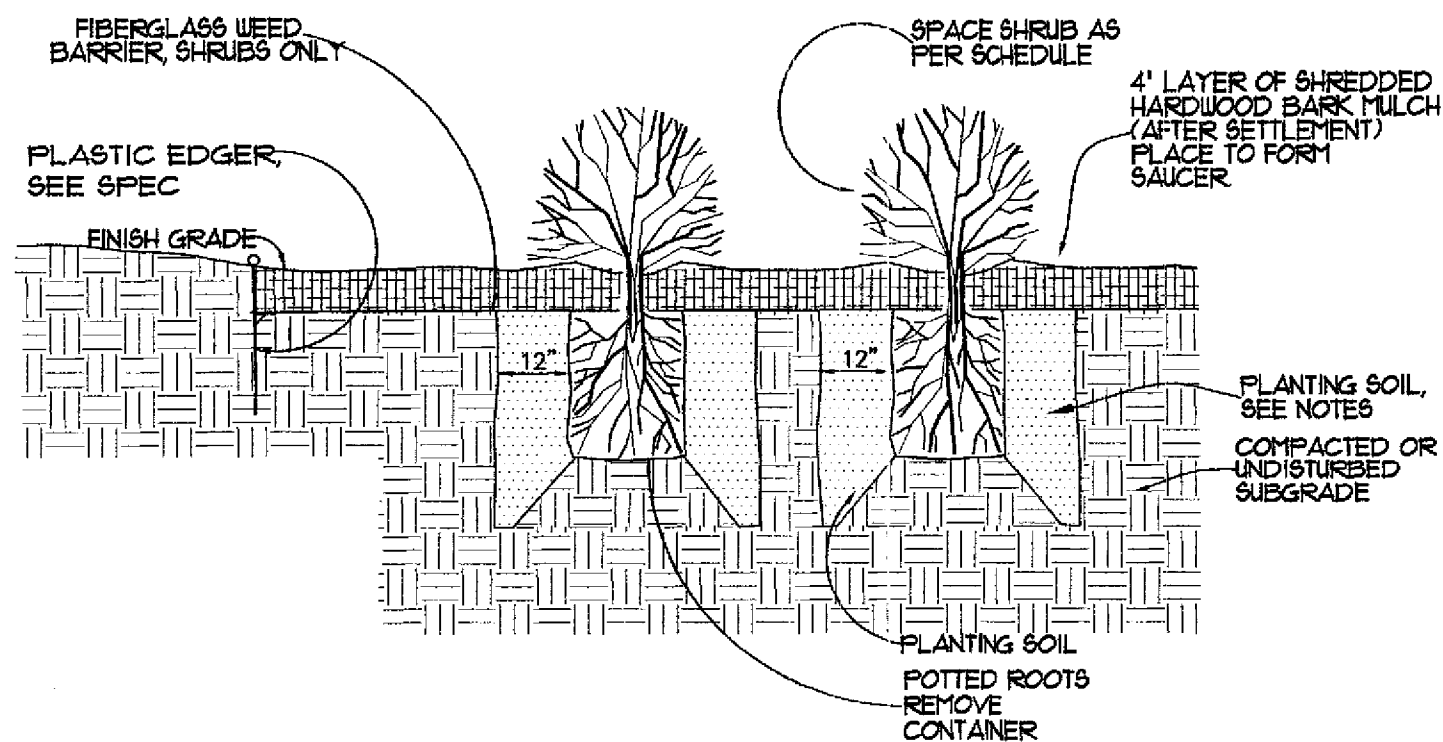
LANDSCAPE ARCHITECTS & PLANNERS
365 East Kellogg Blvd.
Saint Paul, MN 55101
Phone: (651) 221-0401
Fax: (651) 297-6817
E-mail: swbinc@swbinc.com

CEDAR BUSINESS CENTER

BLOOMINGTON,
MINNESOTA

PLANTING NOTES

1. ALL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHALL BE VERIFIED AND ADJUSTED AS REQUIRED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. REVIEW WITH LANDSCAPE ARCHITECT PRIOR TO DIGGING.
2. CALL GOPHER STATE ONE CALL AT 800-252-1166 (GREATER MINNESOTA) 48 HOURS BEFORE DIGGING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO SAME. HAND DIGGING MAY BE NECESSARY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS AND PERMITS GOVERNING THE WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN. VERIFY ALL QUANTITIES SHOWN ON THE PLANT SCHEDULE. MULCH AND PLANTING SOIL COSTS SHALL BE INCIDENTAL TO THE COST OF EACH TREE.
5. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL SOD/TURF WHICH HAS BEEN REMOVED FOR PLANT BEDS. ANY PLANT STOCK NOT PLANTED ON THE DAY OF DELIVERY SHALL BE HEELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
6. CONTRACTOR SHALL KEEP PAVEMENTS AND BUILDINGS CLEAN AND UNSTAINED. ALL WASTES SHALL BE PROMPTLY REMOVED FROM THE SITE. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. THE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF DISCREPANCIES EXIST.
8. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
9. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," ANSI-60, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.
10. ALL PLANTS SHALL BE GUARANTEED FOR ONE COMPLETE GROWING SEASON (APRIL 1-NOV.1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.
11. SEASONS/TIME OF PLANTING: DECIDUOUS POTTED PLANTS: APRIL 1 TO JUNE 1 AND AUG. 21 TO NOV. 1 DECIDUOUS B&B: APRIL 1 TO JUNE 1 AND AUG. 21 TO NOV. 1 EVERGREEN POTTED PLANTS: APRIL 1 TO MAY 15 AND AUG. 21 TO OCT. 1 EVERGREEN B&B POTTED PLANTS: APRIL 1 TO MAY 15 AND AUG. 21 TO SEPT.15
12. PLANTING SOIL FOR TREES, SHRUBS, PERENNIAL AND ANNUAL BEDS: SEE SPEC.
13. USE ANTI-DESSICANT (WILTPROF OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTIONS. ALL EVERGREENS SHALL BE SPRAYED IN LATE FALL FOR WINTER PROTECTION DURING THE WARRANTY PERIOD.
14. MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL IN ALL MASS PLANTING BEDS AND FOR TREES. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR TREES, 4" FOR SHRUB BEDS AND 3" FOR PERENNIAL BEDS, UNLESS OTHERWISE DIRECTED.
15. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY.
16. SOD ALL EXISTING LAWN AREAS DISTURBED BY CONSTRUCTION ACTIVITY.
17. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL SODDING ACTIVITIES WITH GENERAL CONTRACTOR.
18. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIALS SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF TH PLANTINGS IS COMPLETE, INSPECTION HAS BEEN MADE, AND PLANTING IS ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIAL, RESETTling PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
19. CONTRACTOR SHALL REQUEST IN WRITING A FINAL ACCEPTANCE INSPECTION.
20. SURVEY PROVIDED BY OTHERS. VERIFY ALL CRITICAL INFORMATION AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.



1
L6
NTS

NOTES:

PROVIDE AND INSTALL PLANT MATERIALS THAT MEET SPECIFICATIONS AND ARE OF THE SIZE TYPE, AND SPECIES GIVEN IN PLANT SCHEDULE.

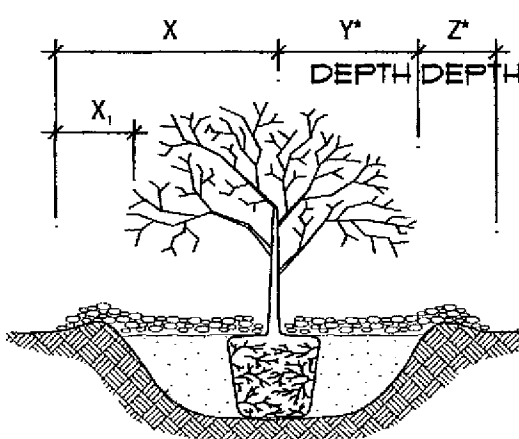
REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE OR SHRUB. DO NOT CUT THE LEADER.

DIG PLANT HOLES 12" MIN. LARGER THAN BALL, ALL SIDES.

BACK FILL WITH PLANTING SOIL - SEE NOTES

SCARIFY BOTTOM OF PLANTING HOLE.

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. IN CASE OF ANY DISCREPANCIES BETWEEN THIS DETAIL, PLANS OR SPECIFICATIONS, THE SPECIFICATION SHALL GOVERN.



SUBSIDENCE OR DETERIORATION OF MULCH IS ACCEPTABLE ONLY TO THE EXTENT THAT 2/3 OF ORIGINAL DEPTH MUST BE PRESENT AT FINAL ACCEPTANCE.

REPLACEMENT MATERIAL SHALL BE REQUIRED TO ESTABLISH MULCH AT ORIGINAL MULCH DEPTH.

REMOVE MULCH PLACED TO DEPTHS GREATER THAN THAT SPECIFIED WHEN DIRECTED BY THE LANDSCAPE ARCHITECT.

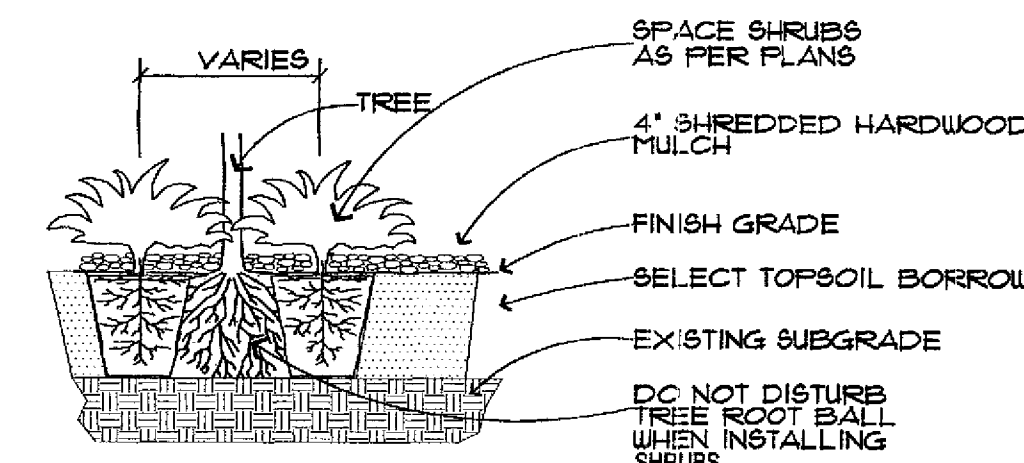
MULCH PLACEMENT

PLANT TYPE	X	Y	Z
DECIDUOUS TREES	3' MIN	N/A	6"
EVERGREEN TREES	VARIES	3' MIN	6"
DECIDUOUS SHRUBS	3' MIN	N/A	4"
PERENNIALS	N/A	N/A	3"

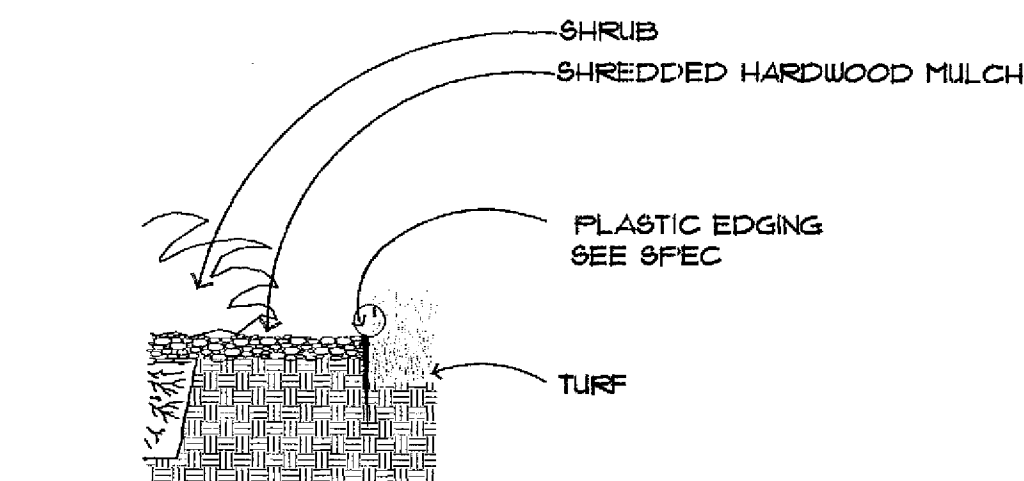
* X&Z ARE DEPTHS OF MULCH FOR THAT AREA

NOTE: ALL MULCH TO BE SHREDDED HARDWOOD. MULCH IS INCIDENTAL TO LANDSCAPE PLANTING

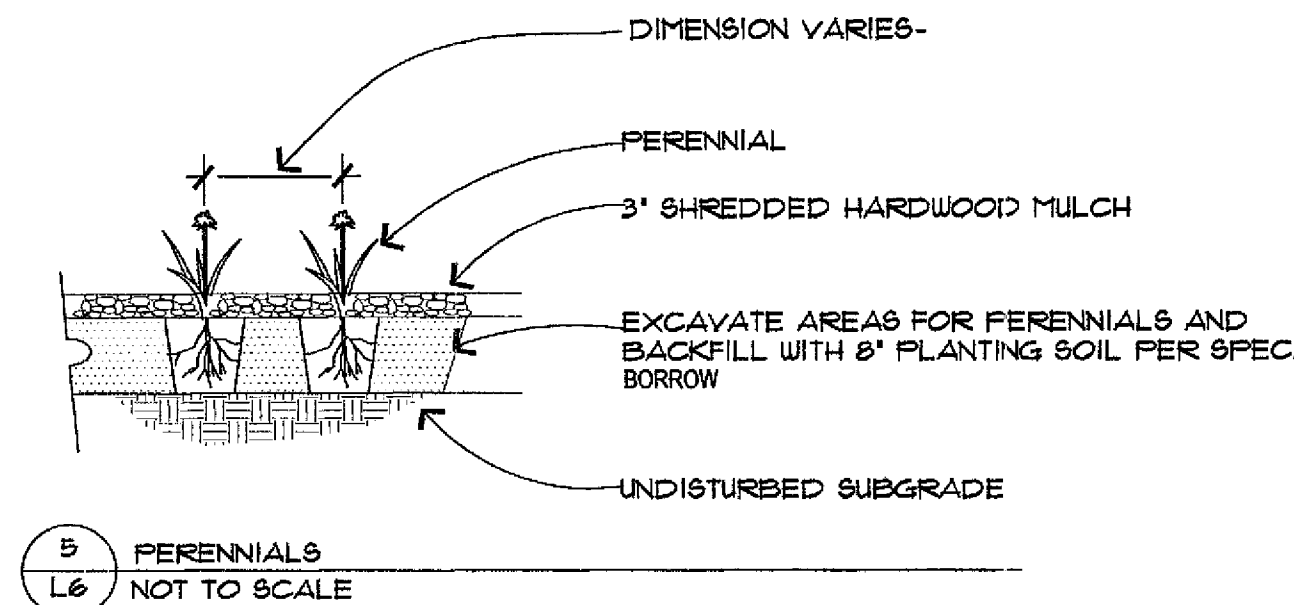
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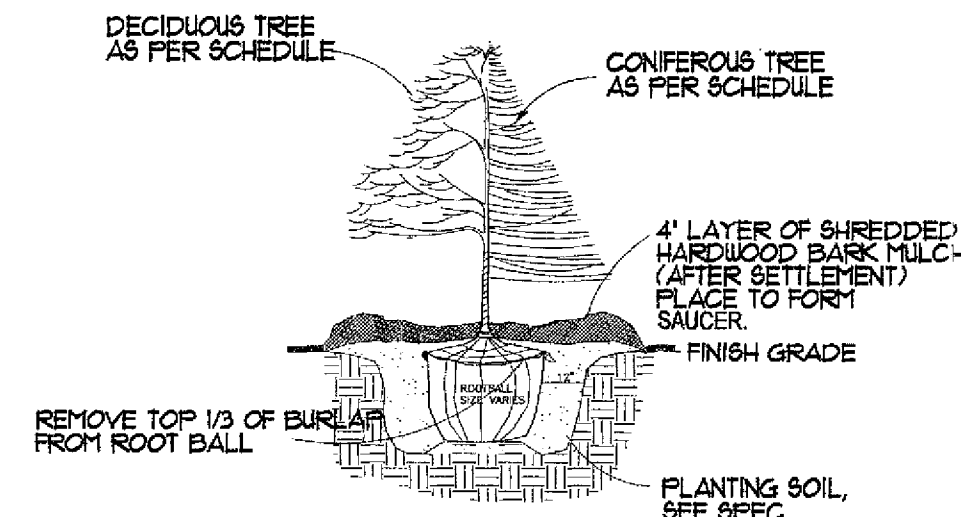
4
L6
NTS



