NOVA VETERINARY CLINIC

TENANT BUILD-OUT

PL202200092 PL2022-92

9056 PENN AVENUE SOUTH BLOOMINGTON, MINNESOTA 55431

GENERAL PLUMBING NOTES	GENERAL SPECIFICATION NOTES			ALTERNATES	SHEET INDEX
NO. NOTE	NO. NOTE	NO.	NOTE	NO. NOTE	ARCHITECTURAL
1. PLUMBING WORK SHALL BE DESIGN-BUILD BY CONTRACTOR. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF ALL PLUMBING WORK REGARDLESS OF WHETHER IT IS INCLUDED, INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS. ALL WORK SHALL COMPLY WIALL APPLICABLE CODES.	1. CONTRACTOR SHALL VISIT THE SITE WHILE BIDDING AND SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE PROJECT PRIOR TO DEVELOPING THEIR BID AND BEGINNING WORK. MATERIAL QUANTITIES SHALL BE BASED UPON ACTUAL FIELD CONDITIONS AND MEASUREMENTS;	24. 25.	PRIOR TO CONSTRUCTION, FABRICATION OR PURCHASING, CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AND FINISHES WITH EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY	1 <u>N/A</u>	T-1 TITLE SHEET; SHEET INDEX; CODE SUMMARY; MEPS GENERAL NOTES; GENERAL SPECIFICATION NOTES; PROJECT DIRECTORY;
GENERAL SPRINKLER NOTES	DO NOT RELY ON SCALING PLANS FOR ACCURATE DIMENSIONING. 2. CONTRACT SHALL INCLUDE ALL CONSTRUCTION AS SHOWN ON DRAWINGS, DETAILS & SPECIFICATIONS.	26.	DISCREPANCIES BETWEEN THE PLANS AND ACTUAL CONDITIONS WHICH WOULD ADVERSELY AFFECT THE WORK OR DESIGN INTENT OF THE PROJECT. IN CASE OF CONFLICT BETWEEN THE PROJECT REQUIREMENTS	PROJECT DESCRIPTION	T-2 ROOM FINISH SCHEDULE; DOOR & HARDWARE SCHEDULES
NO. NOTE SPRINKLER WORK SHALL BE DESIGN-BUILD BY CONTRACTOR. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF ALL PLUMBING WORK REGARDLESS OF WHETHER IT IS INCLUDED.	3. ALL DRAWINGS HEREIN CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS AND COORDINATING THEIR HIDDEN OR EXPOSED WORK WITH OTHER TRADES.	27.	AND/OR EXISTING CONDITIONS, THE ONE HAVING THE MOST STRINGENT REQUIREMENTS SHALL GOVERN, AS APPROVED BY THE OWNER. REPAIR PROPERTY DAMAGE BY THE INSTALLERS TO A LIKE-NEW	TENANT BUILD-OUT FOR A VETERINARY CLINIC USE (GROUP B) IN AN OFFICE VACANCY (NO CHANGE IN USE) WITHIN AN EXISTING 2-TENANT OFFICE/RETAIL BUILDING.	A-1 FLOOR PLAN; WALL TYPES; DEMOLITION FLOOR PLAN
INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS. ALL WORK SHALL COMPLY W/ALL APPLICABLE CODES. ADJUST/ ADD SPRINKLERS AS REQ'D. TO ACCOMMODATE NEW CONSTRUCTION AND APPLICABLE CODES.	4. CONTRACTOR SHALL PROVIDE SUPERVISION, LABOR, MATERIALS AND EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, DUMPSTERS, FINAL CLEANUP, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK.	28.	CONDITION OR REPLACE DAMAGED SURFACES AND MATERIALS OF THE PREVIOUSLY INSTALLED WORK. WHERE REQUESTED BY THE OWNER TO CERTIFY CONFORMANCE TO TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE	WORK INCLUDES TWO (2) ADA COMPLIANT UNISEX RESTROOMS, PARTITIONS, FINISHES. BUILDING IS SPRINKLERED.	A-2 REFLECTED CEILING PLAN; LIGHTING SYMBOL KEY; FINISH FLOOR PLAN
GENERAL HVAC NOTES	5. UNLESS SPECIFICALLY NOTED OTHERWISE, CONTRACTOR SHALL SECURE AND PAY FOR GOVERNMENT FEES, LICENSES AND PERMITS.		CONTRACTOR SHALL ENLIST A TESTING LABORATORY, AT THE OWNER'S EXPENSE. IF THE REQUESTED TEST SHOWS NON-CONFORMANCE TO GENERALLY ACCEPTED TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO ADDITIONAL COST TO		A-3 F.F.&E. FLOOR PLAN; EXISTING F.F.&E. REFERENCE FLOOR PLAN; F.F.&E./ ACCESSORIES LIST
NO. NOTE 1. HVAC WORK SHALL BE DESIGN-BUILD BY CONTRACTOR. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF ALL	6. CONTRACTOR SHALL PURCHASE AND MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE GOVERNING BODIES. VERIFY WITH OWNER AND PROVIDE ANY ADDITIONAL OWNER REQUIREMENTS.		THE OWNER AND WILL REIIMBURSE ALL THE COSTS OF THE TESTING TO THE OWNER, UNLESS THE CONTRACTOR, THROUGH NO FAULT OR INTENTION, HAS USED PRODUCTS INCORRECTLY LABELED BY THE MANUFACTURER.	APPLICABLE CODES 2020 MN BUILDING CODE (ADOPTED IBC 2018 W/AMENDMENTS)	A-4 INTERIOR ELEVATIONS/SECTIONS; TYPICAL ADA SIGNAGE STANDARDS; GENERAL RESTROOM
M.E.P. & S. WORK REGARDLESS OF WHETHER IT IS INCLUDED, INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS. ALL WORK SHALL COMPLY W/ALL APPLICABLE CODES. 2. ADJUST/ ADD HVAC AS REQ'D. TO ACCOMMODATE NEW	7. FURNISH ALL REQUIRED TEMPORARY FACILITIES AND ALL TEMPORARY UTILITIES IMMEDIATELY AFTER RECEIPT OF NOTICE TO PROCEED, FOR USE IN CONVENIENCE AND EXPEDIANCY OF ALL THOSE ENGAGED IN THE PROJECT WORK.	29.	PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS AND INSTALLED MATERIALS. PROTECT THE WORK, STORED PRODUCTS, CONSTRUCTION EQUIPMENT AND OWNER'S PROPERTY FROM THEFT AND VANDALISM AND PROTECT THE PREMISES FROM ENTRY BY UNAUTHORIZED PERSONNEL UNTIL FINAL ACCEPTANCE	2020 MN CONSERVATION CODE FOR EXISTING BUILDINGS (ADOPTED IEBC 2018 W/AMENDMENTS) (PRESCRIPTIVE COMPLIANCE METHOD - CHANGE OF OCCUPANCY) 2020 MN STATE FIRE CODE (ADOPTED IFC 2018 W/AMENDMENTS) 2020 MN MECHANICAL AND FUEL GAS CODE	A-5 INTERIOR ELEVATIONS
