



DEMOLITION PLAN KEY NOTES

NO.	NOTE
1	REMOVE EXIST. PIPE; PATCH CONC. AS REQ'D. FOR SMOOTH AND LEVEL SURFACE READY TO ACCEPT FLOOR FINISH.
2	REMOVE EXIST. FLOOR ELEC. BOX; PATCH CONC. AS REQ'D. FOR SMOOTH AND LEVEL SURFACE READY TO ACCEPT FLOOR FINISH.
3	INFILL MISSING CONC. SLAB W/NEW REINF. CONC. SLAB TO MATCH AND ALIGN W/EXIST.; DOWEL TO EXIST. PATCH CONC. AS REQ'D. FOR SMOOTH AND LEVEL SURFACE READY TO ACCEPT FLOOR FINISH.
1	PREP CONC. FLOOR AS REQ'D. FOR NEW TENANT FLOOR FINISH.
2	EXISTING A.C.T. CEILING, GRID AND LIGHTS TO BE REMOVED THROUGHOUT U.N.O.

DEMOLITION NOTES

1. CONTRACTOR SHALL EXAMINE THE SITE AND BECOME FAMILIAR WITH ALL EXISTING AND VISIBLE CONDITIONS PRIOR TO SUBMISSION OF BID.	2. MATERIALS SHOWN TO BE REMOVED AND NOT REINSTALLED SHALL BE THE PROPERTY OF THE OWNER. VERIFY POTENTIAL SALVAGED MATERIALS WITH OWNER PRIOR TO REMOVAL FROM THE SITE.
PROMPTLY DISPOSE OF UNSALVAGED, DEMOLISHED MATERIALS IN AN AUTHORIZED DISPOSAL SITE, ACCORDING TO LOCAL, STATE AND EPA REGULATIONS.	3. DO NOT DISTURB OR DAMAGE AREAS NOT INDICATED TO BE DEMOLISHED UNLESS REQ'D. BY THE WORK.
4. DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.	5. AT THE AFFECTED EXTERIOR OF THE BUILDING THE CONTRACTOR SHALL PROVIDE BARRIERS AND PROTECTION FOR THE SAFETY OF THE PUBLIC AS REQ'D., AND CONFORMING WITH LOCAL ORDINANCES.
6. SHOULD ASBESTOS BE ENCOUNTERED, CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY OWNER. ASBESTOS ABATEMENT SHALL BE PERFORMED IN COMPLIANCE WITH ALL GOVERNMENT REGULATIONS.	7. DEMOLITION PROCESS INVOLVING EXCESSIVE NOISE SHALL BE COORDINATED WITH LANDLORD SO AS NOT TO INTERFERE WITH EXISTING TENANTS.
8. SHOULD FIRE PROOFING BE DAMAGED OR REMOVED DURING THE COURSE OF WORK, CONTRACTOR SHALL REPAIR AS REQ'D. TO MATCH EXISTING OR GOVERNING CODES, WHICHEVER IS GREATER.	9. ALL DEMOLITION SHALL BE DONE IN ACCORDANCE WITH ACCEPTED STANDARDS AND PRACTICE. SPACE SHALL BE IN CLEAN CONDITION AT COMPLETION OF DEMOLITION OR PRIOR TO BEGINNING CONSTRUCTION, WHICHEVER IS FIRST.
10. SHOULD ANY UNUSUAL OR UNEXPECTED CONDITIONS BE ENCOUNTERED DURING THE COURSE OF DEMOLITION, CONTRACTOR SHALL NOTIFY OWNER AND ARCHITECT BY PHONE AT ONCE, AND IN WRITING WITHIN 10 DAYS.	11. REMOVE ALL UNUSED MECHANICAL, ELECTRICAL, PLUMBING. M.E.P. SHALL BE DESIGN-BUILD BY G.C.
12. REMOVE ANY UNUSED EXISTING WALL-MOUNTED ITEMS (IE.: EMERGENCY OR EXIT LIGHTS, THERMOSTATS, FIRE EXTINGUISHERS, FIRST AID BOXES, SIGNS, ETC.) AND STOCKPILE OWNER-VERIFIED ITEMS FOR REUSE.	13. EXISTING A.C.T. CEILING, GRID, LIGHTS, ETC. TO BE REMOVED THROUGHOUT U.N.O.
14. PROMPTLY PATCH AND REPAIR ALL AREAS AFFECTED BY DEMOLITION. RESTORE EXPOSED FINISHES OR PATCHED AREAS AND EXTEND RESTORATION IN ADJOINING CONSTRUCTION IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.	DO NOT CUT AND PATCH OPERATING ELEMENTS IN A MANNER THAT WOULD REDUCE THEIR CAPACITY TO PERFORM AS INTENDED.
DO NOT CUT AND PATCH EXPOSED SURFACES WHICH WOULD REDUCE THE BUILDINGS AESTHETIC QUALITIES. REMOVE AND REPLACE CONSTRUCTION THAT WAS CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.	DO NOT CUT AND PATCH EXPOSED SURFACES WHICH WOULD REDUCE THE BUILDINGS AESTHETIC QUALITIES. REMOVE AND REPLACE CONSTRUCTION THAT WAS CUT AND PATCHED IN A VISUALLY UNSATISFACTORY MANNER.