5
L6
NTS

NOTES:

DO NOT PLACE WEED BARRIER FABRIC UNDER PERENNIALS



6
L6
NTS

NOTES:

SCARIFY SIDES AND BOTTOM OF HOLE

SET PLANT ON UNDISTURBED NATIVE SOIL, OR THOROUGHLY COMPACTED BACK FILL SOIL. PLANTS SHOULD BE SET WHEREBY THE BEGINNING TAPER OF THE ROOT FLARE IS AT THE SAME ELEVATION AS THE FINISHED GRADE. BALLED AND BURLAPPED PLANTS ARE UNACCEPTABLE WHEN THE FIRST BRANCHING ROOT IS COVERED BY MORE THAN 2\"/>

PLANT WITH BASKET/BURLAP IN PLACE. ONCE IN PLACE, THE PLANT SHALL BE BACK FILLED TO WITHIN 12\"/>

PLUMB THE TREE AND BACK FILL WITH THE PLANTING SOIL SPECIFIED.

APPLY WATER TO SETTLE PLANTS AND FILL VOIDS.

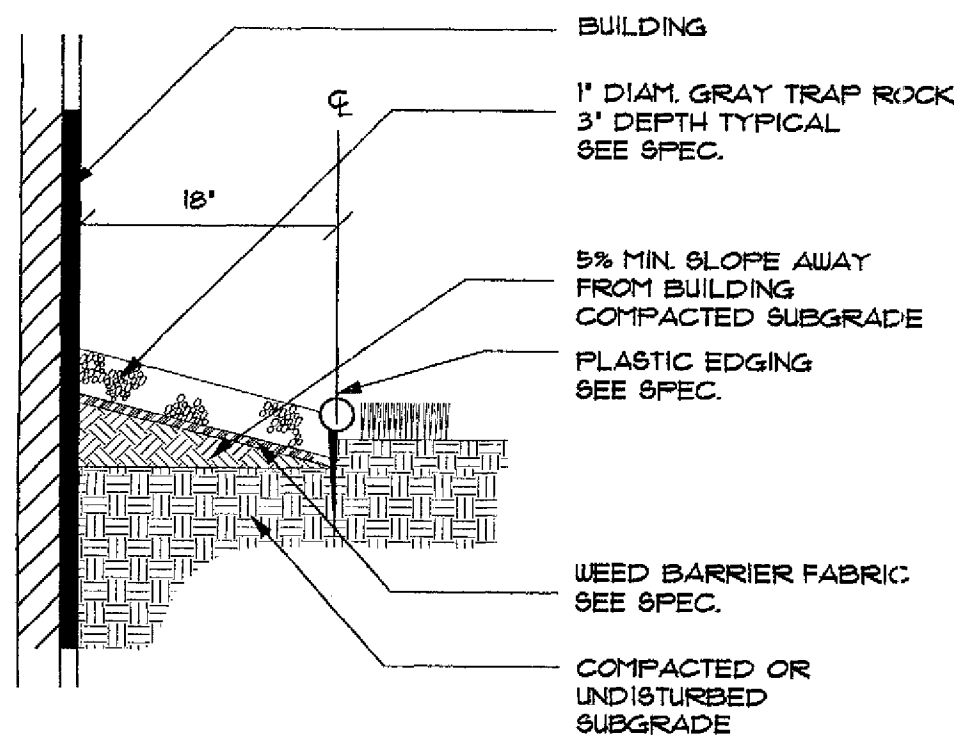
WATER THOROUGHLY WITHIN 2 HOURS. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING, UNLESS SOIL MOISTURE IS EXCESSIVE. PROVIDE AND INSTALL PLANT MATERIALS THAT MEET SPECIFICATIONS AND ARE OF THE SIZE TYPE, AND SPECIES GIVEN IN PLANT SCHEDULE.

REMOVE DEAD OR DAMAGED BRANCHES. RETAIN THE NATURAL FORM OF THE TREE OR SHRUB. DO NOT CUT THE LEADER.

DIG PLANT HOLES 12" MIN. LARGER THAN BALL, ALL SIDES.

BACK FILL WITH PLANTING SOIL - SEE SPEC.

SCARIFY BOTTOM OF PLANTING HOLE.



7
L6
NTS

3/23/06

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly registered Landscape Architect under the laws of the State of Minnesota.

Signature: *James W. Wacker*
Date: *Reg. Number: 12519*

Project Number:	0524	
Drawn By:	KMR	
Original Issue Date:	02/21/06	
Revision:	Date:	Description:

PLANTING DETAILS

SHEET: **L6**
OF: 6

Cedar Business Center

CASE #PL2022-93

An Office/Service Building

INDEX TO DRAWINGS

ARCHITECTURAL	STRUCTURAL
A1 SITE PLAN	S1 FOOTING-FOUNDATION PLAN
A2 FLOOR PLAN	S2 FOUNDATION DETAILS (NOTES)
A3 ELEVATIONS, SCHEDULES	S3 ROOF FRAMING PLAN
A4 WALL SECTIONS	S4 DETAILS
A5 WALL SECTIONS	S5 ENTRY DETAILS
A6 BATHROOMS, ENTRY DTLS.	

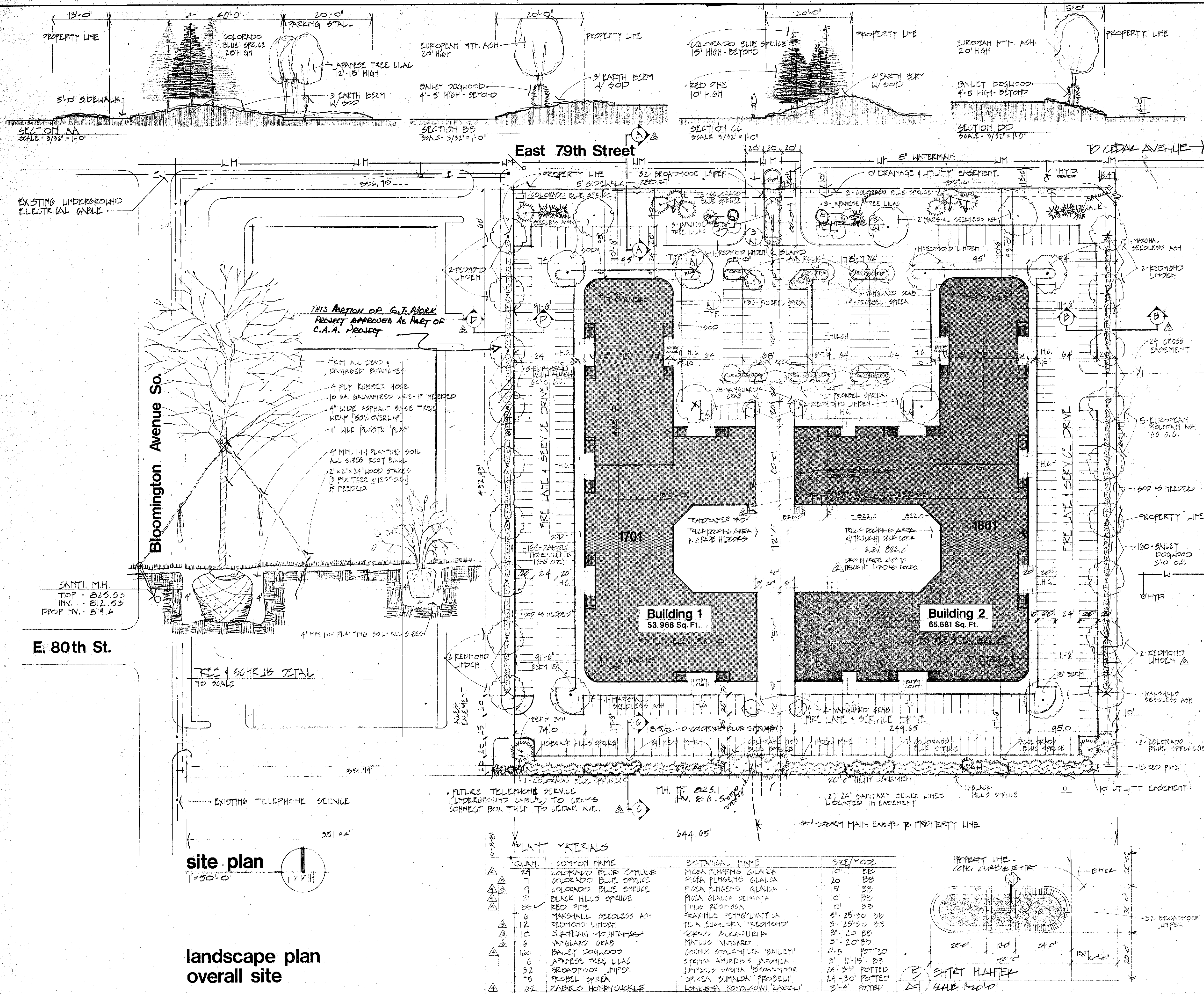
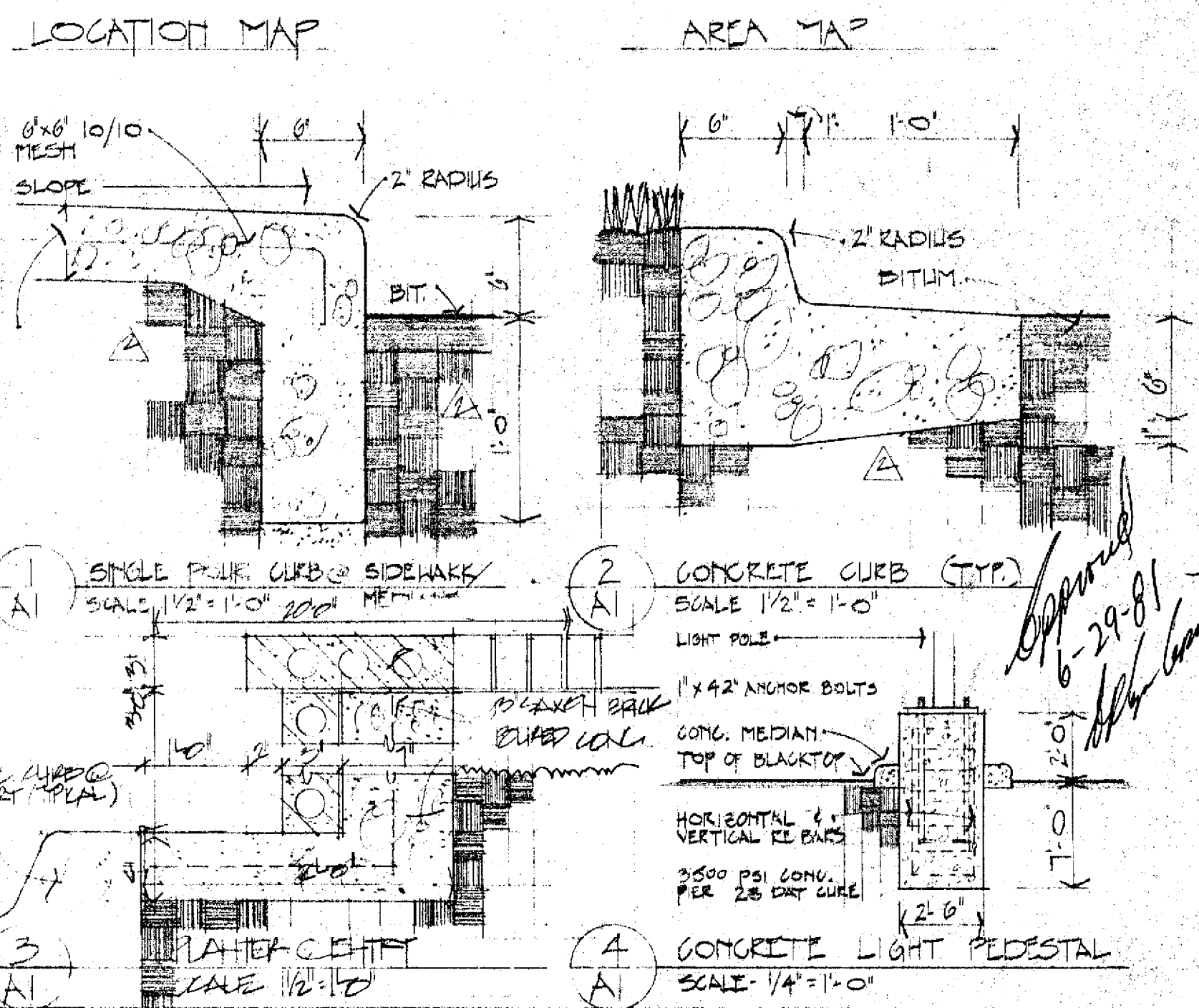
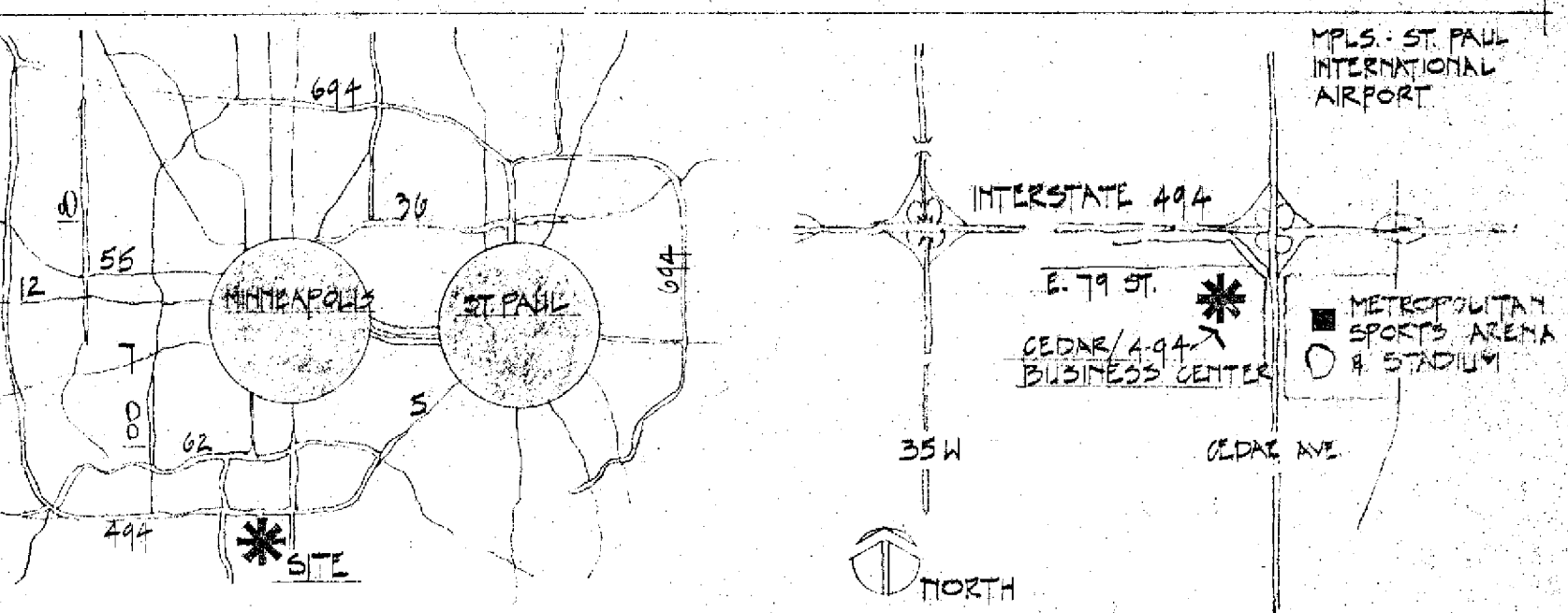
CIVIL ENGINEERING