CONSTRUCTION AND APPLICABLE CODES. GENERAL ELECTRICAL NOTES	8. MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLERING TO BE DESIGN-BUILD BY CONTRACTOR. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF ALL M.E.P. & S. WORK WHICH IS INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS.	30.	BY OWNER. ALL WORK REQUIRING THE ASSISTANCE OF MANUFACTURER'S INSTRUCTIONS, SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE MOST CURRENT, WRITTEN MANUFACTURER'S	2020 MN ENERGY CODE (ADOPTED IECC 2018 W/AMENDMENTS) 2020 MN ACCESSIBILITY CODE 2015 MN PLUMBING CODE 2020 NATIONAL ELECTRICAL CODE	MECHANICAL, ELECTRICAL, PLUMBING, SPRINKLER
NO. NOTE	9. THE CONTRACTOR AND HIS SUBCONTRACTORS AND THEIR RESPECTIVE WORK, SHALL BE PERFORMED BY SKILLED MECHANICS AND IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICES AND ESTABLISHED STANDARDS OF WORKMANSHIP TO	31.	INSTRUCTIONS. ALL PRODUCTS AND EQUIPMENT SHALL BE DELIVERED IN UNDAMAGED CONDITION AND STORED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO AVOID DISRUPTION OF THE	GENERAL	MEPS DESIGN-BUILD BY G.C.
1. ELECTRICAL WORK SHALL BE DESIGN-BUILD BY CONTRACTOR. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF ALL M.E.P. & S. WORK REGARDLESS OF WHETHER IT IS INCLUDED, INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS. ALL WORK SHALL COMPLY W/ALL APPLICABLE CODES.	ENSURE THE HIGHEST QUALITY FINISHED PRODUCT - EXPRESSED OR IMPLIED. 10. THE CONTRACTOR AND HIS SUBCONTRACTORS AND THEIR RESPECTIVE WORK SHALL BE PERFORMED IN COMPLIANCE WITH	32.	WORK OR DAMAGE TO THE ITEMS. REPLACE DAMAGED OR UNFIT MATERIALS, AT NO COST TO THE OWNER. NOTIFY OWNER WHEN THE WORK IS SUBSTANTIALLY COMPLETE AND READY FOR INSPECTION. PROVIDE WRITTEN OPERATION AND	GROUP: (BUSINESS) TOTAL BUILDING AREA: TOTAL TENANT AREA: OCCUPANTS: B 17,752 SF 4,428 SF	PROJECT DIRECTORY
 PROVIDE EXIT SIGNS AND EMERGENCY LIGHTING AS REQ'D. ADJUST/ ADD ELEC. AS REQ'D. TO ACCOMMODATE NEW CONSTRUCTION AND APPLICABLE CODES. 	ALL APPLICABLE CODES, LAWS, AND ORDINANCES, REGULATIONS AND INSURANCE REQUIREMENTS. 11. ALL DIMENSIONS ARE TO FINISH SURFACES, TYPICAL, UNLESS INDICATED OTHERWISE.		MAINTENANCE INSTRUCTIONS AND GUARANTEES FOR ALL EQUIPMENT AND MATERIALS INSTALLED. PROVIDE WRITTEN GUARANTEES FOR A PERIOD OF AT LEAST ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.	(B) BUSINESS = (4,428 SF/150): 30 OCC. CONSTRUCTION TYPE: (MBC 508.3 MIXED USE/NON-SEPARATED) II-B SPRINKLERED YES	OWNER/TENANT: NOVA VETERINARY CLINIC 9021 PENN AVENUE SOUTH BLOOMINGTON, MN 55431
BUILDING REFERENCE PLAN	 12. NEW WALLS SHOWN ABUTTING EXISTING WALLS TO BE FLUSH AND CONTINUOUS. 13. DRAWING DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED 	33.	ALLOWABLE TOLERANCES: UNLESS NOTED OTHERWISE, THE FOLLOWING TOLERANCES SHALL APPLY TO ALL WORK: - ALL VERTICAL SURFACES SHALL BE PLUMB OR CONSTRUCTED TO THE EXACT SLOPES OR ANGLES INDICATED OR INTENDED.	SINIMELLE	CONTACT: THEA MAYFIELD (952) 884-4353 THEA.MAYFIELD@NOVAVETCLINIC.COM
	DRAWINGS. 14. DOORS WITH LATCH AND CLOSER TO HAVE 12" CLEAR ON THE LATCH SIDE OF PUSH SIDE OF DOOR AND ALL DOORS TO HAVE 18" CLEAR ON THE LATCH SIDE OF PULL SIDE OF DOOR. (ADA)		- ALL HORIZONTAL SURFACES SHALL BE LEVEL OR CONSTRUCTED TO THE EXACT ANGLE INDICATED OR INTENDED MAXIMUM DEVIATION FROM THE TRUE PLANE FOR VERTICAL AND HORIZONTAL SURFACES SHALL NOT BE GREATER THAN 1/8" IN 10'-0" AS MEASURED BY A STRAIGHT EDGE PLACED ANYWHERE ON	FIRE RESISTANCE RATINGS FIRE RESISTANCE RATINGS (MBC TABLE 601) TYPE OF CONSTRUCTION: TYPE II-B	ARCHITECT: AARCHITECTS, LLC 125 SE MAIN STREET SUITE 240
	15. CONTRACTOR SHALL TAKE CARE TO PROTECT ADJACENT AREAS FROM DUST AND DAMAGE DURING THE CONSTRUCTION PROCESS, AND SHALL CLEAN UP AFTER THEMSELVES AT THE END OF EACH WORKING DAY. PROVIDE TEMPORARY BARRIERS TO CONTAIN AND SEPARATE WORK FROM PUBLIC AS REQ'D.		THE SURFACE WALL AND SOFFIT INTERSECTIONS SHALL BE 90° OR THE EXACT ANGLE INDICATED OR INTENDED ALL CORNERS AND EDGES SHALL BE STRAIGHT AND TRUE WITHOUT DENTS, WAVES OR BULGES ALL JOINTS SHALL BE TIGHT, STRAIGHT, EVEN AND SMOOTH.	STRUCTURAL FRAME: BEARING WALLS (EXTERIOR): BEARING WALLS (INTERIOR): FLOOR CONSTRUCTION: ROOF CONSTRUCTION: 0 HR. 0 HR. 0 HR.	MINNEAPOLIS, MN 55414 CONTACT: JEFFREY P. AGNES AIA (612) 371-6440 JAGNES@AARCHITECTSLLC.COM
