

# REQUEST FOR COUNCIL ACTION

|  |                  |  |                    |         |
|--|------------------|--|--------------------|---------|
| Originating Department<br><b>Community Development</b> | By<br><b>RMS</b> | Approved for<br>Agenda by:   | Date:<br><br>Time: | Number: |
| Agenda Section<br><b>DEVELOPMENT BUSINESS</b>          |                  | Item <b>Conditional Use Permit and final site plan and building plans approval</b> |                    |         |

Item 8

Case 8557DE-98

## GENERAL INFORMATION

**Applicant:** Mount Properties

**Location:** 8000,8001,8017,8121 Edwood Place and 8100 Brunswick Avenue

**Request:** Conditional use permit for an office building in the RO-24 District (Case 8557D-98) and final site plan and building plans for an office building (Case 8557E-98)

**Existing Land Use and Zoning:** Single-family dwellings and undeveloped; zoned RO-24 and RO-24(FH)

**Surrounding Land Use and Zoning:** North -- Public and Office; zoned East and South -- Townhouse development; zoned RO-24 West -- Single-family dwelling, undeveloped, County Road and railroad right-of-way

**Comprehensive Plan:** The Comprehensive Land Use Plan recommends Mixed Use with Open Space Focus land use for the property.

**Related Applications:** Case 8557C-98 -- Conditional use for deposit of fill in the floodplain.

## PROPOSAL

The applicant is proposing a one-story 36,000 square foot office building on a 11.04 acre combined parcel of which 6.53 acres will be a development site and 4.51 acres will be dedicated to the City for public purposes. According to the applicant's narrative the proposed floor area ratio (FAR) will be .13. The property includes areas located in the Nine Mile Creek floodplain and a conditional use permit has

## COUNCIL ACTION

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|-----------------|-----------------|----------|
| Motion by _____ | Second by _____ | to _____ |
|                 |                 |          |
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being requested (Case 8557C-98) to allow for the deposit of fill in a portion of the Flood Hazard (FH) Overlay District. A driveway and building floor elevation would be established between 816.5 feet to 821 feet.

Initial site access will be provided from existing Edwood Place. Future access would be from a realigned Green Valley Drive. A total of 180 surface parking spaces would be provided. The primary parking area would be on the west side of the building and a secondary area would be sited on the east side of the building.

Architecturally, the exterior building materials would be a combination of architectural stone and brick with green insulated reflective glass. The building wall includes a 3 foot high parapet for screening of roof top equipment. The proposed lighting pole height would be 20 feet. Water and sanitary sewer utility service would be provided from existing lines in Edwood Place.