THE DRAWINGS DO NOT PURPORT TO SHOW ALL CUTTING AND PATCHING. THE CONTRACTOR SHALL ESTABLISH ALL OF THE CUTTING AND PATCHING NECESSARY AND INCLUDE ALL COSTS IN BID.

15. ALL REMAINING SERVICE AND UTILITIES MUST BE MAINTAINED WITHOUT INTERRUPTION DURING DEMOLITION. IF SERVICE NEEDS TO BE DISTURBED, SCHEDULE OR WORK MUST BE REVIEWED AND APPROVED BY OWNER.

16. MAINTAIN ALL EXISTING FIRE AND LIFE SAFETY SYSTEMS DURING DEMOLITION.

17. ALL EXISTING STRUCTURAL SYSTEMS TO REMAIN UNAFFECTED.

18. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQ'D. BY NEW CONSTRUCTION.

19. DO NOT REMOVE, CUT OR ALTER STRUCTURAL MEMBERS WITHOUT THE PRIOR APPROVAL OF A STRUCTURAL ENGINEER.

20. PROCEED WITH DEMOLITION SYSTEMATICALLY. NEATLY CUT OPENINGS AND HOLES PLUMB USING CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN. CUT AND OR DRILL FROM FINISHED SIDE OF CONSTRUCTION TO REMAIN. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIAL. MAINTAIN FIRE WATCH WITH PORTABLE FIRE FIGHTING DEVICES DURING CUTTING OPERATIONS.