PROPOSED CSB. SPACES 131-12 SF	16. ALL CONTRACTORS SHALL STAY BEHIND THE BARRIERS AND MAINTAIN ACCESS TO PUBLIC AREAS, CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS.	34.	- ALL OPERABLE ITEMS SHALL OPERATE SMOOTHLY WITHOUT STICKING OR BINDING AND WITHOUT EXCESSIVE "PLAY" OR LOOSENESS. JOBSITE MATERIALS:	OCCUPANCY/ EGRESS TENANT OCCUPANCY:	STRUCTURAL ENGINEER: COLLABORATIVE DESIGN GROUP, INC. 125 MAIN STREET SE SUITE 240
B PROPERTY STEE	17. ALL RUBBISH AND TRASH SHALL BE REMOVED FROM THE PREMISES AND PROPERLY DISPOSED OF EACH DAY. NO RUBBISH SHALL BE LEFT IN THE PREMISES AFTER THE WORK IS COMPLETED EACH DAY.		THE FOLLOWING SHALL BE LEFT AT THE JOBSITE (VERIFY STORAGE LOCATION W/OWNER) AND TAKEN FROM THE SAME MATERIAL, LOT OR RUN USED TO CONSTRUCT AND FINISH THE PROJECT: A. ONE FULL GALLON OF EACH COLOR AND TYPE OF LIQUID FINISH	(B) BUSINESS = (4,428 SF/150) = 30 OCC. REQ'D. EXITS (MBC TABLE 1006.2.1 <50 OCC.) (B) BUSINESS = (30 OCC.) = 1 REQ'D./ 1+ PROV'D.	MINNEAPOLIS, MN 55414 CONTACT: CRAIG MILKERT (612) 371-6420 CMILKERT@CDG-MN.COM
A AGEA PLAN CSL Plasma SPRING EB BISEB 101 SF NEWUS SPRING EB STAN A AGEA PLAN CSL Plasma Man Canadian too Representation in Service of the control of the contro	18. ALL EQUIPMENT, MATERIALS, FIXTURES, ETC. REQUIRED TO BE REMOVED FROM THE SITE SHALL BE PROPERTY OF THE OWNER UNLESS STATED OTHERWISE. VERIFY STORAGE LOCATION/S W/OWNER.		(PAINT, EPOXY, ETC.), IN A CLEAN, TIGHTLY CLOSED, LABELED CONTAINER. B. 5% OF EACH TYPE OF TILE (V.C.T., CERAMIC, A.C.T., ETC.). C. 5% OF EACH TYPE OF SHEET MATERIAL (VINYL, CARPET, ETC.).	REQ'D. EXIT WIDTH (B) BUSINESS = (30 OCC. @ .15) S" REQ'D./ 36"+ PROV'D. REQ'D. EXIT SEPARATION DISTANCE	CONTRACTOR: B-2 BUILDERS LLC 11975 PORTLAND AVE., STE. 134
VICINITY MAP	19. COORDINATE ALL WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS TO ASSURE EFFICIENT AND ORDERLY INSTALLATION. PROVIDE ACCOMMODATION FOR ITEMS INSTALLED AT A LATER DATE. VERIFY THAT CHARACTERISTICS OF THE ELEMENTS OF INTERRELATED OPERATING EQUIPMENT ARE COMPATIBLE; COORDINATE WORK OF VARIOUS SECTIONS WHICH	35.	PROVIDE FINAL CLEANUP AND DAMAGE REPAIR AT THE PROJECT CONCLUSION. LEAVE THE PREMISES NEAT, CLEAN AND CLEAR OF TOOLS, EQUIPMENT AND SURPLUS MATERIALS. UNLESS OTHERWISE REQUESTED BY THE OWNER, CLEANUP SHALL INCLUDE, BUT NOT BE LIMITED TO:	OVERALL DIAGONAL DISTANCE: REQ'D. DISTANCE BETWEEN EXITS: ACTUAL DISTANCE BETWEEN EXITS: MAX. COMMON PATH OF EGRESS TRAVEL DIST.: MAX. EXIT ACCESS TRAVEL DIST.: DOORS NEED NOT SWING OUT SINCE <50 OCCUPANTS	BURNSVILLE, MN 55337 CONTACT: ADAM BEESCH (612) 505-6925 ADAM@B2BUILDERS.COM
Pagocale Center Wayzota Respectate Center Woodland Woodland The Easter Majour Maj	HAVE INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, AND PLACING IN SERVICE, SUCH EQUIPMENT. 20 PROVIDE FIRE EXTINGUISHER(S) AND/OR SMOKE DETECTORS AS REQUIRED PERCENCE. MAINTAIN AN ACTIVE FIRE EXTINGUISHER		A. POWER VACUUMING THE SPACE. B. HAND DUSTING AND CLEANING OF ALL SHELVING, CABINETRY, CASEWORK AND GLASS. C. REPAIR OR REPLACEMENT OF PROPERTY, DAMAGED DURING CONSTRUCTION OR FINAL COMPLETION OF THE PROJECT.	PLUMBING FIXTURES	LOCAL JURISDICTION: BUILDING OFFICIAL: CITY OF BLOOMINGTON 1800 WEST OLD SHAKOPEE
Minetoria Hopkins Late flot Barrier Manage Property Agency Minetoria Figure Late Control	AT THE PROJECT. 21. ADJUST AND ADD SPRINKLER HEADS AS REQ'D. TO ACCOMMODATE NEW CONSTRUCTION. 22. COORDINATE ALL CONSTRUCTION AND SCHEDULING WITH THE	36.	CONTRACTOR SHALL INCLUDE ALL ITEMS INDICATED ON ALL PLANS/SPECIFICATIONS FROM ALL DISCIPLINES. IN THE EVENT OF CONFLICTS OR UNCLEAR ITEMS, CONTRACTOR SHALL INCLUDE ITEM WITH MOST STRINGENT REQUIREMENTS, OR, PRIOR TO BID, CLARIES WILL ARREST OR EXCLUDE ITEM IN WRITING.	(B) BUSINESS TOTAL OCCUPANTS: SEPARATE FACILITIES: (MBC 2902.2(2) >25 OCC.) (TWO UNISEX RESTROOMS PROVIDED) DRINKING FOUNTAIN: (MBC TABLE 2902.1,h. <50 OCC.) NOT REQ'D.	BLOOMINGTON MN 55431 CONTACT: DUKE JOHNSON, B.O. (952) 563-8959 DJOHNSON@CI.BLOOMINGTON.MN.US
Chanhassen Constraine Constr	22. COORDINATE ALL CONSTRUCTION AND SCHEDULING WITH THE LANDLORD, REVIEWING ALL SCHEDULED ACTIVITIES AT THE OUTSET OF CONSTRUCTION. COORDINATE WITH AFFECTED TENANTS TO ENSURE MINIMUM DISRUPTION TO BUSINESSES REMAINING OPEN DURING CONSTRUCTION.	37. 38.	CLARIFY W/ ARCHITECT, OR EXCLUDE ITEM IN WRITING. PROVIDE EXIT SIGNS AND EMERGENCY LIGHTING AS REQ'D. PROVIDE IN-WALL SUPPORTS AT PARTIAL-HEIGHT WALLS AS	SERVICE SINK: (MBC TABLE 2902.1,E. <51 OCC.) NOT REQ'D./PROV'D.	
Flyng Cloue Stakopee Casteroury Par Casterou	23. COORDINATE BLOCKING REQUIREMENTS WITH ADJACENT OR RELATED TRADES, ACCESSORIES, EQUIPMENT AND FIXTURES. PROVIDE AND INSTALL REQUIRED BLOCKING AT NO ADDITIONAL COST TO THE CONTRACT. PROVIDE FIRE RETARDANT BLOCKING IN WALLS AS REQ'D. AT ALL AREAS W/BUILD-IN COUNTERS, SHELVING, CAB'TS., ETC.		REQ'D.		