- C1 GRADING & DRAINAGE PLAN
C2 UTILITY PLAN

1. ANY CHANGES OR ALTERATIONS TO APPROVED LANDSCAPE PLAN MUST BE APPROVED BY DIRECTOR OF PLANNING

SITE INFORMATION

SITE AREA - 9.1 ACRES 391,486 SQ. FT.	BUILDING 1 - 178,243 SQ. FT. - 4.09 ACRES BUILDING 2 - 214,993 SQ. FT. - 4.94 ACRES	TOTAL - 10.08 ACRES 396,239 SQ. FT.
OFFICE SQ. FT. - 89,043 WAREHOUSE SQ. FT. - 14,433 MECHANICAL SQ. FT. - 442	44,544 SQ. FT. 10,895 SQ. FT. 442 SQ. FT.	83,587 SQ. FT. 25,328 SQ. FT. 884 SQ. FT.
TOTAL SQUARE FOOTAGE - 53,903 SQ. FT.	65,881 SQ. FT.	119,784 SQ. FT.
TOTAL BUILDING AREA - 19,649 SQ. FT.	30% SITE COVERAGE	
PARKING REQUIRED - OFFICE - 83,587 SQ. FT. @ 1 STALL PER 200 SQ. FT. - 418 WAREHOUSE - 25,328 SQ. FT. @ 1 STALL PER 800 SQ. FT. - 45		TOTAL - 463 STALLS
PARKING PROVIDED - 465 STALLS		



Cedar Business Center

Bloomington, Minnesota

Developer:
Cedar Avenue Associates
Marfield, Belgarde, & Yaffe
7841 Wayzata Blvd.
St. Louis Park, Mn. 55426

du'monceaux
and associates
architects - planners
3400 W. 66th St., Suite 385
Edina, Minnesota 55435
telephone 612-927-6766

Date 12/18/82 Reg. No. 12580
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered professional engineer under the laws of the State of Minnesota.

21 AUG 1983
15 JUL 1983
14 JUL 1983
13 JUL 1983
12 JUL 1983
11 JUL 1983
10 JUL 1983
9 JUL 1983
8 JUL 1983
7 JUL 1983
6 JUL 1983
5 JUL 1983
4 JUL 1983
3 JUL 1983
2 JUL 1983
1 JUL 1983

Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
<div>□</div> <div>•</div> <div>□</div>	AA	2	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-04-LED-E1-SL3	GALLEON AREA AND ROADWAY LUMINAIRE (4) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III SPILL LIGHT ELIMINATOR OPTICS		375	0.81	450
<div>□</div>	BB	2	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GWC-AF-02-LED-E1-T4FT-1200	GALLEON WALL LUMINAIRE (2) 70 CRI, 4000K, 1200mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS		428	0.81	129

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	+	1.6 fc	3.2 fc	0.8 fc	4.0:1	2.0:1
Parking	+	1.6 fc	3.2 fc	0.8 fc	4.0:1	2.0:1

PL2018-221
PL201800221

Lighting Plan Approved
Zoning Review Only
By Liz O'Day on Sept. 20, 2018

CASE #PL2022-93



Cedar Business Center
1701 & 1801 American Blvd. E.
Bloomington, MN

Amber Forester

Designer	Amber Forester
Date	9/18/2018
Scale	Not to Scale
Drawing No.	L0
Summary	Maintained Lighting Calculations

Plan View
Scale - 1" = 40ft

PL201800113
PL2018-113

CASE #PL2022-93

DESCRIPTION OF PROPERTY SURVEYED

(Per Chicago Title Insurance Company Commitment for Title Insurance Commitment No. 235882, effective date May 29, 2014)

Lots 2 and 3, Block 1, Cedar Park Addition, according to the plat thereof recorded November 13, 1979, EXCEPT the following described property taken by the City of Bloomington by Partial Final Certificate, filed as Document No. 2092196: That part of Lot 3 lying Northerly of the following described line: Commencing at the Northwest corner of said Lot 3; thence South 89 degrees 58 minutes 39 seconds East (assumed bearing) along the North line of said Lot 3 a distance of 195.62 feet to the point of beginning of the line to be described; thence South 87 degrees 05 minutes 44 seconds East a distance of 62.82 feet; thence Easterly along a tangential curve, concave to the North, having a radius of 11496.83 feet, a central angle of 00 degrees 22 minutes 40 seconds, a distance of 75.83 feet; thence Southeasterly a distance of 9.34 feet along a reverse curve, concave to the South, having a radius of 39.33 feet and an central angle of 13 degrees 36 minutes 16 seconds to the intersection with the Northeasterly line of said Lot 3 and there terminating.

Together with a non-exclusive easement for vehicular and pedestrian access over, under and across the North 25 feet of the South 60 feet of Lot 1, Block 1, Cedar Park Addition, which is now described as Condominium No. 334, Cedar Square, a condominium located in the County of Hennepin, which is for the benefit of Lots 2 and 3, Block 1, Cedar Park Addition, which easement was granted in Document No. 1446333 pursuant to Document No. 1524616.

Together with a non-exclusive easement over, under and across the East 15 feet of the North 558 feet and the South 35 feet of the East 15 feet of Lot 1, Block 1, Cedar Park Addition, which is now described as Condominium No. 334, Cedar Square, a condominium located in the County of Hennepin, which is for the benefit of Lots 2 and 3, Block 1, Cedar Park Addition, which easement was granted in Document No. 1432501; subject to and together with the obligations and privileges therein specifically set forth, which easement terminates 30 years after June 18, 1981, pursuant to order Document No. 1524616.

Torrens Property
Certificate of Title No. 1367273

PLAT RECORDING INFORMATION

The plat of Cedar Park Addition was filed of record on November 13, 1979, as Document No. 1357205.

TITLE COMMITMENT

Chicago Title Insurance Company Commitment for Title Insurance Commitment No. 235882, effective date May 29, 2014, was relied upon as to matters of record.

Schedule B Exceptions:

- ① Exceptions are indicated on survey with circled numbers where applicable.
- Subject to utility easements as shown on plat; (as to Lot 2) (Shown as a recital on Certificate No. 1367273) [shown on survey]
 - Subject to drainage and utility easements as shown on plat; (Shown as a recital on Certificate No. 1367273) [shown on survey]
 - Subject to a power line easement in favor of the Northern States Power Company as set forth in an instrument of record in Book 264 of Miscellaneous Records, page 511; (now as to that part of Lot 3 embraced within Tract A, Registered Land Survey No. 787 and as to Lot 2) (Shown as a recital on Certificate No. 1367273) [Easement lies north of the subject property, as shown on survey]
 - Terms and conditions of easements as contained in Quit Claim Deed, recorded November 13, 1979 as Document No. 1357206 [shown on survey]
 - Terms and conditions of easements as contained in Quit Claim Deed, recorded November 13, 1979 as Document No. 1357207 [shown on survey]
 - Terms and conditions of easements as contained in Quit Claim Deed, recorded November 13, 1979 as Document No. 1357208 [shown on survey]
 - Terms and conditions of Agreement, dated December 18, 1980, filed January 26, 1983, as Document No. 1499056 [not shown on survey]
 - Terms and conditions of Final Certificate, recorded April 27, 1990 as Document No. 2092196 [shown on survey]
 - Terms and conditions of Final Certificate, dated May 12, 1998, filed May 19, 1998, as Document No. 3034254
Amended by Final Certificate, dated November 15, 2002, filed November 18, 2002, as Document No. 3632587 [shown on survey]
 - Terms and conditions of Resolution, dated December 2, 2002, filed January 9, 2003, as Document No. 3660640. [not shown on survey]
 - Terms and conditions of Resolution, dated December 2, 2002, filed January 9, 2003, as Document No. 3660641. [not shown on survey]

GENERAL NOTES

- Adjoining ownership information shown hereon was obtained from the Hennepin County Property Tax Information web site. Ownership information is subject to revision upon receipt of a title search by a title insurance company.
- Survey coordinate and bearing basis: Hennepin County Coordinates
- There was no observed evidence of current earth moving work, building construction or building additions.
- There was no observed evidence of recent street or sidewalk construction or repairs. Per the City of Bloomington Engineering Department, there are no proposed changes in street right of way lines.
- There was no observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- Physical features shown hereon are as they appeared on May 21, 2014.

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, excavation may be necessary.
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 141392219 and 141392210.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

FLOOD ZONE NOTE

- The subject property appears to lie within Zone X (Areas determined to be outside the 0.2% annual chance floodplain) per the National Flood Insurance Program, Flood Insurance Rate Map Community Panel Nos. 2752300457E and 2752300476E, both dated September 2, 2004. This information was obtained from the FEMA Map Service Center web site.

ZONING NOTES

- Zoning and setback information shown hereon is per zoning letters dated July 8, 2014, prepared by the City of Bloomington, provided by Onward Investors, LLC.

The subject property is zoned: FD-1 (AR-22) Freeway Development (Airport Runway District Overlay Zone)

The setbacks in the FD-1 Zoning District are:

Front - building / parking (from the Planned Widened Right-of-Way): 60 feet / 20 feet

Side - building / parking: 60 feet / 5 feet

Rear - building / parking: 25 feet / 5 feet

(See said zoning letters for further information on setbacks)

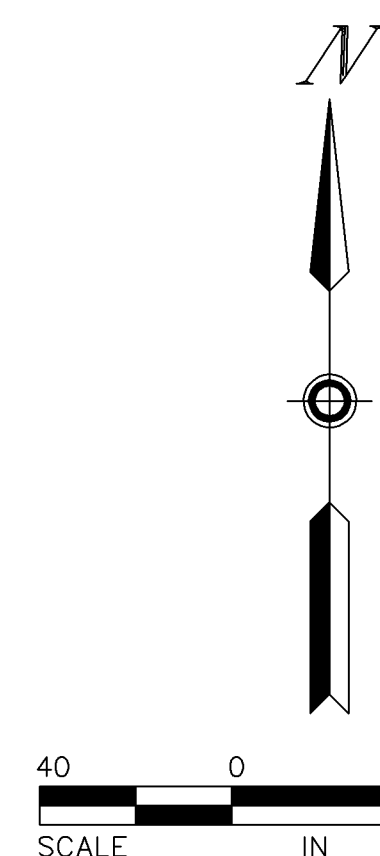
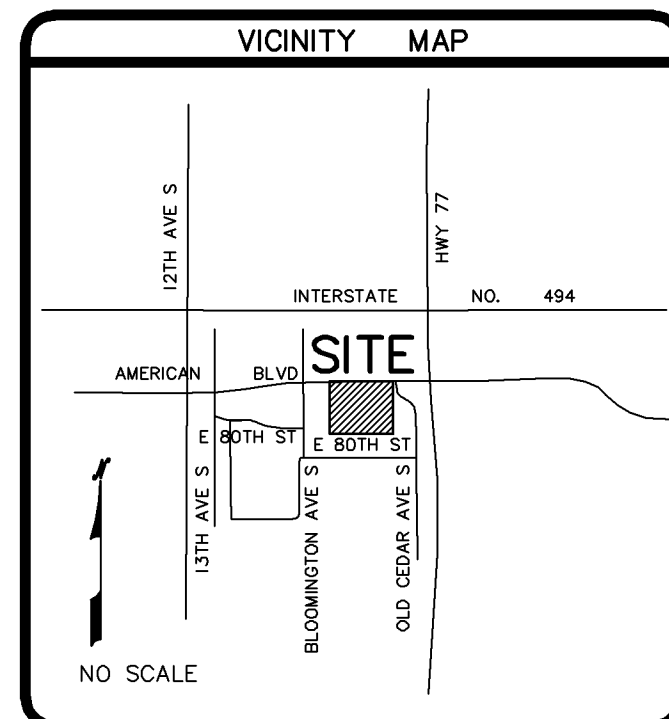
- Parking: 424 Regular Spaces
19 Handicap Spaces
443 Total Spaces