21. DEMOLISH AND REMOVE ALL DASHED PLAN ITEMS SHOWN TO BE REMOVED.

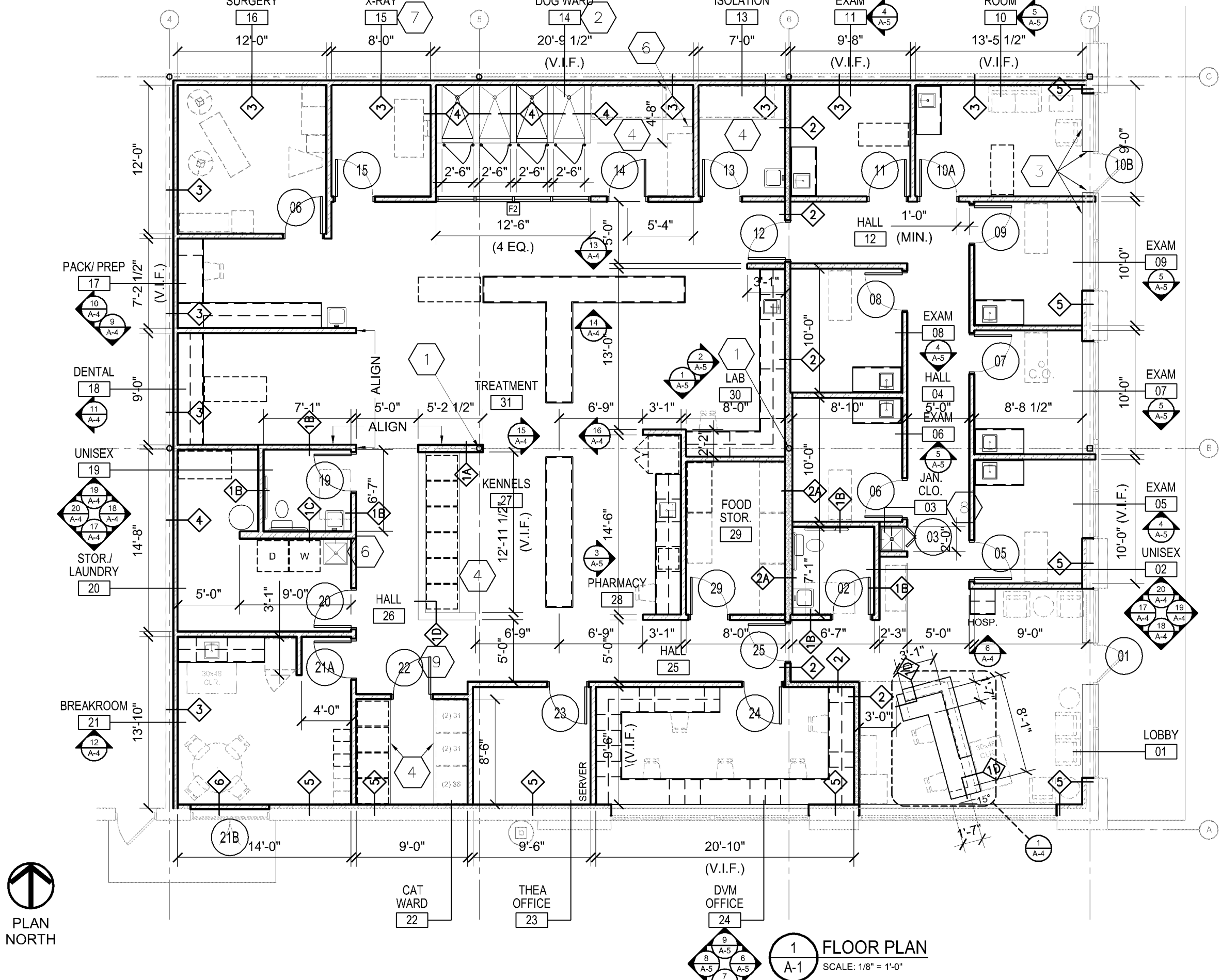
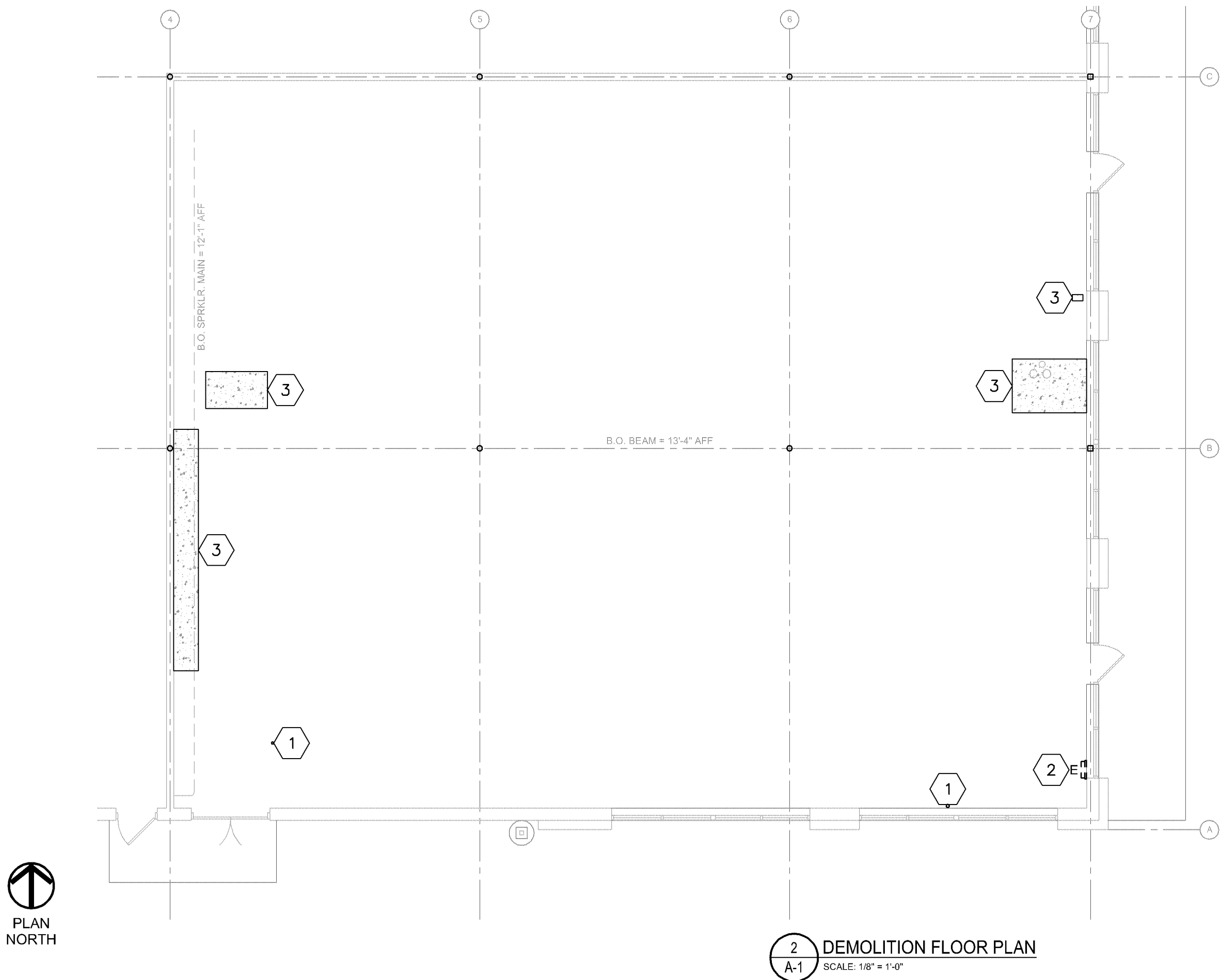
WALL TYPES