A a r c h i t e c t s ...

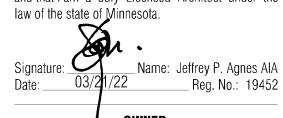
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9056 PENN AVENUE S. BLOOMINGTON, MN 55431

SHEET TITLE

TITLE SHEET

SHEET INDEX

CODE SUMMARY

MEPS GENERAL NOTES

GENERAL SPEC. NOTES

PROJECT DIRECTORY
BUILDING REFERENCE PLAN

VICINITY MAP

PROJECT NO. 192.01

SCALE AS SHOWN

DATE 03/21/22

REVISION DATE

PERMIT SE

SHEET NO.

T-1

0F 7

1. PREP CONC. FLOOR AS REQ'D. FOR NEW TENANT FLOOR FINISH. 2. EXISTING A.C.T. CEILING, GRID AND LIGHTS TO BE REMOVED THROUGHOUT U.N.O.

1. CONTRACTOR SHALL EXAMINE THE SITE AND BECOME FAMILIAR WITH ALL EXISTING AND VISIBLE CONDITIONS PRIOR TO SUBMISSION OF BID.

2. MATERIALS SHOWN TO BE REMOVED AND NOT REINSTALLED SHALL BE THE PROPERTY OF THE OWNER. VERIFY POTENTIAL SALVAGED MATERIALS WITH OWNER PRIOR TO REMOVAL FROM THE SITE.

PROMPTLY DISPOSE OF UNSALVAGED, DEMOLISHED MATERIALS IN AN AUTHORIZED DISPOSAL SITE, ACCORDING TO LOCAL, STATE AND EPA

3. DO NOT DISTURB OR DAMAGE AREAS NOT INDICATED TO BE DEMOLISHED

4. DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.

5. AT THE AFFECTED EXTERIOR OF THE BUILDING THE CONTRACTOR SHALL PROVIDE BARRIERS AND PROTECTION FOR THE SAFETY OF THE PUBLIC AS REQ'D., AND CONFORMING WITH LOCAL ORDINANCES.

6. SHOULD ASBESTOS BE ENCOUNTERED, CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY OWNER. ASBESTOS ABATEMENT SHALL BE PERFORMED IN COMPLIANCE WITH ALL GOVERNMENT REGULATIONS.

7. DEMOLITION PROCESS INVOLVING EXCESSIVE NOISE SHALL BE COORDINATED WITH LANDLORD SO AS NOT TO INTERFERE WITH EXISTING

8. SHOULD FIRE PROOFING BE DAMAGED OR REMOVED DURING THE COURSE OF WORK, CONTRACTOR SHALL REPAIR AS REQ'D. TO MATCH EXISTING OR GOVERNING CODES, WHICHEVER IS GREATER.

9. ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH ACCEPTED STANDARDS AND PRACTICE. SPACE SHALL BE IN CLEAN CONDITION AT COMPLETION OF DEMOLITION OR PRIOR TO BEGINNING CONSTRUCTION, WHICHEVER IS FIRST.

DURING THE COURSE OF DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT BY PHONE AT ONCE, AND IN WRITING WITHIN 10 DAYS.

10. SHOULD ANY UNUSUAL OR UNEXPECTED CONDITIONS BE ENCOUNTERED

11. REMOVE ALL UNUSED MECHANICAL, ELECTRICAL, PLUMBING. M.E.P. SHALL BE DESIGN-BUILD BY G.C.

12. REMOVE ANY UNUSED EXISTING WALL-MOUNTED ITEMS (IE.: EMERGENCY OR EXIT LIGHTS, THERMOSTATS, FIRE EXTINGUISHERS, FIRST AID BOXES, SIGNS, ETC.) AND STOCKPILE OWNER-VERIFIED ITEMS FOR REUSE.