AREA

Gross = 396,938 square feet or 9.112 acres
Net = 381,523 square feet or 8.759 acres (Excludes proposed new 60 ft. R/W)

LEGEND

- Denotes iron monument set marked with PLS No. 15480
- Denotes iron monument found
- Denotes 1.17 inch diameter brass colored copper magnetized marker with disc cap affixed stamped LS-15480 set
- BE Denotes building entrance
- CB Denotes catch basin
- CP Denotes cast iron pipe
- DIP Denotes ductile iron pipe
- EMH Denotes electric manhole
- PH Denotes fire hookup
- GM Denotes gas meter
- GP Denotes guard post
- HCR Denotes handicap ramp
- HCS Denotes handicap parking sign
- HHC Denotes communication hand hole
- HYD Denotes fire hydrant
- LA Denotes landscaping
- LP Denotes light pole
- MD Denotes manhole
- OD Denotes overhead door
- OHE Denotes overhead electric line
- (P) Denotes per plan
- PV Denotes prest indicator valve
- PP Denotes parking sign
- PVC Denotes power pole
- PR Denotes polyvinylchloride pipe
- RCP Denotes reinforced concrete pipe
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- ST S Denotes storm sewer
- TB Denotes telephone box
- TCS Denotes traffic control sign
- TMH Denotes telephone manhole
- TRANS Denotes transformer
- USE Denotes underground electric line
- W Denotes water line
- WHH Denotes water manhole
- WV Denotes water valve
- Denotes shrub
- Denotes evergreen tree
- Denotes deciduous tree



I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

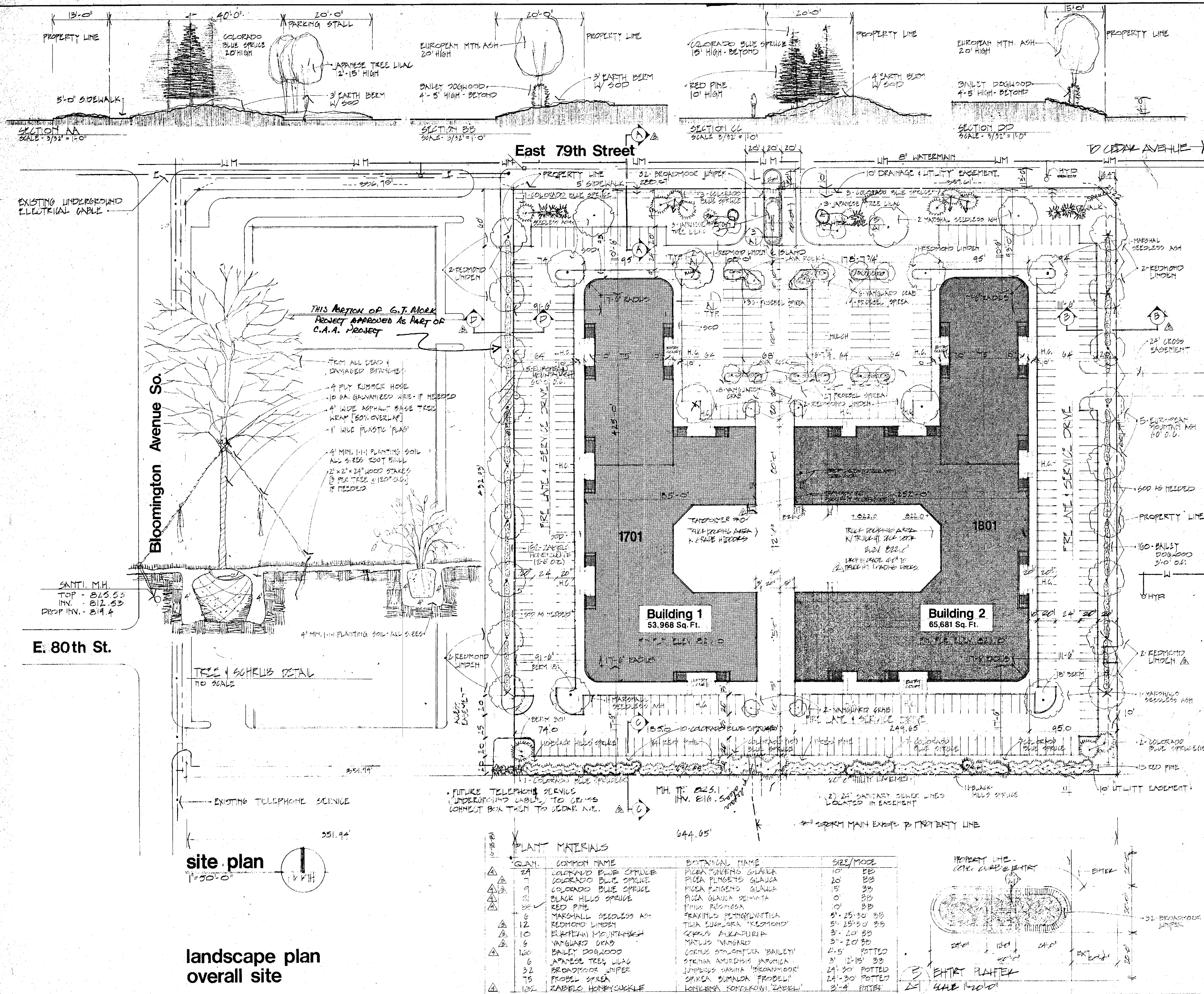
Dated this 23rd day of March, 2018

SUNDE LAND SURVEYING, LLC.

By: *Allee J. Gilman*
Allee J. Gilman, P.L.S. Minn. Lic. No. 44900

Added Proposed Right of Way, revised net area	MAP	3/23/2018
Zoning letter, comments	SMT	08/20/2014
Revision	By	Date
Survey originally dated August 20, 2014	MAP	

Drawing Title:		SURVEY FOR: ONWARD INVESTORS 1701 AND 1801 AMERICAN BOULEVARD EAST BLOOMINGTON, MN	
		Main Office: 1801 East Bloomington Freeway (25W) • Suite 118 Bloomington, Minnesota 55420-3435 952-461-2450 (Fax: 952-588-9538)	
Project: 97-149-B		Bk/Pg: 856/19	Date: 03/23/2018
Township: 27		Range: 24	Section: 2
File: 97149B001.DWG		Sheet: 1 of 1	



Cedar Business Center

Case #PL2022-93

An Office/Service Building

INDEX TO DRAWINGS

ARCHITECTURAL	STRUCTURAL
A1 SITE PLAN	S1 FOOTING-FOUNDATION PLAN
A2 FLOOR PLAN	S2 FOUNDATION DETAILS
A3 ELEVATIONS, EXTERIOR	S3 ROOF FRAMING PLAN
A4 ELEVATIONS, INTERIOR	S4 WALL SECTIONS
A5 WALL SECTIONS	S5 ENTRY DETAILS
A6 BATHROOM, ENTRY DTLS.	
CIVIL ENGINEERING	
C1 GRADING & DRAINAGE PLAN	
C2 UTILITY PLAN	

1. ANY CHANGES OR ALTERATIONS TO APPROVED LANDSCAPE PLAN MUST BE APPROVED BY DIRECTOR OF PLANNING

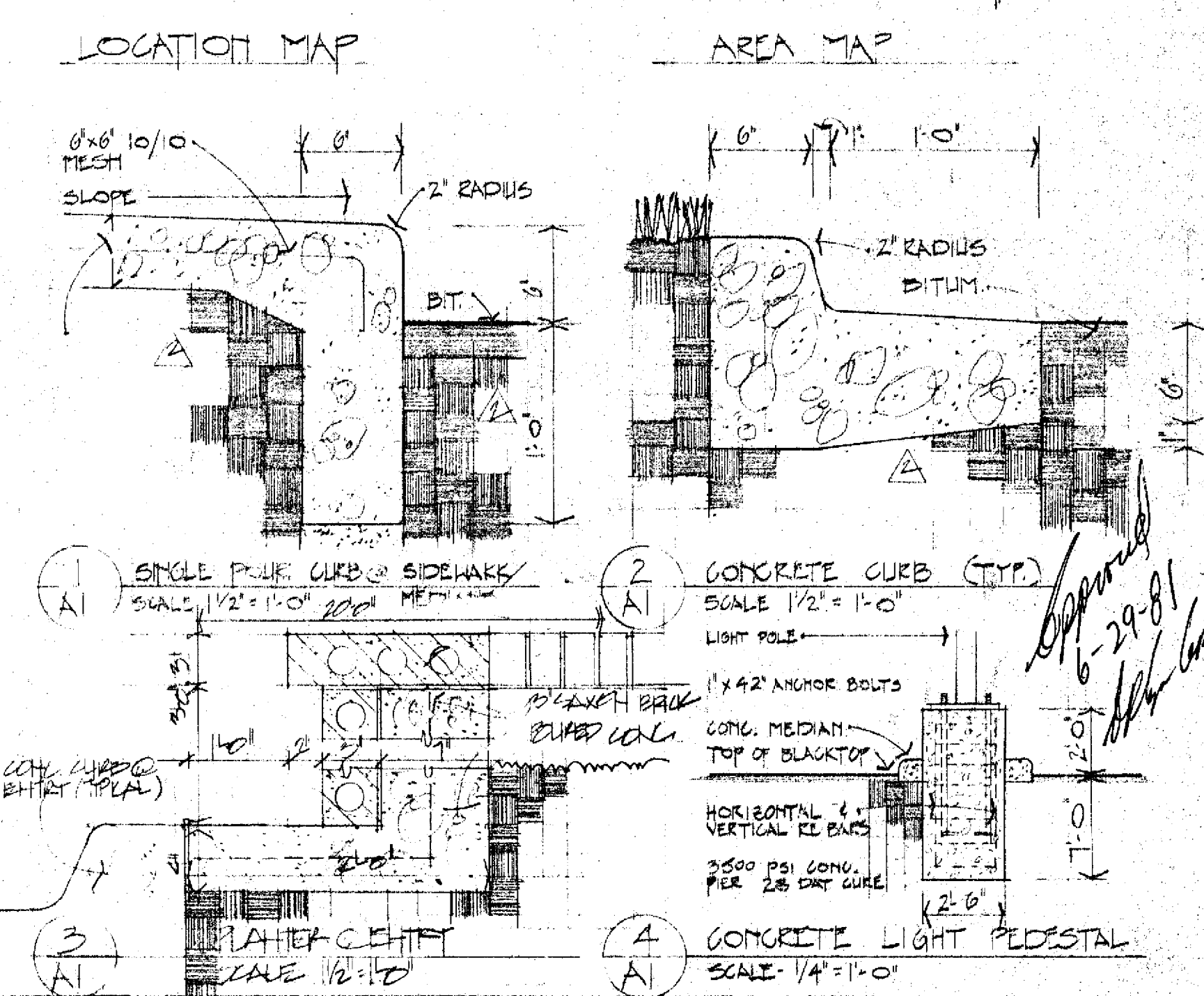
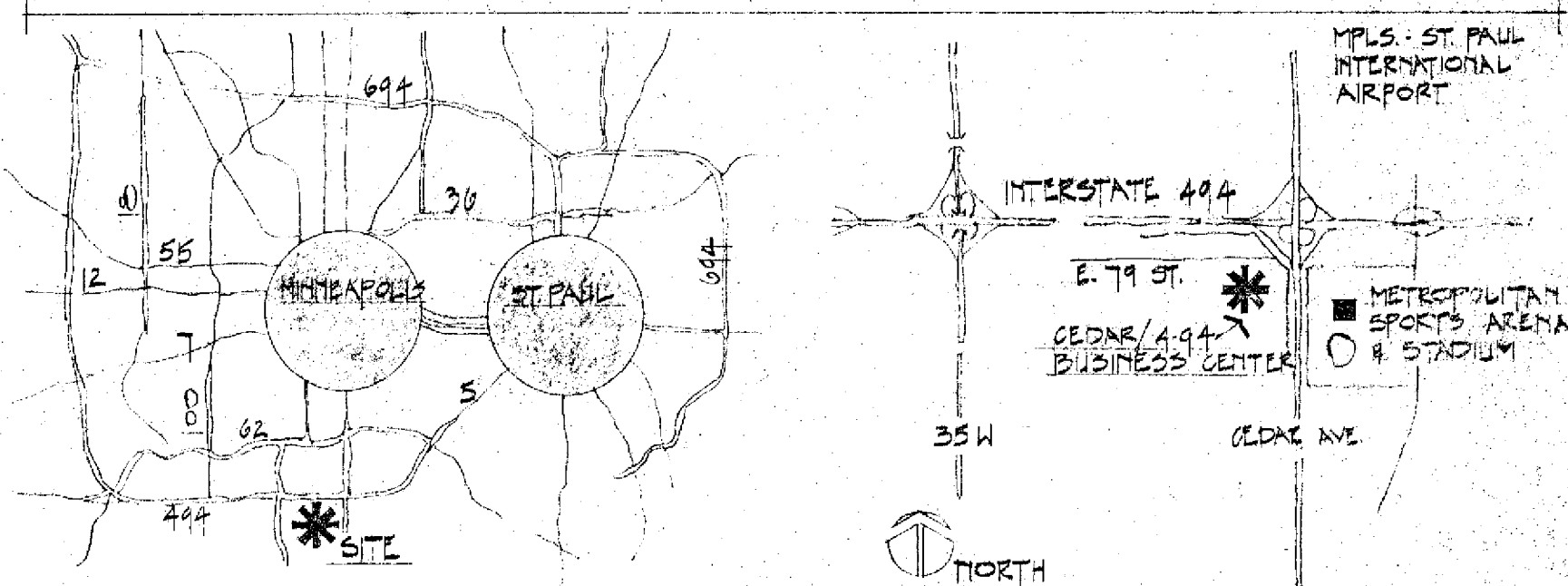
SITE INFORMATION

	BLDG. 1	BLDG. 2	TOTAL	%
SITE AREA - 9.1 ACRES	178,293 SQ. FT.	219,193 SQ. FT.	397,486 SQ. FT.	100%
OFFICE SQ. FT.	89,090 SQ. FT.	44,544 SQ. FT.	133,634 SQ. FT.	33.6%
WAREHOUSE SQ. FT.	14,433 SQ. FT.	20,895 SQ. FT.	35,328 SQ. FT.	8.9%
MECHANICAL SQ. FT.	442 SQ. FT.	442 SQ. FT.	884 SQ. FT.	0.2%
TOTAL SQUARE FOOTAGE	53,968 SQ. FT.	65,681 SQ. FT.	119,649 SQ. FT.	30.1%
TOTAL BUILDING AREA	119,649 SQ. FT.	30.1% SITE COVERAGE		

PARKING REQUIRED -

OFFICE	83,631 SQ. FT.	415 STALLS PER 200 SQ. FT.	415
WAREHOUSE	35,328 SQ. FT.	45 STALLS PER 800 SQ. FT.	45
TOTAL			460 STALLS

PARKING PROVIDED - 465 STALLS



Cedar Business Center

Bloomington, Minnesota

Developer:

Cedar Avenue Associates
Marfield, Belgarde, & Yaffe
7841 Wayzata Blvd.
St. Louis Park, Mn. 55426

du'monceaux and associates
architects - planners
3400 W. 66th St., Suite 385
Edina, Minnesota 55435
telephone 612-927-6766

Date: 12/15/82 Reg. No. 12580

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered professional engineer under the laws of the State of Minnesota.