#### **APPLICABLE REGULATIONS**

Section 19.40.09(d)(2) Residential Office District  
RO-24 and RO-50

Section 19.40.12 Final Site and Building  
Plans

#### **REQUIRED FINDINGS**

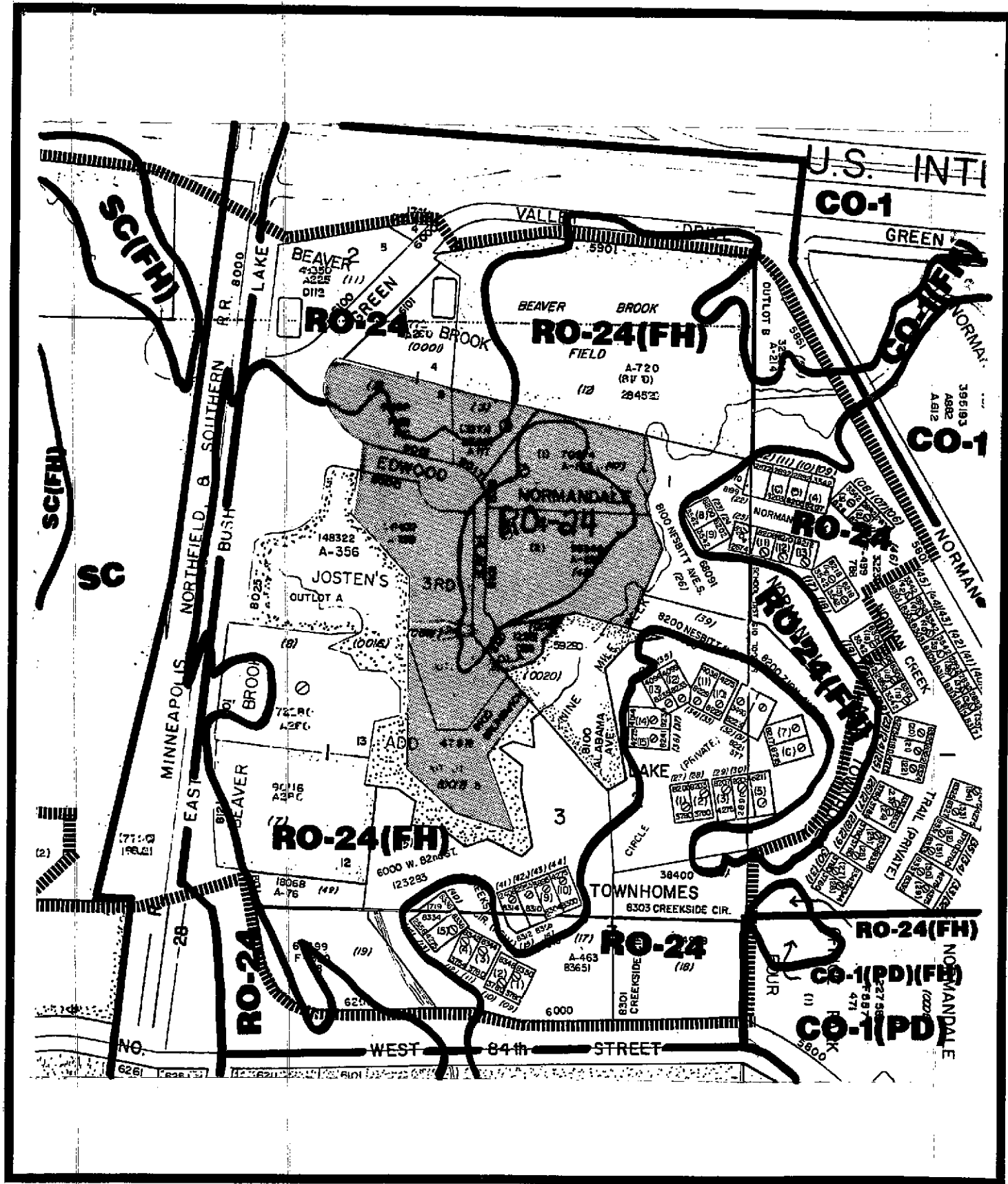
Section 19.40.11(b)(1),(2),(3),(4),(5),(6) and (7)  
Conditional Use Permit

Section 19.40.12(d)(1),(2),(3),(4) and (5)  
Final Site Plan and Building Plans

#### **CHRONOLOGY**

Planning Commission Agenda: 01/21/98 -- Public hearing scheduled.

planning\pc\agenda\A8557D.DOC



CASE  
8557DE-98

Notification Boundary

SCALE: One inch equals 300 feet

0 300 600

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## AREA CALCULATIONS

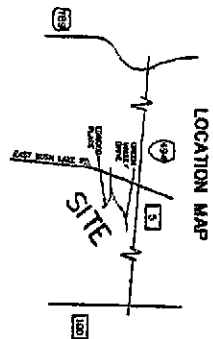
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Lloyd E. Pow, Licensed Surveyor  
Minnesota Registration No. 18424

## LEGEND

- FROM INSURGENT  
MANHOLE  
CATCH BASIN  
PERMANENT  
WATER SUPPLY  
LIGHT RAIN  
POWER CORD  
ELECTRIC BOX  
WATERBURY  
SHANTY SHED  
STRONG EXTER  
DROPSHED ALONG  
WELLYING ACCORDING TO PETERS  
CONSTRUCTION CONSULTING, INC. SEPT. 80  
GUSH LINE  
100 YEAR FLOOD CONTROL  
FLOOD FILL