13. EXISTING A.C.T. CEILING, GRID, LIGHTS, ETC. TO BE REMOVED THROUGHOUT U.N.O.

RESTORE EXPOSED FINISHES OR PATCHED AREAS AND EXTEND RESTORATION IN ADJOINING CONSTRUCTION IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.

14. PROMPTLY PATCH AND REPAIR ALL AREAS AFFECTED BY DEMOLITION.

DO NOT CUT AND PATCH OPERATING ELEMENTS IN A MANNER THAT WOULD REDUCE THEIR CAPACITY TO PERFORM AS INTENDED.

RETAIN ORIGINAL INSTALLER TO CUT AND PATCH EXISTING ELEMENTS WHICH MAY VOID THE EXISTING WARRANTY.

DO NOT CUT AND PATCH EXPOSED SURFACES WHICH WOULD REDUCE THE BUILDINGS AESTHETIC QUALITIES. REMOVE AND REPLACE CONSTRUCTION THAT WAS CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.

THE DRAWINGS DO NOT PURPORT TO SHOW ALL CUTTING AND PATCHING. THE CONTRACTOR SHALL ESTABLISH ALL OF THE CUTTING AND PATCHING NECESSARY AND INCLUDE ALL COSTS IN BID.

15. ALL REMAINING SERVICE AND UTILITIES MUST BE MAINTAINED WITHOUT INTERRUPTION DURING DEMOLITION. IF SERVICE NEEDS TO BE DISTURBED, SCHEDULE OR WORK MUST BE REVIEWED AND APPROVED BY OWNER.

16. MAINTAIN ALL EXISTING FIRE AND LIFE SAFETY SYSTEMS DURING DEMOLITION.

17. ALL EXISTING STRUCTURAL SYSTEMS TO REMAIN UNAFFECTED.

18. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQ'D. BY NEW CONSTRUCTION.

19. DO NOT REMOVE, CUT OR ALTER STRUCTURAL MEMBERS WITHOUT THE PRIOR APPROVAL OF A STRUCTURAL ENGINEER.

20. PROCEED WITH DEMOLITION SYSTEMATICALLY. NEATLY CUT OPENINGS AND HOLES PLUMB USING CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN. CUT AND OR DRILL FROM FINISHED SIDE OF CONSTRUCTION TO REMAIN. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIAL. MAINTAIN FIRE WATCH WITH PORTABLE FIRE FIGHTING DEVICES DURING CUTTING OPERATIONS.

21. DEMOLISH AND REMOVE ALL DASHED PLAN ITEMS SHOWN TO BE REMOVED.

WALL TYPES

3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GWB EA. SIDE; TO BOT. OF A.C.T. GRID; FULL-FIT BATT INSUL.; MUD, TAPE & SAND.

SAME AS TYPE '1' EXCEPT 6" MTL. STUDS.

(PARTITION) SAME AS TYPE '1' EXCEPT TO BOT. OF DECK; 5/8" MOISTURE RESISTANT GWB.

(PARTITION) SAME AS TYPE '1' EXCEPT 6" MTL. STUDS; TO BOT. OF DECK; 5/8" MOISTURE RESISTANT GWB.

SAME AS TYPE '1' EXCEPT 6" MTL. STUDS; PARTIAL HT.

(PARTIAL HT. PARTITION) 2 3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GWB EA. SIDE; TO BOT. OF DECK; "QUIETBATT 30" SOUNDPROOFING INSUL.; MUD, TAPE & SAND. HOLD 1/4" MIN. FROM DECK AND CONC. FLOOR -

(SOUND PARTITION) SAME AS TATTHION,

SAME AS TATTHION,

SAME AS TATTHION,

SEAL W/ACOUSTICAL SEALANT.

(PARTIAL HT. RUNS)

(EXTERIOR FURR WALL)

3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' ONE SIDE; TO BOT. OF DECK; "QUIETBATT 30" SOUNDPROOFING INSUL.; MUD, TAPE & SAND. HOLD 1/4" MIN. FROM DECK AND CONC. FLOOR - SEAL W/ACOUSTICAL SEALANT. HOLD NEW STUD 1/4" FROM EXIST. GWB WALL SURFACE. SOUND INSUL. @ ATTACHMENT POINTS OF ALL INTERSECTING WALLS. CONSTRUCT WALL TYPE '3' FIRST - TYP. (DEMISING SOUND PARTITION)

3 5/8" 16 GA. MTL. STUDS @ 16" O.C. W/ 5/8" MOISTURE RESISTANT GWB ALL SIDES; TO 5' HT. PROVIDE SIMPSON RCKW3 W/FASTENER PATTERN #1.

5 5/8" TYPE 'X' GWB OVER VAPOR BARRIER OVER 3" Z-FURRING CHANNELS W/3" STYROFOAM EXTRUDED POLYSTYRENE RIGID INSUL. OVER EXIST. CMU BLOCK; TO BOT. OF DECK; MUD, TAPE &

6 3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GWB OVER VAPOR BARRIER INTERIOR SIDE; TO BOT. OF OPENING; FULL-FIT BATT INSUL.; MUD, TAPE & SAND. (EXTERIOR INFILL WALL)

- SUBSTITUTE/USE MOISTURE RESISTANT GWB AT ALL WET WALLS, EPOXY AND TILE WALLS.
- ALL WALLS TO BE TYPE '1' U.N.O.
- STRUCTURAL DESIGN OF MTL. STUDS, INCLUDING SIZE, GAUGE, AND SPACING BY SUB/MANUF.

FLOOR PLAN KEY NOTES

NOTE

NO.

CENTER 6" STUD WALL ON EXIST. COLUMN. PROVIDE 5' HT. CHAIN LINK FENCE GATE AT EA. RUN.

Minneapolis, MN 55414 WALL TYPE '5' PARTIAL HT. SILL WALL BELOW WINDOW W/GWB SILL AND RETURNS TO WINDOW AND DOOR FRAME; TREATED WD.

612 371-6440 T W/INTEGRAL EPOXY BASE AND EPOXY TOP SURFACE. (SEE FLOOR FINISH PLAN SHT. A-2) 612 296-2933 C AT EA. RUN, PROVIDE 4" HT. CURB AT FRONT AND SLOPE CONC.

PROVIDE 4" HT. X 33" DP. RAISED PLATFORM FOR KENNELS

FLOOR TO DRAIN. EPOXY BASE AND EPOXY WALL ALL SIDES AND

TOP TO 5' HT. PROVIDE HOSE BIB FOR DOG RUNS.