1	3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GWB EA. SIDE; TO BOT. OF A.C.T. GRID; FULL-FIT BATT INSUL.; MUD, TAPE & SAND. (PARTITION)
1A	SAME AS TYPE '1' EXCEPT 6" MTL. STUDS. (PARTITION)
1B	SAME AS TYPE '1' EXCEPT TO BOT. OF DECK; 5/8" MOISTURE RESISTANT GWB. (PARTITION)
1C	SAME AS TYPE '1' EXCEPT 6" MTL. STUDS; TO BOT. OF DECK; 5/8" MOISTURE RESISTANT GWB. (PARTITION)
1D	SAME AS TYPE '1' EXCEPT 6" MTL. STUDS; PARTIAL HT. (PARTIAL HT. PARTITION)
2	3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GWB EA. SIDE; TO BOT. OF DECK; "QUIETBATT 30" SOUNDPROOFING INSUL.; MUD, TAPE & SAND. HOLD 1/4" MIN. FROM DECK AND CONC. FLOOR - SEAL W/ACOUSTICAL SEALANT. (SOUND PARTITION)
2A	SAME AS TYPE '2' EXCEPT 6" MTL. STUDS. (PARTITION)
3	3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' ONE SIDE; TO BOT. OF DECK; "QUIETBATT 30" SOUNDPROOFING INSUL.; MUD, TAPE & SAND. HOLD 1/4" MIN. FROM DECK AND CONC. FLOOR - SEAL W/ACOUSTICAL SEALANT. HOLD NEW STUD 1/4" FROM EXIST. GWB WALL SURFACE. SOUND INSUL. @ ATTACHMENT POINTS OF ALL INTERSECTING WALLS. CONSTRUCT WALL TYPE '3' FIRST - TYP. (DEMISING SOUND PARTITION)
4	3 5/8" 16 GA. MTL. STUDS @ 16" O.C. W/ 5/8" MOISTURE RESISTANT GWB ALL SIDES; TO 5' HT. PROVIDE SIMPSON RCKW3 W/FASTENER PATTERN #1. (PARTIAL HT. RUNS)
5	5/8" TYPE 'X' GWB OVER VAPOR BARRIER OVER 3" Z-FURRING CHANNELS W/3" STYROFOAM EXTRUDED POLYSTYRENE RIGID INSUL. OVER EXIST. CMU BLOCK; TO BOT. OF DECK; MUD, TAPE & SAND. (EXTERIOR FURR WALL)
6	3 5/8" MTL. STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GWB OVER VAPOR BARRIER INTERIOR SIDE; TO BOT. OF OPENING; FULL-FIT BATT INSUL.; MUD, TAPE & SAND. (EXTERIOR INFILL WALL)
NOTE:	
1.	SUBSTITUTE/USE MOISTURE RESISTANT GWB AT ALL WET WALLS, EPOXY AND TILE WALLS.
2.	ALL WALLS TO BE TYPE '1' U.N.O.
3.	STRUCTURAL DESIGN OF MTL. STUDS, INCLUDING SIZE, GAUGE, AND SPACING BY SUB/MANUF.