**REFERENCE:**  
TOP MAP OF HINDUSTAN AT THE SOUTHWEST  
CORNER OF IRWOOD PLAZA AND GREEN VALLEY  
BANK BLDG. - DIT 63



**LOCATION MAP**

PRELIMINARY  
PLAT

10 DECEMBER  
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**NORWANDALE**  
**OFFICE BLDG.**

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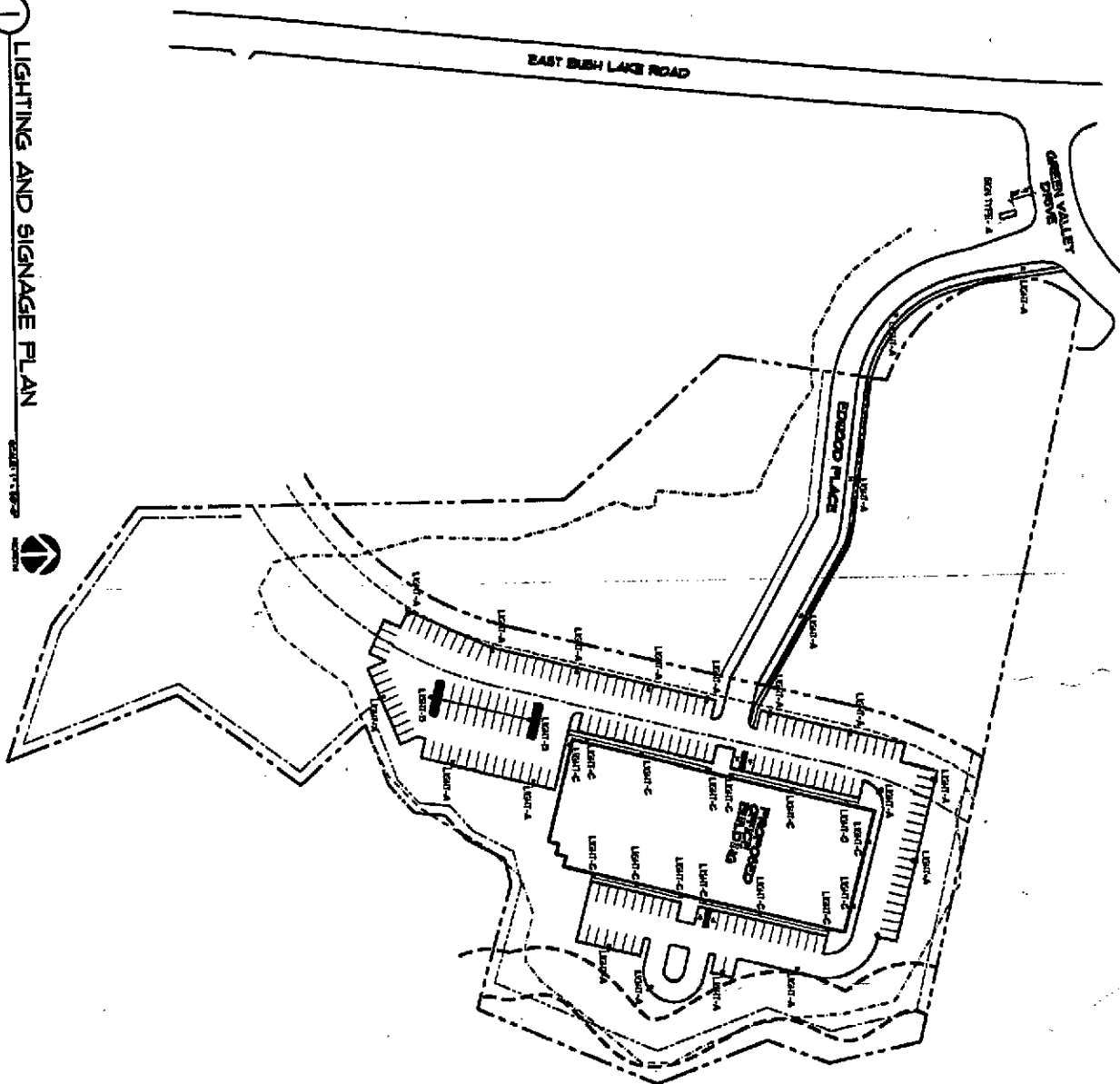
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| Age Group | Percentage |
|-----------|------------|
| 18-24     | ~15%       |
| 25-34     | ~25%       |
| 35-44     | ~35%       |
| 45-54     | ~45%       |
| 55-64     | ~55%       |
| 65-74     | ~65%       |
| 75+       | ~55%       |