BLOCKING AS REQ'D. - TYP. ALL

PROVIDE LEAD-LINED WALLS IN X-RAY ROOM AS REQ'D. - 1/16" WALL NEXT TO TABLE - 1/32" ALL OTHER WALLS

PROVIDE WALL MOP HOLDER AND 12" SHELF THIS AREA.

1. ADJUST LIGHTING, HVAC, SPRINKLERS, ETC, AS REQ'D. TO ACCOMMODATE

2. ALL EXISTING/RELOCATED EQUIP./FURNITURE SHOWN LIGHTLY DASHED.

NEW CONSTRUCTION.

66" PARTIAL HT. WALL TYPE '1D'.

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SHEET TITLE **FLOOR PLAN WALL TYPES DEMOLITION FLOOR PLAN**

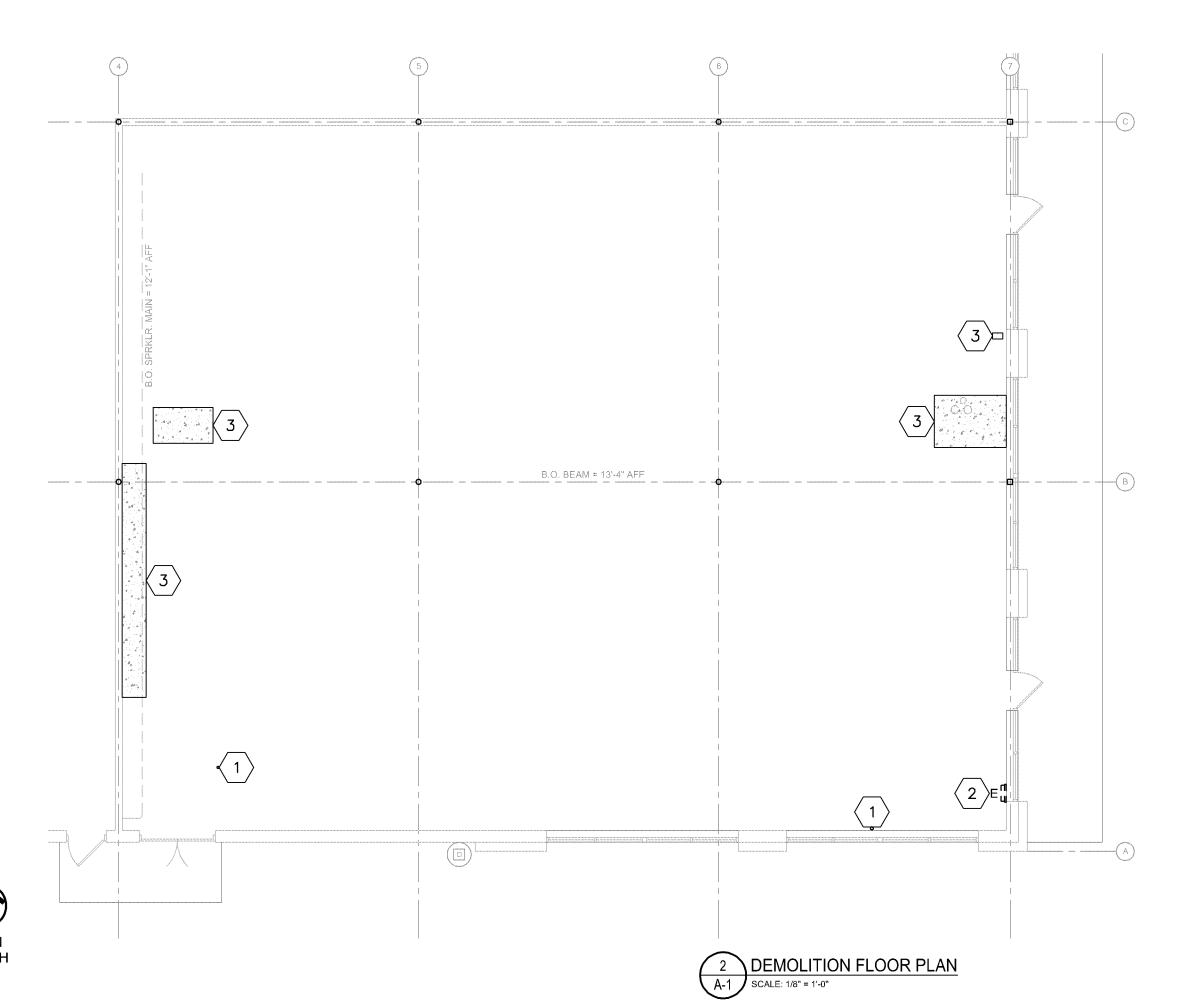
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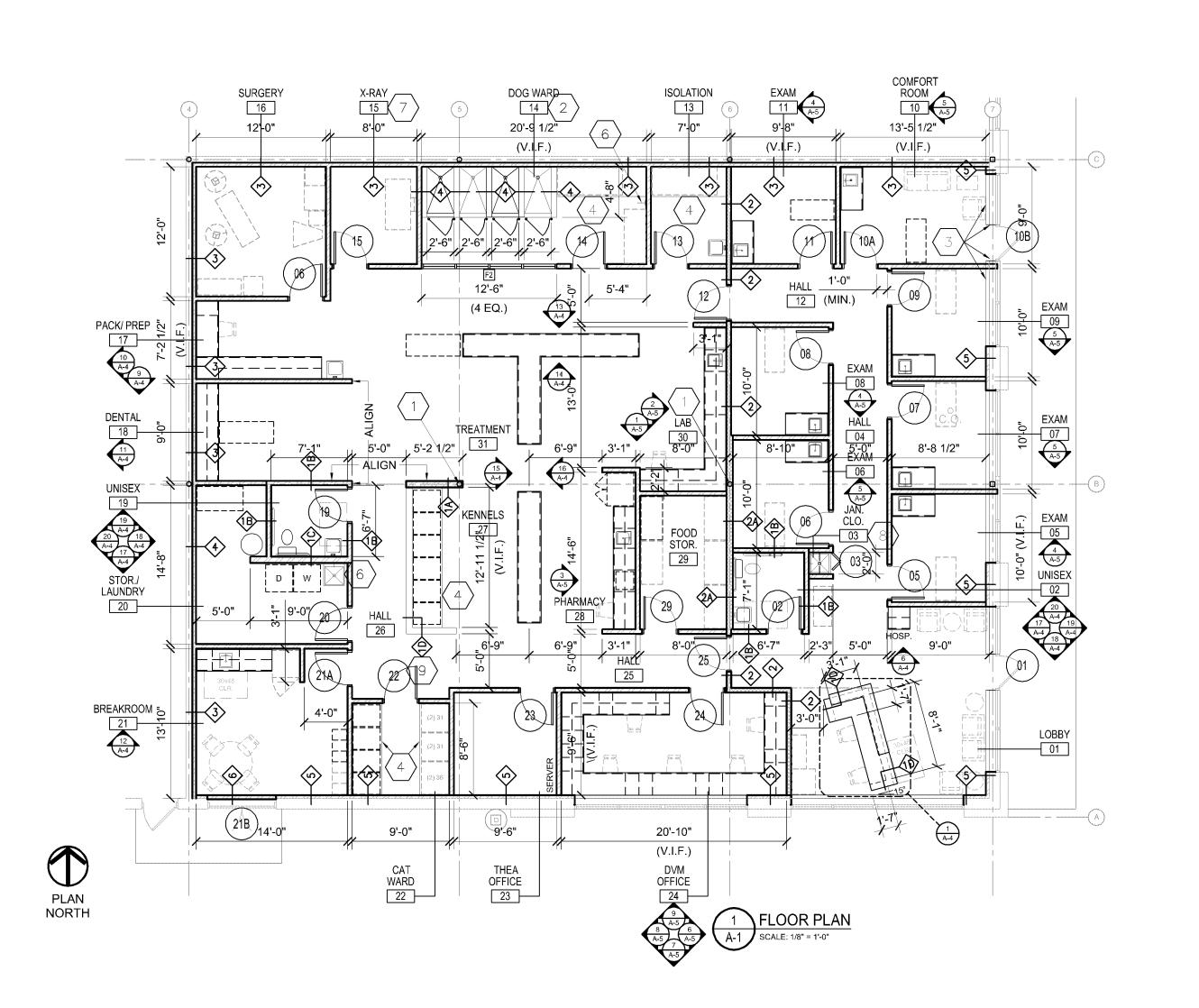
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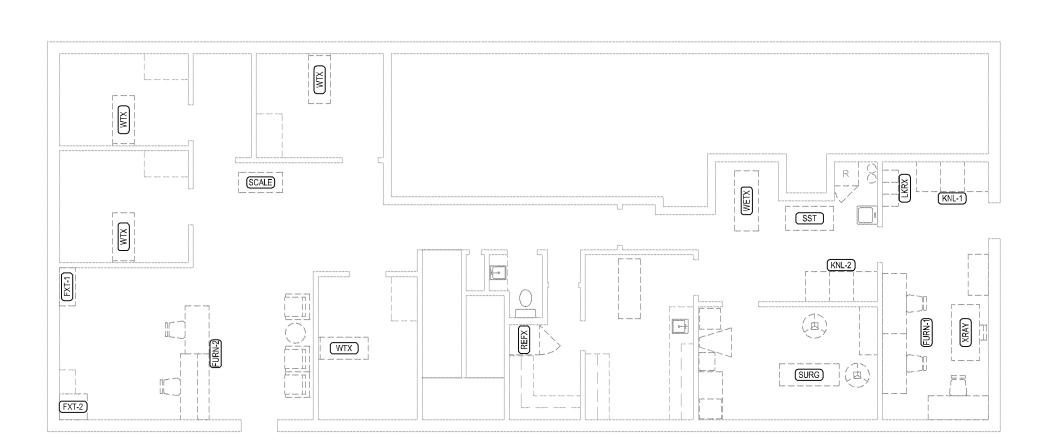