FLOOR PLAN KEY NOTES

NO.	NOTE
1	CENTER 6" STUD WALL ON EXIST. COLUMN.
2	PROVIDE 5' HT. CHAIN LINK FENCE GATE AT EA. RUN.
3	WALL TYPE '5' PARTIAL HT. SILL WALL BELOW WINDOW W/GWB SILL AND RETURNS TO WINDOW AND DOOR FRAME; TREATED WD. BLOCKING AS REQ'D. - TYP. ALL
4	PROVIDE 4" HT. X 33" DP. RAISED PLATFORM FOR KENNELS W/INTEGRAL EPOXY BASE AND EPOXY TOP SURFACE. (SEE FLOOR FINISH PLAN SHT. A-2)
5	AT EA. RUN, PROVIDE 4" HT. CURB AT FRONT AND SLOPE CONC. FLOOR TO DRAIN. EPOXY BASE AND EPOXY WALL ALL SIDES AND TOP TO 5' HT.
6	PROVIDE HOSE BIB FOR DOG RUNS.
7	PROVIDE LEAD-LINED WALLS IN X-RAY ROOM AS REQ'D. - 1/16" WALL NEXT TO TABLE - 1/32" ALL OTHER WALLS
8	PROVIDE WALL MOP HOLDER AND 12" SHELF THIS AREA.
9	66" PARTIAL HT. WALL TYPE '1D'.
1.	ADJUST LIGHTING, HVAC, SPRINKLERS, ETC. AS REQ'D. TO ACCOMMODATE NEW CONSTRUCTION
2.	ALL EXISTING/RELOCATED EQUIP./FURNITURE SHOWN LIGHTLY DASHED.

PL202200092  
PL2022-92




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SHEET TITLE  
FLOOR PLAN  
WALL TYPES  
DEMOLITION FLOOR PLAN

PROJECT NO.  
192.01

SCALE  
AS SHOWN

DATE  
03/21/22

REVISION DATE  
-

PERMIT SET  
SHEET NO.