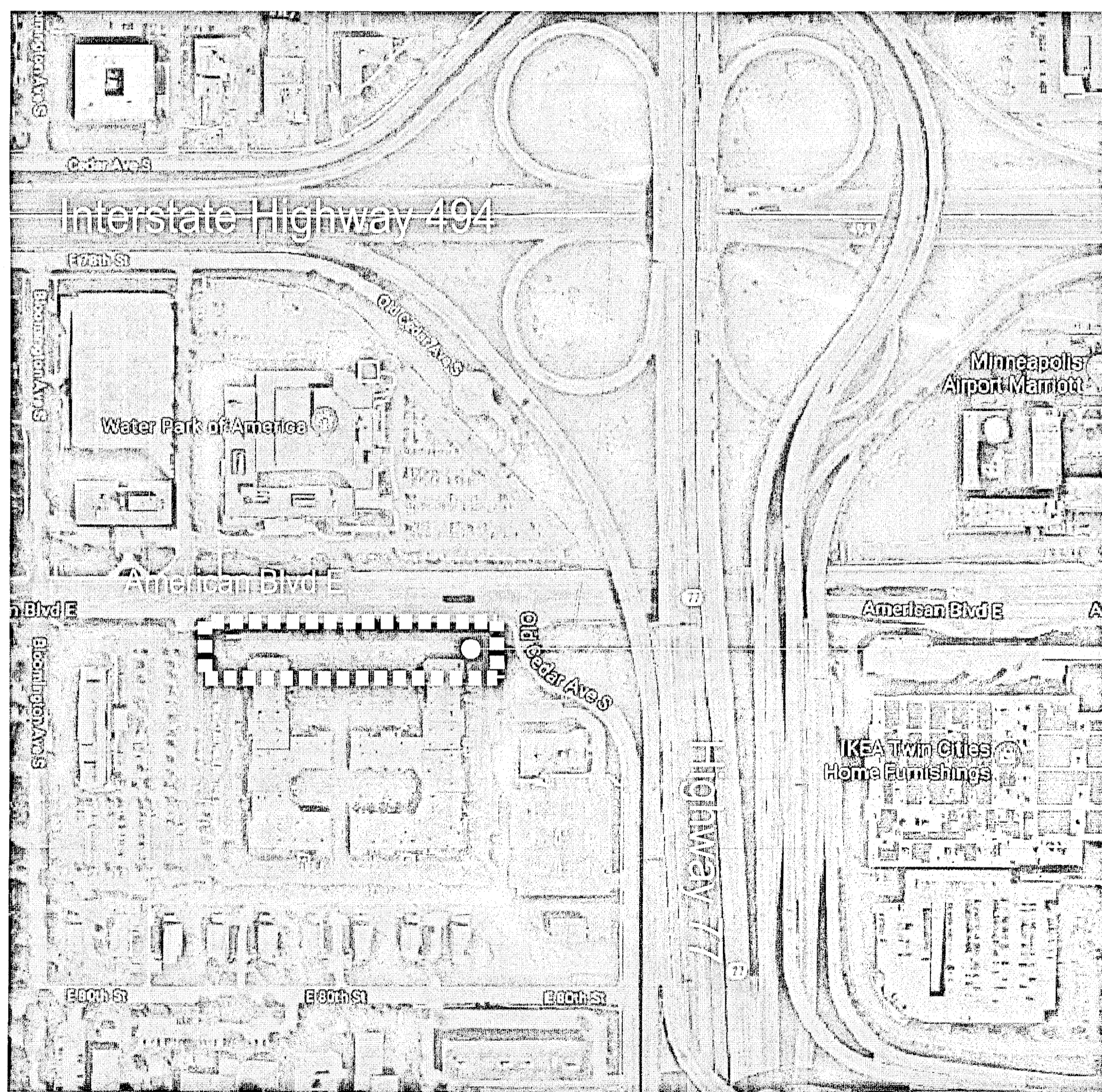
21 AUG 1983
15 JUL 1983
4 JUL 1983
16 JUN 1983

1

Sheet Index:

- L1.0 Title Page
- L1.1 Removals and Erosion Control Plan
- L1.2 Dimension Site Plan
- L1.3 Grading Plan
- L1.4 Landscape Plan
- L1.5 Landscape Details

Owner Review Set
March 9, 2018



SITE LOCATOR MAP:



Project Area

SITE AND LANDSCAPE IMPROVEMENT CONSTRUCTION PACKAGE FOR:

Cedar Office Park

Parking Addition Project
Bloomington, Minnesota

Site Data:

Existing Total Lot Area:	396,930sf (9.112 Acres)
Existing Building Area:	119,916sf
Existing Paved Area:	202,888sf
Existing Pervious Area:	74,126sf
Existing Parking Count:	443
Proposed Parking Area:	3,376sf
Proposed Parking Count:	464
Impervious Increase:	.01%

PRELIMINARY
NOT FOR
CONSTRUCTION

Consultant:

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102
telephone: 651.788.9018
Internet: www.calyxdesigngroup.com

WELSH
ARCHITECTURE

WELSH
CONSTRUCTION

Property Owner:

Alidade
Capital

Project Name:

**CEDAR
OFFICE
PARK**

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

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SCALE: AS NOTED

DATE: 03/9/2018

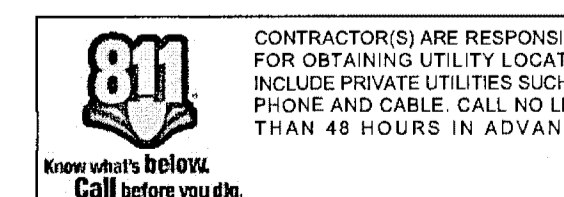
REVISIONS:

03/26/18: FUTURE ROW LINE

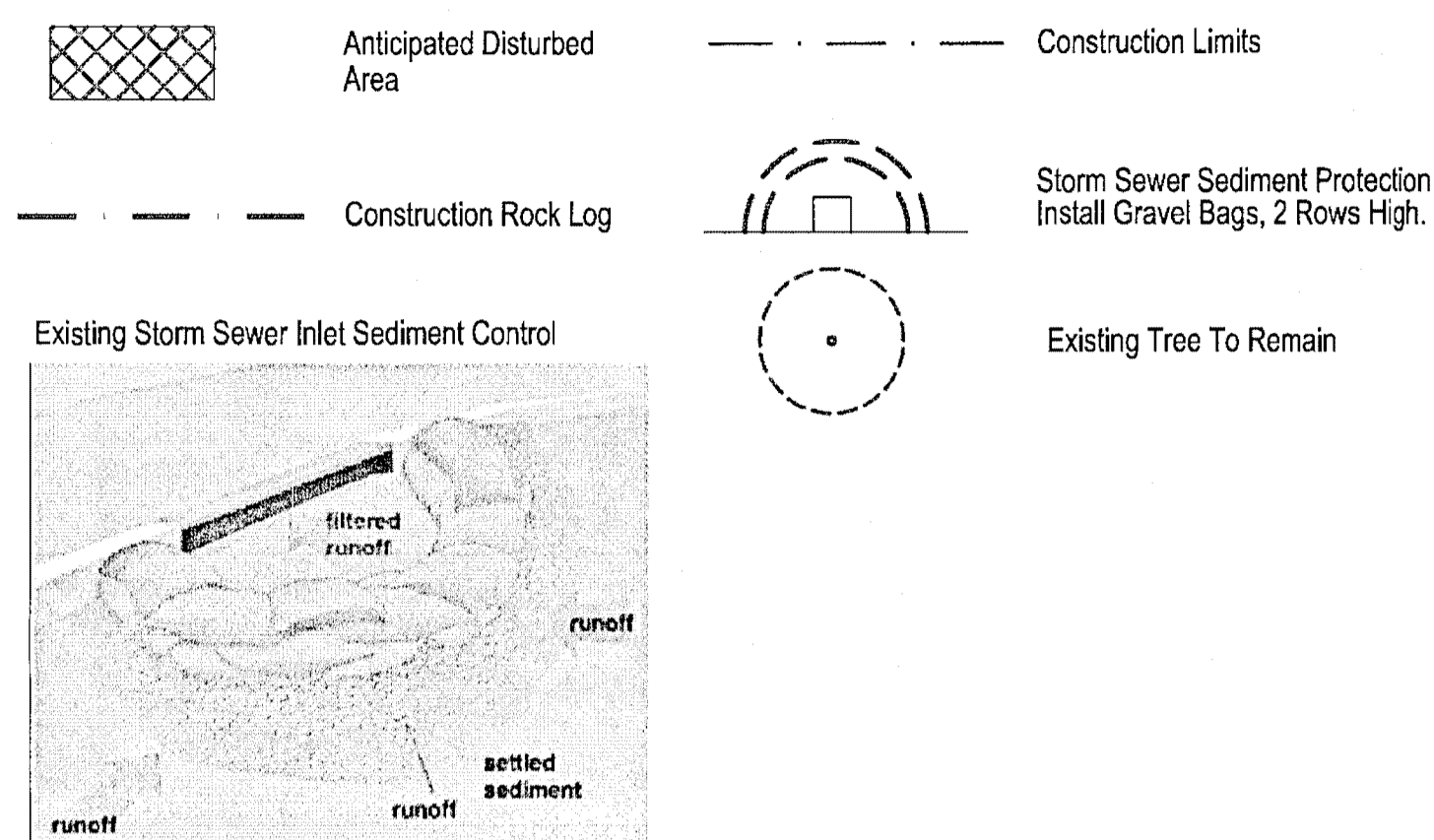
PRELIMINARY

TITLE SHEET

L1.0



LEGEND:

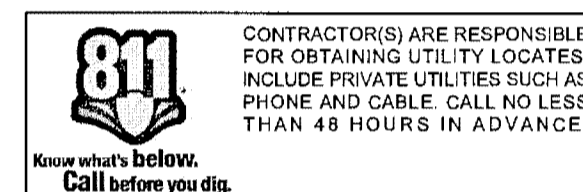


GENERAL NOTES:

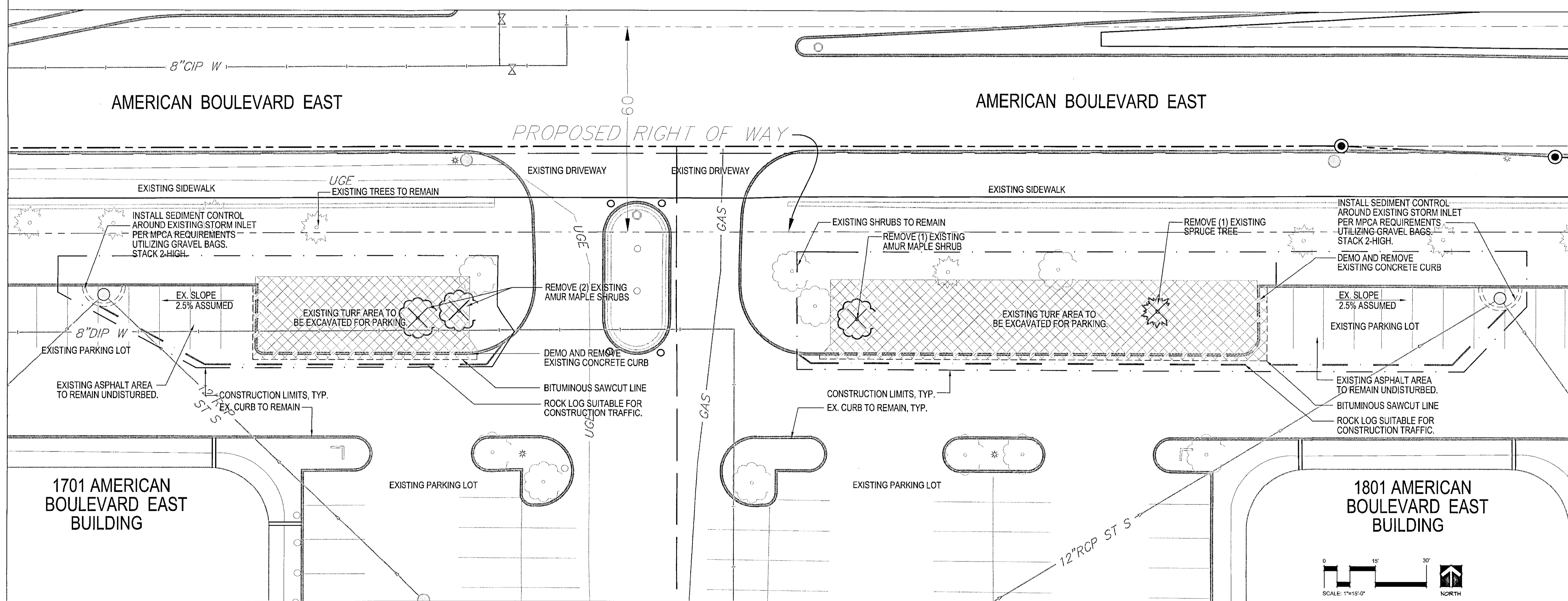
1. ALL CONTRACTORS ARE REQUIRED TO CONTACT Gopher State ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
2. BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
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3. CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
4. MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
5. REFER TO SHEET 11.2 FOR SITE AND PAVING LAYOUT AND SHEET 11.3 FOR GRADING.
6. INSTALL 6" OF TOPSOIL OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
7. PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIFPILE.