**2010-11-16**

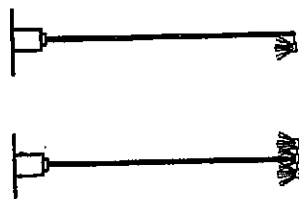


**TYPE A**  **TYPE B**  **TYPE C** 

400 B.H.P. BOOTH  
SQUARE PATTERN  
30" H. POLE  
P. E. CELL

400 B.H.P. BOOTH  
TRIANGLE HEAD  
30" H. POLE  
P. E. CELL

400 B.H.P. BOOTH  
SQUARE PATTERN  
BALL PLATE  
P. E. CELL



**NORMANDALE  
PONDS**

**BIEN TYPE - A**  
**GROUND BEN**  
**DURABLE FACED BRICK**  
**AND FLUTTERED**  
**ALUMINUM CONSTRUCTION**

### A3.0

PROJECT  
5001101  
DATE  
22 DECEMBER 1998  
LIGHTING AND  
SOUND PLAN

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**NORFOLK HARBOR  
OFFICE BUILDING**  
**1470 NORFOLK AVENUE**

**MOUNT PROPERT**  
**THE COAST GUARD**  
**TO THE**  
**RECORDING JURY**  
**1909**

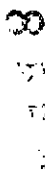
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1. **NAME**  
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 8. **E-MAIL**  
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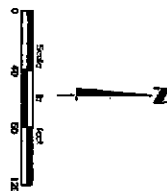
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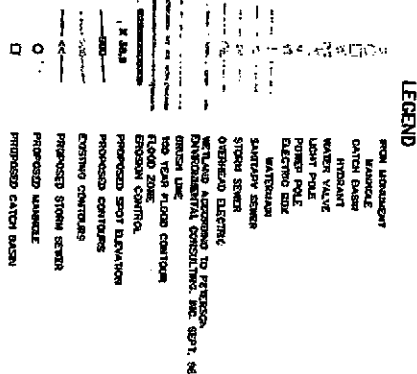


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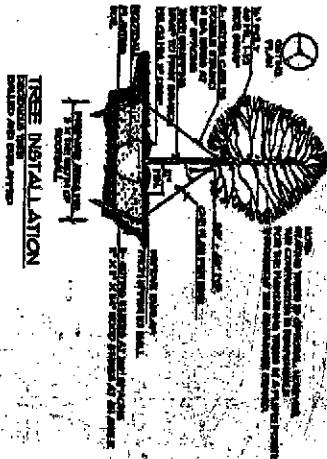
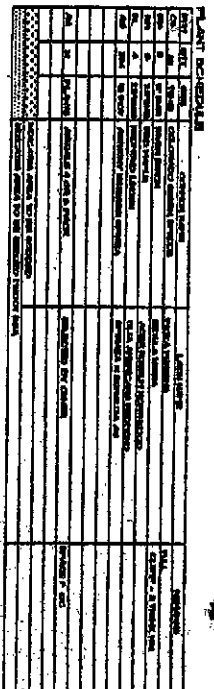
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ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED

### LEGEND

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## GENERAL NOTES

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE

Let's be clear: we're not in bed with you guys here, we're in bed with the American people. We're in bed with the American people, and we're in bed with the American people.