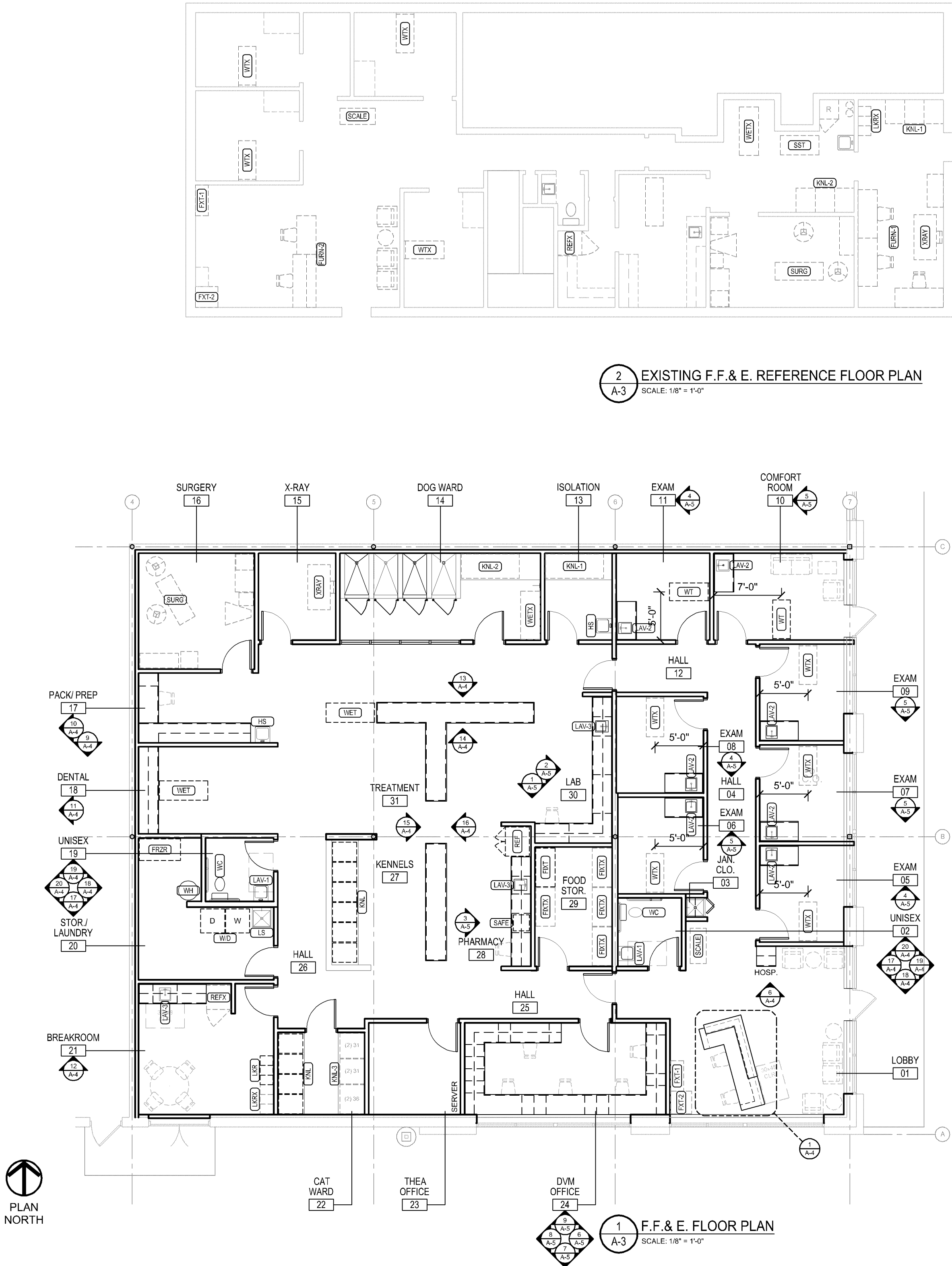
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OF 7