DEMOLITON + REMOVALS NOTES:

- | | | | |
|-----|---|-----|--|
| 1. | FIELD-VERIFY ALL REMOVALS WITH THE OWNER PRIOR TO COMMENCEMENT OF WORK. | 17. | ALTA SURVEY DATA WAS PROVIDED BY SUNDE LAND SURVEYING, 2014. EXISTING CONDITION INFORMATION SHOWN IS FOR REFERENCE ONLY AND IS NOT DEEMED ACCURATE OR RELIABLE. CONTRACTORS ARE TO FIELD VERIFY THE CURRENT EXISTING CONDITIONS TO THEIR OWN SATISFACTION PRIOR TO BIDDING AND CONSTRUCTION. SURVEY WORK AS PART OF CONSTRUCTION IS TO BE INCLUDED IN THE CONTRACTOR'S BID. |
| 2. | PER PLAN, REMOVE EXISTING BITUMINOUS AND CONCRETE SECTIONS AND UNDERLYING CLASS 5 BASE MATERIALS. | 18. | IF MATERIAL BELIEVED TO BE ASBESTOS OR POLYCHLORINATED BIPHENYL (PCB) OR OTHER SIMILAR HAZARDOUS OR TOXIC SUBSTANCES ARE FOUND INCLUDING UNDERGROUND TANKS, IMMEDIATELY STOP WORK AND REPORT THE CONDITION TO THE OWNER AND CONSTRUCTION MANAGER IN WRITING. IF SUSPECTED MATERIAL IS DETERMINED TO BE ASBESTOS OR PCB OR A SIMILAR HAZARDOUS OR TOXIC SUBSTANCE, DO NOT COMMENCE WORK UNTIL THE MATERIAL HAS BEEN RENDERED HARMLESS OR REMOVED. |
| 3. | CONFORM TO THE CITY'S RULES FOR DEMOLITION, PER PERMIT INCLUDING ACCEPTABLE TIMES TO BEGIN AND END OUTDOOR WORK ACTIVITIES. | 19. | PERFORM WORK IN ACCORDANCE WITH THE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF PUBLIC AUTHORITY HAVING JURISDICTION. SECURE AND PAY FOR PERMITS, GOVERNMENTAL FEES AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE DEMOLITION WORK. |
| 4. | REPAIR ANY DAMAGE TO EXISTING CONDITIONS NOT SCHEDULED FOR DEMOLITION, INCLUDING OFF-SITE PAVING, SIGNS, VEGETATION, ETC. | 20. | PRIOR TO THE START OF DEMOLITION WORK, DISCONNECT OR ARRANGE FOR THE DISCONNECTION OF UTILITY SERVICE CONNECTIONS TO BUILDINGS/STRUCTURES TO BE DEMOLISHED SUCH AS WATER, SEWER, GAS, ELECTRIC, CABLE, AND TELEPHONE IN ACCORDANCE WITH THE REGULATIONS OF THE UTILITY CONCERNED. SEAL STORM AND SANITARY SEWERS LEADING FROM STRUCTURES TO BE DEMOLISHED. |
| 5. | THE DEMOLITION CONTRACTOR SHALL PROTECT EXISTING ELEMENTS NOT SCHEDULED FOR DEMOLITION THAT DO NOT INTERFERE WITH PROPOSED WORK. | 21. | PROVIDE PROTECTIVE COVERINGS AND ENCLOSURES AS NECESSARY TO PREVENT DAMAGE TO EXISTING WORK THAT IS TO REMAIN. EXISTING WORK TO REMAIN MAY INCLUDE ITEMS SUCH AS TREES, SHRUBS, LAWNS, SIDEWALKS, DRIVES, CURBS, UTILITIES, BUILDINGS AND/OR OTHER STRUCTURES ON OR ADJACENT TO THE DEMOLITION SITE. PROVIDE TEMPORARY FENCES AND BARRICADES AS REQUIRED FOR THE SAFE AND PROPER EXECUTION OF THE WORK AND THE PROTECTION OF PERSONS AND PROPERTY. |
| 6. | DEMOLITION CONTRACTOR SHALL PROVIDE AIR QUALITY CONTROL MEASURES. DEMOLITION CONTRACTOR SHALL TAKE NECESSARY MEASURES TO MINIMIZE DUST LEVELS. | 22. | THOROUGHLY WET DOWN CONSTRUCTION DURING DEMOLITION IN ORDER TO PREVENT THE SPREAD OF DUST. |
| 7. | DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF EXISTING STRUCTURES AND OBJECTS THAT INTERFERE WITH THE PROPOSED CONSTRUCTION AS SHOWN IN THIS CONSTRUCTION PACKAGE. | 23. | REMOVE DEBRIS, WASTE, AND RUBBISH PROMPTLY FROM THE SITE. ON-SITE BURIAL OF DEBRIS IS NOT PERMITTED. BURN NO DEBRIS ON THE SITE. SALVAGE MATERIAL NOT OTHERWISE INDICATED TO BE REUSED SHALL BECOME THE CONTRACTOR'S PROPERTY AND IS TO BE REMOVED PROMPTLY FROM THE SITE AND DISPOSED OF IN STRICT ACCORDANCE WITH ALL APPLICABLE LAWS, REGULATIONS, AND/OR STATUTES. |
| 8. | GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREET, SIDEWALKS AND RIGHT OF WAY FREE OF DEBRIS INCLUDING DUST, MUD, STONES AND CONSTRUCTION MATERIALS. CHECK THE ABOVE LISTED AREAS NO LESS THAN ONCE DAILY FOR SUCH MATERIALS AND REMOVE AS NECESSARY. HAUL AWAY ALL CONCRETE, BITUMINOUS, GRAVEL, SOIL, PLANTS, ETC. AS A RESULT OF DEMOLITION. | 24. | BUILDINGS, FEATURES, SURFACES, AND OTHER DESCRIPTIVE REFERENCES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY. FIELD VERIFY ALL INFORMATION RELEVANT TO THE PROJECT PRIOR TO PROCEEDING WITH THE WORK. VISIT THE SITE AND IDENTIFY ALL SITE CONDITIONS AND HAZARDS. |
| 9. | THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND APPROVALS AS PART OF THE BASE CONTRACT. | 25. | STRAIGHT LINE SAW-CUT EXISTING BITUMINOUS OR CONCRETE SURFACING AT THE PERIMETER OF PAVEMENT TO EXPOSE ALL AREAS. |
| 10. | INSTALL ROCK LOG, SILT FENCE, & OTHER EROSION CONTROL MEASURES NOTED ON GRADING PLAN PRIOR TO COMMENCEMENT OF DEMOLITION WORK, IN ACCORDANCE WITH STATE LAW. AL EROSION CONTROL TO COMPLY WITH MnPCA, MndOT, AND LOCAL WATERSHED REQUIREMENTS, RULES, AND REGULATIONS. | 26. | ALL CONTRACTOR ON-SITE SHALL TAKE CARE TO MAINTAIN THE SILT FENCE AT ALL TIMES. IMMEDIATELY REPAIR ANY DAMAGE TO THE SILT FENCE AND CHECK THE FENCE AFTER SIGNIFICANT RAIN EVENTS, PER WATERSHED DISTRICT, & MPCA REQUIREMENTS. INSTALL SUPPLEMENTAL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION, CHAIR LOGS, AND BALE CHECKS AS NECESSARY. |
| 11. | COORDINATE DISCONNECTION OF PUBLIC AND PRIVATE UTILITIES WITH THEIR PROVIDER. REQUIRED INSPECTIONS INCLUDING TRENCH BACKFILL COMPLETION SHALL BE PAID FOR AS PART OF THE BASE DEMOLITION BID WITHIN THE CONTRACT. FEES REQUIRED FOR UTILITY DISCONNECTION SHALL BE PAID BY THE CONTRACTOR. | 27. | TAKE ALL PRECAUTIONS TO PREVENT DAMAGE TO BUILDINGS AND EXISTING CONDITIONS TO REMAIN, AS WELL AS PEDESTRIANS AND SAFETY. |
| 12. | REFER TO SHEET L1.3 FOR GRADING PLAN. | | |
| 13. | ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES. NOTIFY THE ARCHITECT AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS. | | |
| 14. | CLEAN-UP AREAS SURROUNDING THE CONSTRUCTION AREA, INCLUDING EXCESS SPOILS, GRAVEL, DEBRIS, ETC. POWER-WASH CONCRETE AREAS & REMOVE BOBGAT TIRE MARKS. | | |
| 15. | BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE. | | |
| 16. | PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM. | | |



DETAILS AND NOTES:



REMOVALS AND EROSION CONTROL PLAN:

Consultant:

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 300
Saint Paul, MN 55102

telephone: 651.788.9018
internet: www.calyxdesigngroup.com

WELSH
ARCHITECTURE

WELSH
CONSTRUCTION

Property Owner:

Alidade®
Capital

Project Name:

CEDAR
OFFICE
PARK

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

THE ARCHITECT & LANDSCAPE ARCHITECT SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS OF THE ATTACHED DOCUMENTS.

SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS:

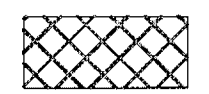
03/26/18: FUTURE ROW LINE

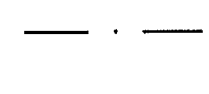
PRELIMINARY


REMOVALS AND EROSION CONTROL PLAN

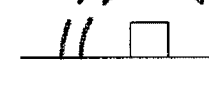
L1.1


LEGEND:

 Anticipated Disturbed Area

 Construction Limits


 Construction Rock Log

 Storm Sewer Sediment Protection
Install Gravel Bags, 2 Rows High.

 Existing Tree To Remain

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PRELIMINARY
NOT FOR
CONSTRUCTION



811
Know what's below.
Call before you dig.

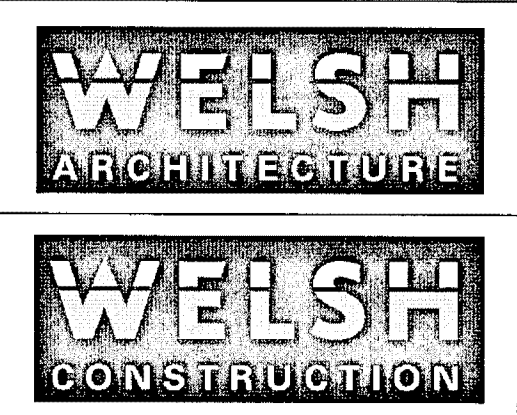
CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING UTILITY LOCATES INCLUDE PRIVATE UTILITIES SUCH AS PHONE AND CABLE. CALL NO LESS THAN 48 HOURS IN ADVANCE.

Consultant:

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102

telephone: 651.788.9018
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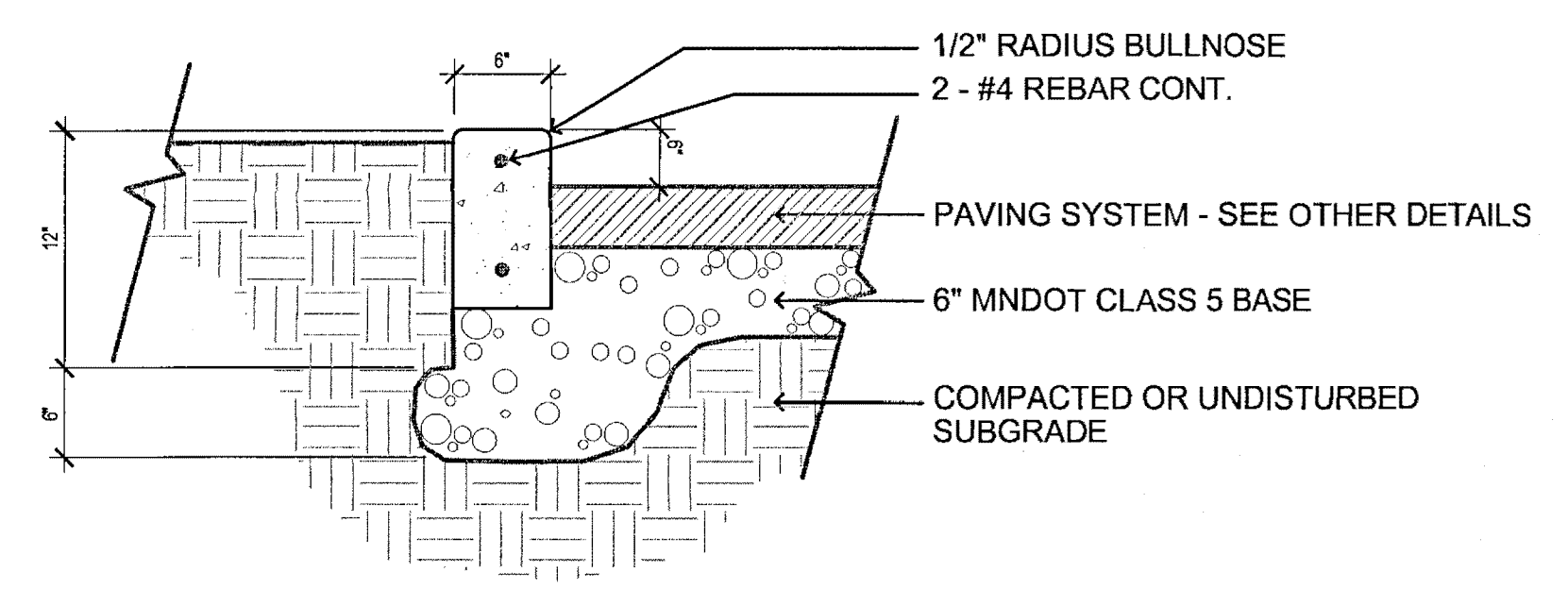
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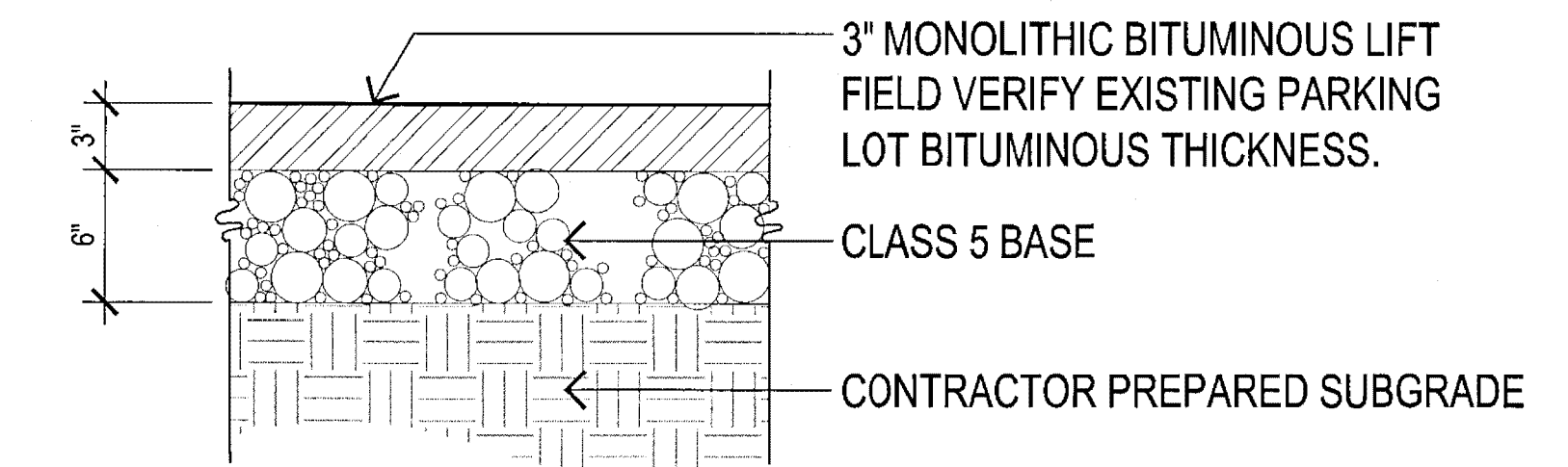
03/26/18: FUTURE ROW LINE