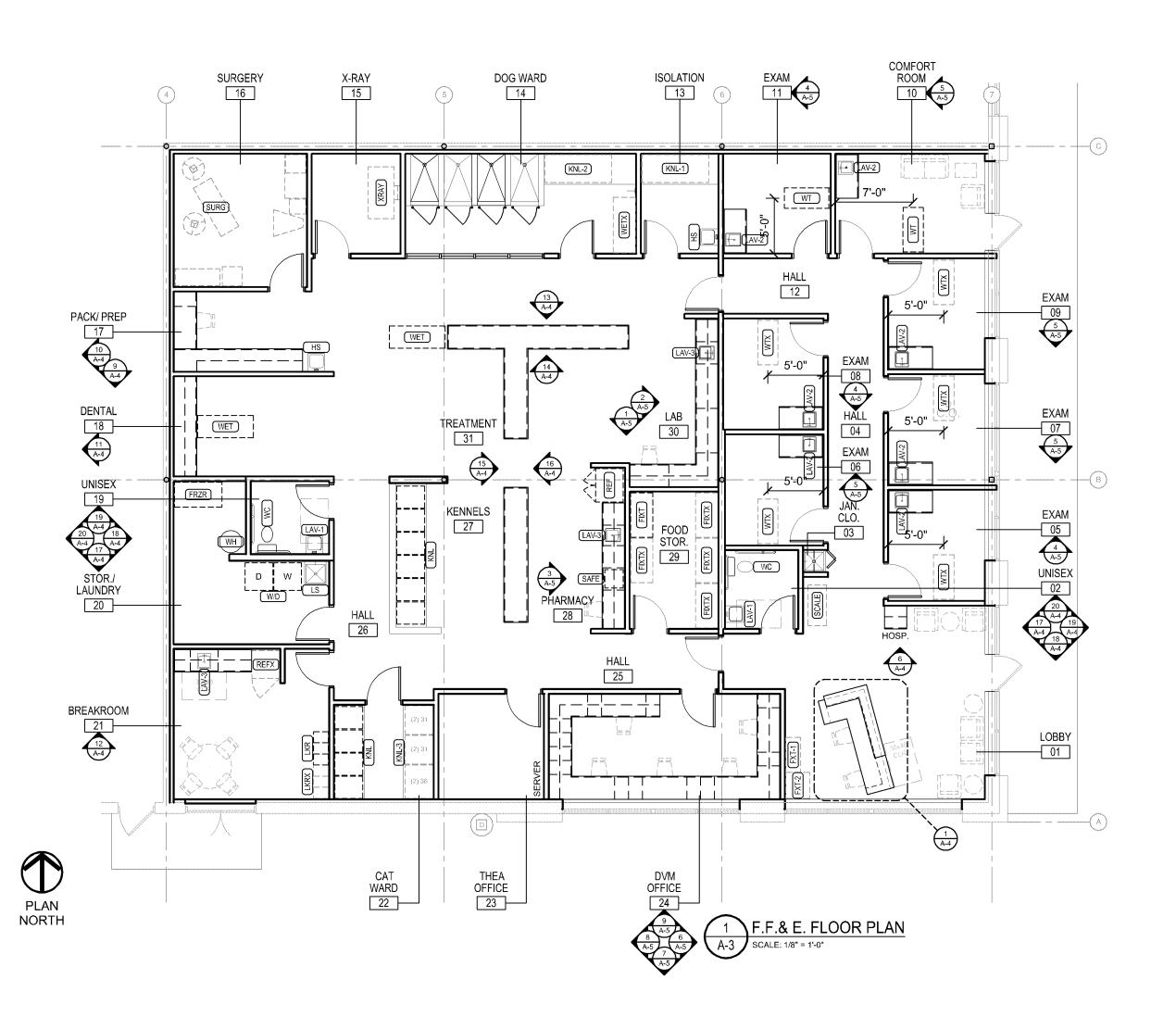
F.F.E./ ACCESSORIES LIST

TAG	ITEM	DESCRIPTION
(EHD)	ELECTRIC HAND DRYER	EXCEL AUTO. DRYER 324111, THINAIR, S.S., WALL MTD.
(FIXTX)	EXIST. FIXTURE	RELOCATED 24X48 FOOD STORAGE FIXTURE (4 THUS)
FIXT	NEW FIXTURE	NEW 24X48 FIXTURE TO MATCH EXIST.; BY TENANT
FRZR	NEW FREEZER	NEW FREEZER BY TENANT; PROVIDE ELEC., VER. LOCATION
(FURN-1)	EXIST. WORK TABLES	VER. REUSE W/TENANT
FURN-2	EXIST. RECEPTION FURNITURE	VER. REUSE W/TENANT
GB	GRAB BARS	BOBRICK, S.S.
HS	HAND SINK	NEW WALL MTD. HAND SINK (2 THUS);
		SENSOR FAUCET; ADA COMPLIANT
(KNL)	NEW KENNELS	NEW KENNELS BY TENANT
(KNL-1)	EXIST. KENNELS	RELOCATED KENNELS; VER. W/TENANT.
(KNL-2)	EXIST. KENNELS	RELOCATED KENNELS; VER. W/TENANT.
(KNL-3)	EXIST. KENNELS	RELOCATED KENNELS; VER. W/TENANT.
LAV-1	LAVATORY SINK	AMER. STND. OR EQ. WALL-HUNG, SENSOR FAUCET, ADA COMPLIANT INCLUDING ADA TRAP WRAP (2 THUS)
(LAV-2)	INSET SINK	DAYTON OR EQ. INSET SINK W/ SENSOR FAUCET, ADA COMPLIANT (7 THUS)
(LAV-3)	INSET SINK	DAYTON OR EQ. INSET SINK W/ GOOSENECK SENSOR FAUCET, ADA COMPLIANT (3 THUS)
LKRX	EXIST. LOCKERS	RELOCATED LOCKERS
LKR	NEW LOCKERS	NEW LOCKERS TO MATCH EXIST.; BY
LS	LAUNDRY SINK	TENANT 2 X 2 LAUNDRY FLOOR SINK
MIR	MIRROR	FRAMELESS, TEMPERED, 18"X36"; (2 THUS)
MS	MOP SINK	2 X 2 FLOOR MTD. MOP SINK
(REFX)	EXIST. REFRIGERATOR	RELOCATED REFRIGERATOR; GC
REF	NEW REFRIGERATOR	PROVIDE PLUMBING NEW 36" REFRIGERATOR BY TENANT; GC
(SAFE)	SAFE	PROVIDE PLUMBING 20X20X24"HT. UNDERCOUNTER SAFE BY
		TENANT; PROVIDE 4" HT. RAISED PLATFORM WITHIN CABINET; BOLT TO FLOOR.
(SCALE)	EXIST. FLOOR SCALE	RELOCATED FLOOR SCALE
(SD)	SOAP DISPENSER	WALL MTD.
(SND)	SANITARY NAPKIN DISPOSAL	BOBRICK B-254 (1 THUS IN UNISEX #19)
SST	EXIST. S.S. TABLE	VER. REUSE W/TENANT.
SURG	EXIST. SURGERY EQUIP.	RELOCATED SURGERY TABLE AND EQUIPMENT
TPH	TOILET PAPER HOLDER	BOBRICK, S.S.
WC	WATER CLOSET	AMER. STND. OR EQ., WHITE, ELONGATED BOWL, FLR. SET, AUTO FLUSH, ADA COMPLIANT (2 THUS)
W/D	WASHER/DRYER	WASHER/DRYER BY TENANT; GC PROVIDE PLUMBING
(WETX)	EXIST. WET TABLE	RELOCATED WET TABLE; GC PROVIDE PLUMBING
WET	NEW WET TABLE	NEW WET TABLE BY TENANT (2 THUS); GC PROVIDE PLUMBING
WH	WATER HEATER	AO SMITH ELEC. OR EQ. AS REQ'D. VER. LOCATION.
WTX	EXIST. WALL TABLE	RELOCATED WALL MTD. DROP DOWN WALL TABLE; MATCH EXIST. MTD. HT.
WT	NEW WALL TABLE	NEW WALL MTD. DROP DOWN WALL TABLE TO MATCH EXIST.; MATCH EXIST. MTD. HT.
XRAY	EXIST. XRAY TABLE	RELOCATED X-RAY TABLE AND EQUIP.

PL202200092 PL2022-92



2 EXISTING F.F.& E. REFERENCE FLOOR PLAN SCALE: 1/8" = 1'-0"



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SHEET TITLE F.F.&E. FLOOR PLAN EXISTING F.F.&E. REFERENCE **FLOOR PLAN** F.F.&E./ACCESSORIES LIST

> PROJECT NO. 192.01

SCALE AS SHOWN

DATE 03/21/22

REVISION DATE

SHEET NO.