F.F.E./ ACCESSORIES LIST

TAG	ITEM	DESCRIPTION
(EHD)	ELECTRIC HAND DRYER	EXCEL AUTO. DRYER 324111, THINAIR, S.S., WALL MTD.
(FIXTX)	EXIST. FIXTURE	RELOCATED 24X48 FOOD STORAGE FIXTURE (4 THUS)
(FIXT)	NEW FIXTURE	NEW 24X48 FIXTURE TO MATCH EXIST.; BY TENANT
(FRZR)	NEW FREEZER	NEW FREEZER BY TENANT; PROVIDE ELEC., VER. LOCATION
(FURN-1)	EXIST. WORK TABLES	VER. REUSE W/TENANT
(FURN-2)	EXIST. RECEPTION FURNITURE	VER. REUSE W/TENANT
(GB)	GRAB BARS	BOBRICK, S.S.
(HS)	HAND SINK	NEW WALL MTD. HAND SINK (2 THUS); SENSOR FAUCET; ADA COMPLIANT
(KNL)	NEW KENNELS	NEW KENNELS BY TENANT
(KNL-1)	EXIST. KENNELS	RELOCATED KENNELS; VER. W/TENANT.
(KNL-2)	EXIST. KENNELS	RELOCATED KENNELS; VER. W/TENANT.
(KNL-3)	EXIST. KENNELS	RELOCATED KENNELS; VER. W/TENANT.
(LAV-1)	LAVATORY SINK	AMER. STND. OR EQ. WALL-HUNG, SENSOR FAUCET, ADA COMPLIANT INCLUDING ADA TRAP WRAP (2 THUS)
(LAV-2)	INSET SINK	DAYTON OR EQ. INSET SINK W/ SENSOR FAUCET, ADA COMPLIANT (7 THUS)
(LAV-3)	INSET SINK	DAYTON OR EQ. INSET SINK W/ GOOSENECK SENSOR FAUCET, ADA COMPLIANT (3 THUS)
(LKRX)	EXIST. LOCKERS	RELOCATED LOCKERS
(LKR)	NEW LOCKERS	NEW LOCKERS TO MATCH EXIST.; BY TENANT
(LS)	LAUNDRY SINK	2 X 2 LAUNDRY FLOOR SINK
(MIR)	MIRROR	FRAMELESS, TEMPERED, 18"X36"; (2 THUS)
(MS)	MOP SINK	2 X 2 FLOOR MTD. MOP SINK
(REFX)	EXIST. REFRIGERATOR	RELOCATED REFRIGERATOR; GC PROVIDE PLUMBING
(REF)	NEW REFRIGERATOR	NEW 36" REFRIGERATOR BY TENANT; GC PROVIDE PLUMBING
(SAFE)	SAFE	20X20X24"HT. UNDERCOUNTER SAFE BY TENANT; PROVIDE 4" HT. RAISED PLATFORM WITHIN CABINET; BOLT TO FLOOR.
(SCALE)	EXIST. FLOOR SCALE	RELOCATED FLOOR SCALE
(SD)	SOAP DISPENSER	WALL MTD.
(SND)	SANITARY NAPKIN DISPOSAL	BOBRICK B-254 (1 THUS IN UNISEX #19)
(SST)	EXIST. S.S. TABLE	VER. REUSE W/TENANT.
(SURG)	EXIST. SURGERY EQUIP.	RELOCATED SURGERY TABLE AND EQUIPMENT
(TPH)	TOILET PAPER HOLDER	BOBRICK, S.S.
(WC)	WATER CLOSET	AMER. STND. OR EQ., WHITE, ELONGATED BOWL, FLR. SET, AUTO FLUSH, ADA COMPLIANT (2 THUS)
(WD)	WASHER/DRYER	WASHER/DRYER BY TENANT; GC PROVIDE PLUMBING
(WETX)	EXIST. WET TABLE	RELOCATED WET TABLE; GC PROVIDE PLUMBING
(WET)	NEW WET TABLE	NEW WET TABLE BY TENANT (2 THUS); GC PROVIDE PLUMBING
(WH)	WATER HEATER	AO SMITH ELEC. OR EQ. AS REQ'D. VER. LOCATION.
(WTX)	EXIST. WALL TABLE	RELOCATED WALL MTD. DROP DOWN WALL TABLE; MATCH EXIST. MTD. HT.
(WT)	NEW WALL TABLE	NEW WALL MTD. DROP DOWN WALL TABLE TO MATCH EXIST.; MATCH EXIST. MTD. HT.
(XRAY)	EXIST. XRAY TABLE	RELOCATED X-RAY TABLE AND EQUIP.

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SHEET TITLE  
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