PRELIMINARY
DIMENSION
SITE PLAN

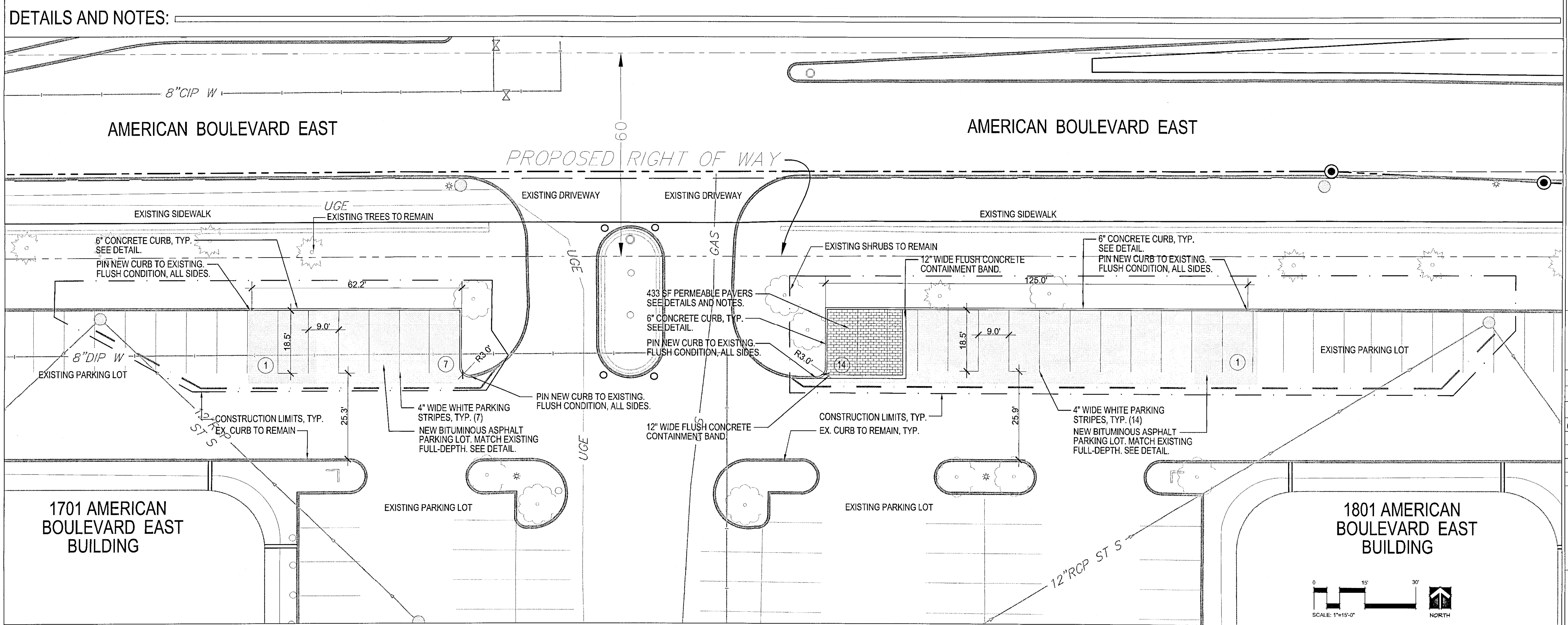
L1.2



1 6" CONCRETE CURB DETAIL
L1.2 NOT TO SCALE



2 LIGHT-DUTY BITUMINOUS PAVEMENT SECTION
L1.2 NOT TO SCALE



DIMENSION SITE PLAN

LEGEND:

Construction Rock Log

Construction Limits

Existing Tree To Remain

Storm Sewer Sediment Protection
Install Gravel Bags, 2 Rows High.

MATCH
EX. 952.00

MATCH ADJACENT ELEVATION

TC
952.00

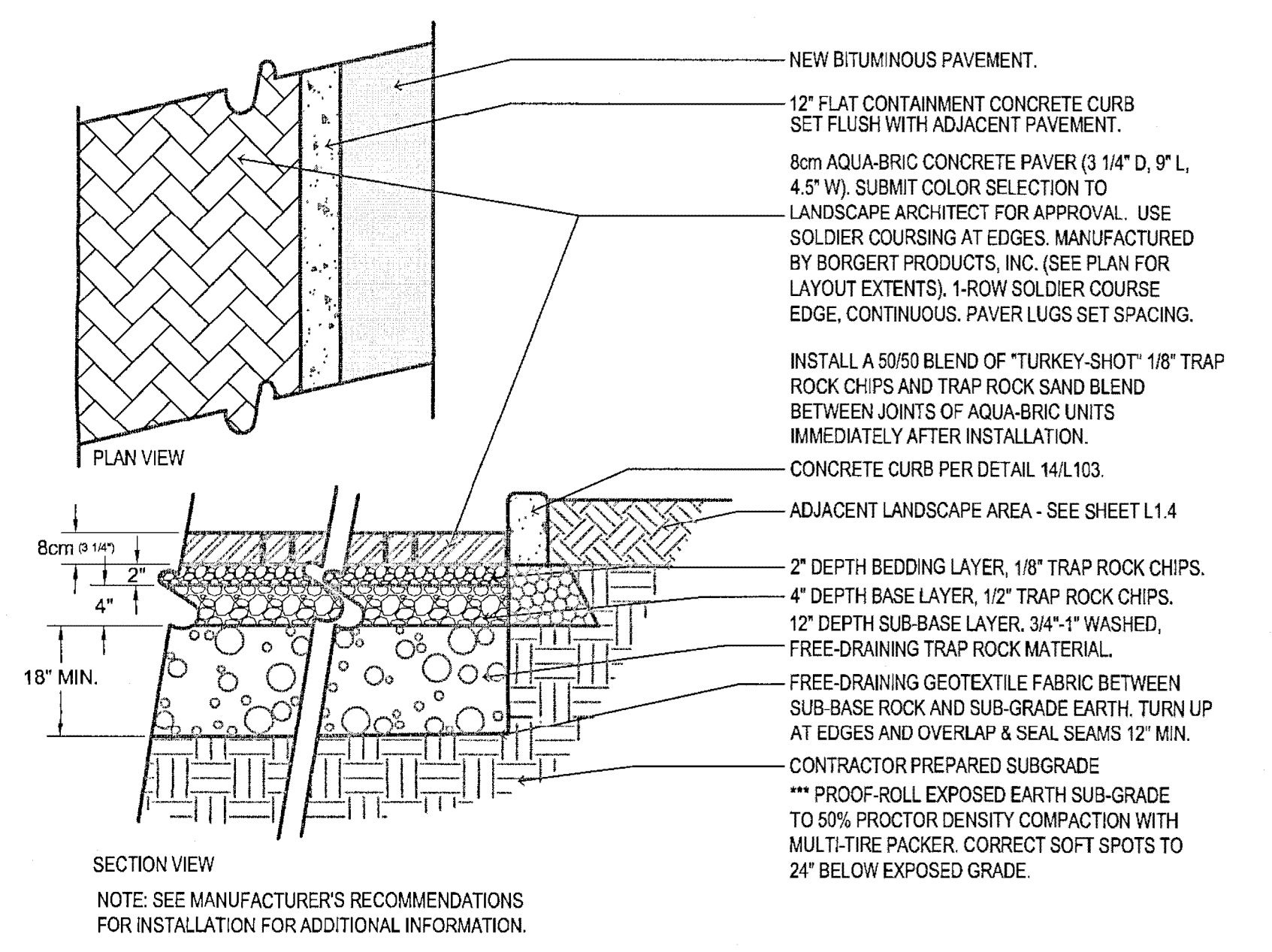
TOP-OF-CURB ELEVATION

x HP:

HIGH-POINT

EXISTING ELEVATION

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 - REFER TO SHEET L1.2 FOR SITE AND PAVING LAYOUT AND SHEET L1.4 FOR LANDSCAPE PLAN.
 - INSTALL 6" OF TOPSOIL OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
 - PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIPLINE.
 - NO TOPOGRAPHIC INFORMATION IS AVAILABLE. CONTRACTOR(S) TO FIELD MEASURE ELEVATIONS AND NOTIFY LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES OR CONCERNS REGARDING EXISTING GRADES AND THE IMPROVEMENTS SHOWN.



1
L1.3
NOT TO SCALE

INFILTRATION CALCULATIONS:

RUNOFF VOLUME CALCULATIONS:

New Impervious Surface Area: 3,376 SF
Runoff Coefficient: 1.1
Rainfall Event: 1 Inch
 $(3,376) \times (1.1) \times (.08) = 309\text{CF}$ Infiltration Volume Required
Note: A geotechnical report was not completed for this project.
Sub-grade soils are assumed to allow for infiltration at .25"/hr.

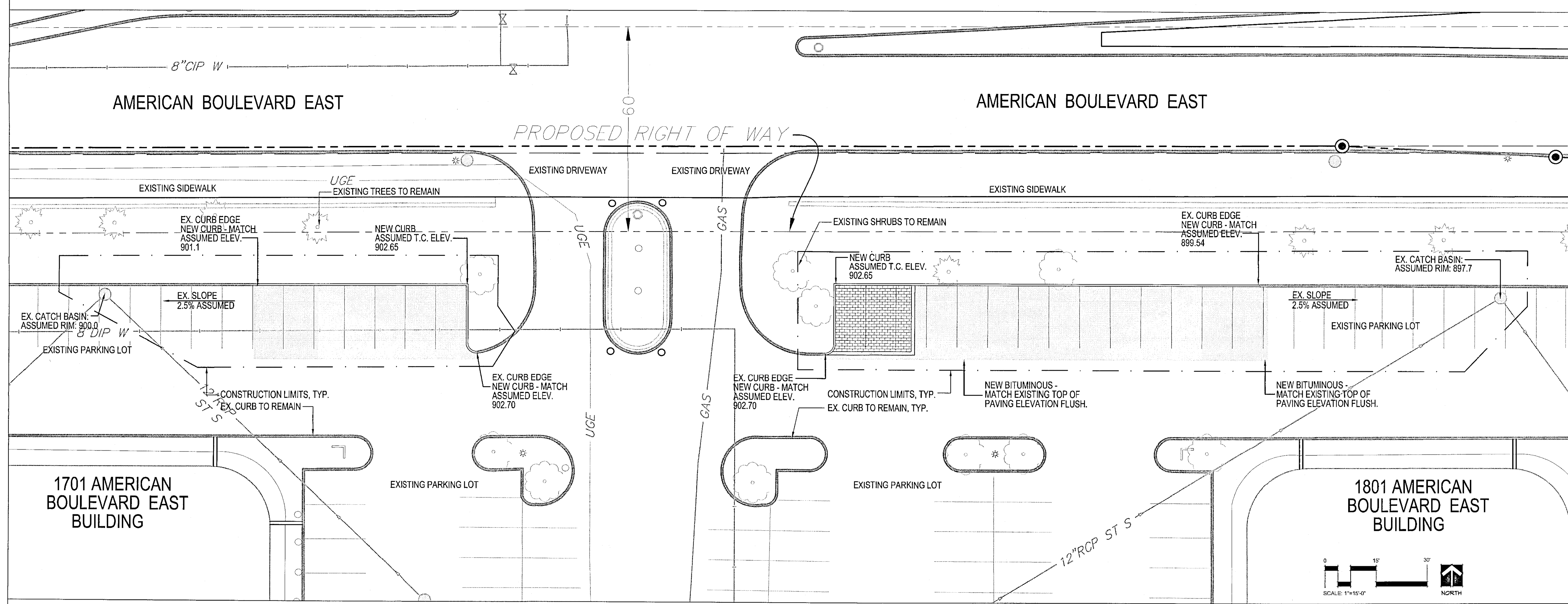
ANTICIPATED INFILTRATION OF STORM WATER:

PERMEABLE PAVEMENT AREA (SF)	ROCK DEPTH (FT)	RAW VOLUME (CF)	VOID COEFFICIENT	NET STORAGE VOLUME (CF)
433	2	866	0.45	389.7

Infiltration Volume Requirement Met

PRELIMINARY
NOT FOR
CONSTRUCTION

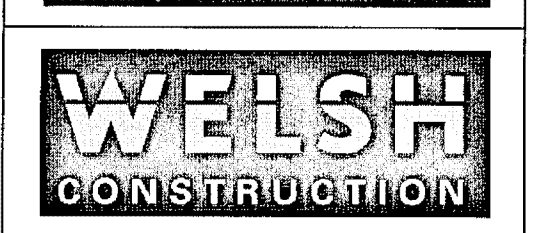
DETAILS AND NOTES:



GRADING PLAN

Consultant:
CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102
telephone: 651.788.9018
internet: www.calyxdesigngroup.com



Property Owner:

Alidade
Capital

Project Name:

**CEDAR
OFFICE
PARK**

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

THE ARCHITECT & LANDSCAPE ARCHITECT SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS OF THE ATTACHED DOCUMENTS.

SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS:

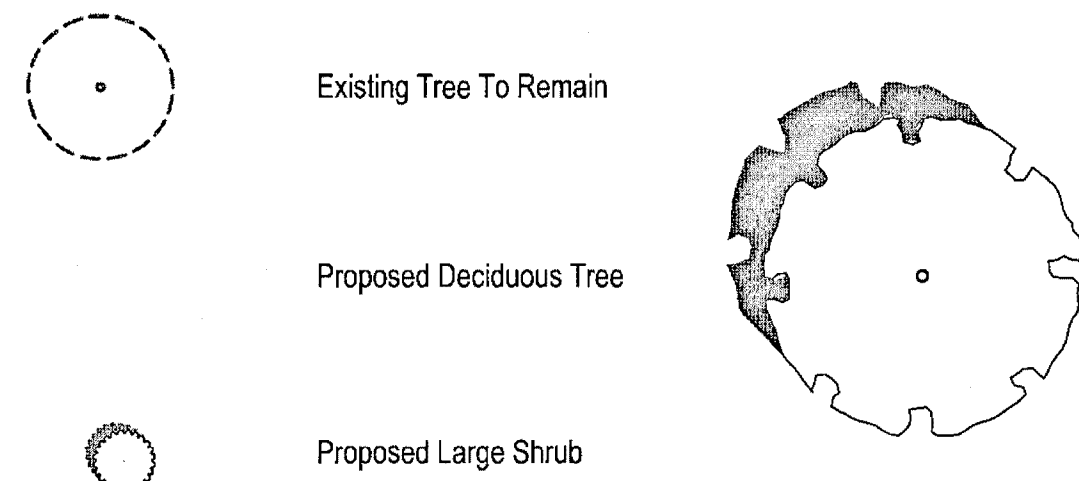
03/26/18: FUTURE ROW LINE

PRELIMINARY

GRADING PLAN

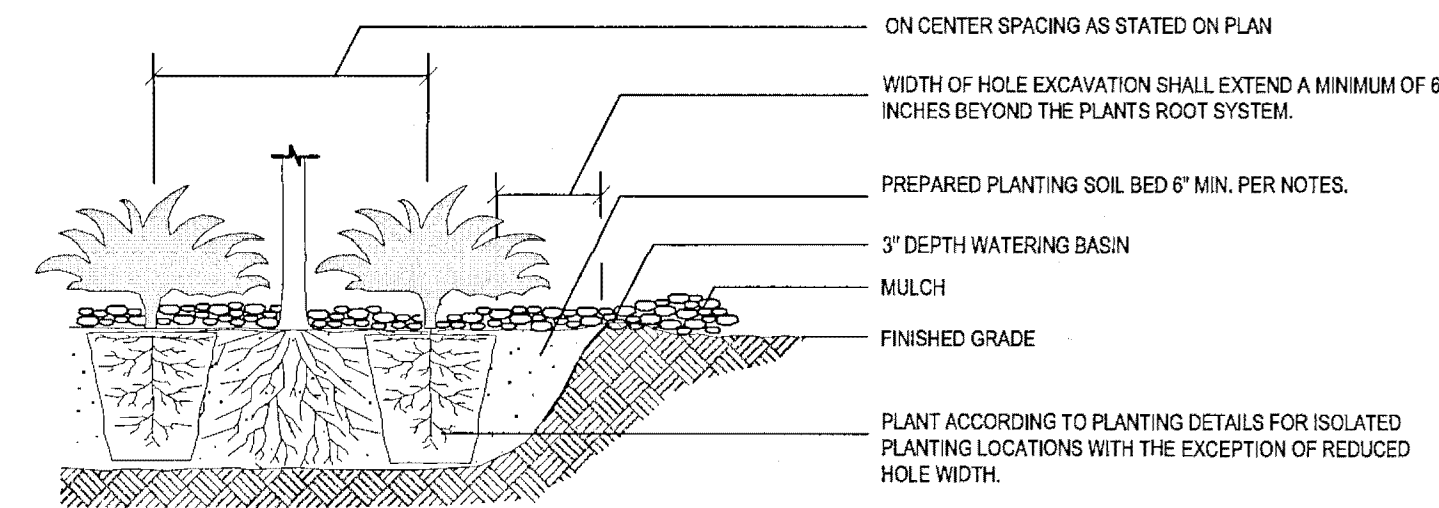
L1.3

LEGEND:

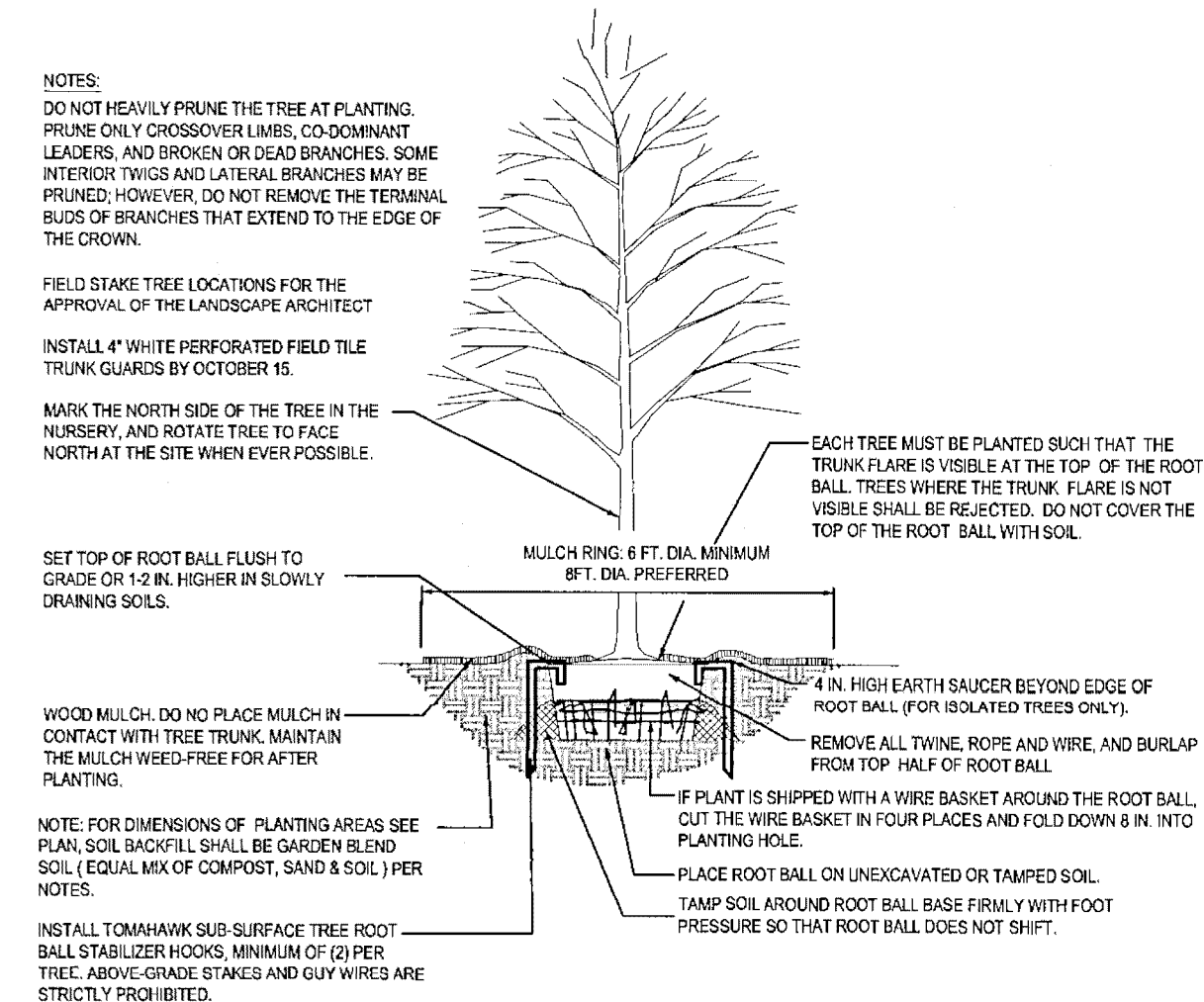


GENERAL NOTES:

- ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING. FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
- BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
- PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
- CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
- MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
- REFER TO SHEET L1.2 FOR SITE AND PAVING LAYOUT AND SHEET L1.3 FOR GRADING.
- INSTALL 6" OF TOPSOIL OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
- PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIPLINE.
- REFER TO SHEET L1.5 FOR PLANT LEGEND AND PLANTING NOTES.



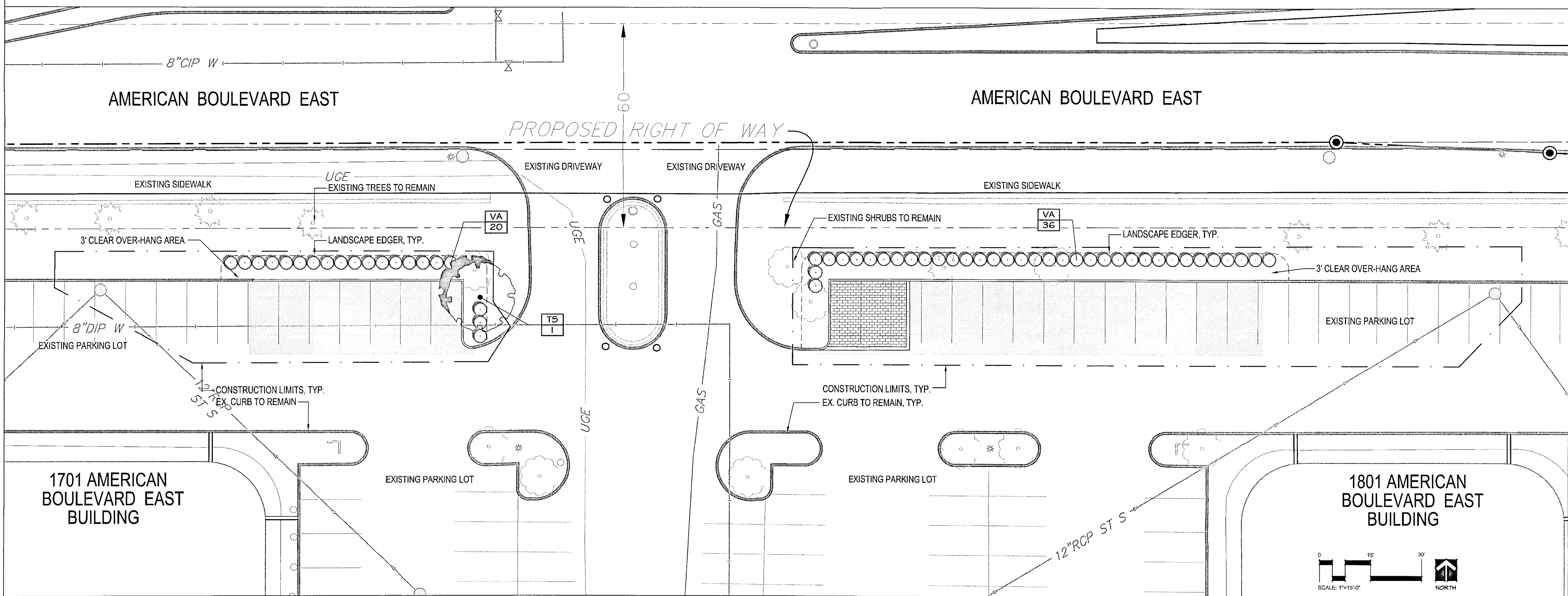
1 TYPICAL SHRUB PLANTING DETAIL
L1.4 NOT TO SCALE



2 TYPICAL TREE PLANTING DETAIL
L1.4 NOT TO SCALE

PRELIMINARY
NOT FOR
CONSTRUCTION

DETAILS AND NOTES:



LANDSCAPE PLAN

Consultant:

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

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Saint Paul, MN 55102
telephone: 651.788.9018
internet: www.calyxdesigngroup.com

WELSH
ARCHITECTURE

WELSH
CONSTRUCTION

Property Owner:

Alidade
Capital

Project Name:

**CEDAR
OFFICE
PARK**

PARKING ADDITION

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AMERICAN
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SCALE: AS NOTED
DATE: 03/9/2018
REVISIONS:
03/26/18: FUTURE ROW LINE

PRELIMINARY
LANDSCAPE PLAN

L1.4



GENERAL NOTES:

1. ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
2. BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
3. PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
4. CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
5. MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
6. REFER TO SHEET L1.2 FOR SITE AND PAVING LAYOUT AND SHEET L1.3 FOR GRADING.
7. INSTALL 6" OF TOPSOIL OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
8. PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIPLINE.
9. REFER TO SHEET L1.4 FOR LANDSCAPE LAYOUT PLAN AND DETAILS.

Landscape Notes:

1. Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be located and staked as shown.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission.
11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
13. The contractor shall guarantee newly planted material through TWO calendar years from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. Replacement and repairs requested by the Owner during the warranty period must be made within 14 business days of the request.
18. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
19. Irrigation: the landscape contractor is responsible for the function and protection of the existing irrigation system outside the proposed work limits, during construction. Landscape contractor to adjust head spray and zone run times as necessary to ensure turf and plants within and outside the work limits, remains irrigated. Remove and salvage existing irrigation equipment within construction limits for re-use ahead of excavation work. Sleeve under new paving as necessary to irrigate areas now isolated from the original system. Clearly mark underground piping and coordinate line & stub locations with General Contractor. Provide a new layout that irrigates all new landscape areas and connects to the existing system.
20. All sod areas shall be prepared prior to planting with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc. Any alternate seed mixtures, rates, & application method noted shall be submitted to the landscape architect for approval.
21. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
22. The Landscape Contractor shall clear and grub underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted on the civil plan, including the stump to 30" below grade.
23. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
24. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
25. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
26. Landscape contractor shall be responsible for coordinating the trimming of existing trees to remain, providing shape & form in accordance with arboricultural standards. A state licensed arborist shall be engaged as part of this project to assess the site prior to submission of bids and trim trees prior to all other side work, upon general contractor's authorization to proceed.
27. Do not place woody plant materials in easement areas. Coordinate field staking of easements with General Contractor.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	TS	Gleditsia triacanthos 'Suncole'	Sunburst Honeylocust	2.5" Cal.	B&B	1	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	VA	Viburnum trilobum 'Compactum'	Compact American Cranberry Viburnum	3 gal.	Pot	56	

DETAILS AND NOTES:

CASE #PL2022-93

PL2018-221
PL201800221



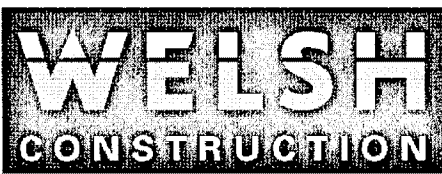
CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING UTILITY LOCATES INCLUDE PRIVATE UTILITIES SUCH AS PHONE AND CABLE. CALL NO LESS THAN 48 HOURS IN ADVANCE

Consultant:

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03/26/18: FUTURE ROW LINE

PRELIMINARY

LANDSCAPE
DETAILS

L1.5

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