**SEE BATHING SUITS AND BEACH TOWELS FROM 1997-1-00 AT 70% OFF**

**ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE**

Full of the powerful, penetrating, and... of the 1970s.

...and a great deal of money was received for the same. All the money was sent to the bank, and the bank was very kind to send it to the bank.

**NOTICE CONCERNING LATELY ISSUED AND APPLIED TO ALL PATIENTS**

**FROM LEFT AND RIGHT: ORIGINALLY, THE HARRY POTTER BOOKS WERE WRITTEN BY J.K. ROWLING; NOW THEY ARE ADAPTED BY JACQUELINE KOSOVE**

### STUDY DESIGN AND PARTICIPANTS

**EXPLORE EVERY NEW PRODUCT FIRST. WE'VE GOT YOU COVERED.**

**STOCK MARKET: S&P 500 INDEX**

LANDSCAPE  
PLAN

**10 Project**

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**NORLAND  
OFFICE**

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**MOORE PAPER**

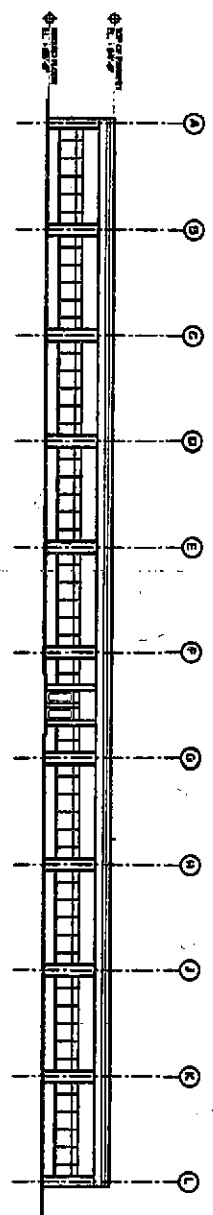
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**ARCHITECT**

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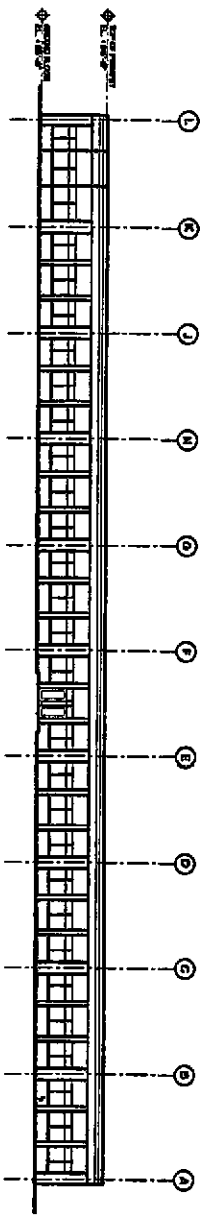
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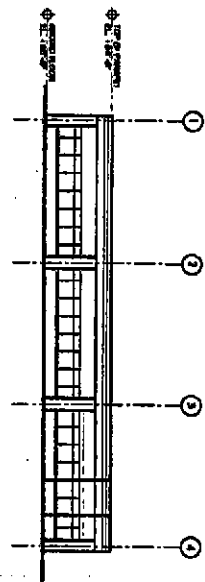
① WEST ELEVATION

SCALE: 1/8" = 1'-0"



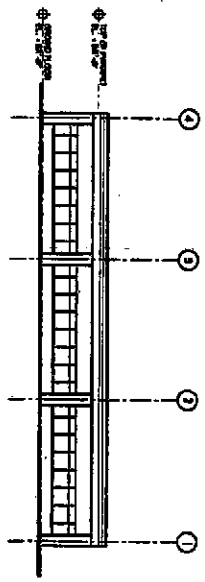
② EAST ELEVATION

SCALE: 1/8" = 1'-0"



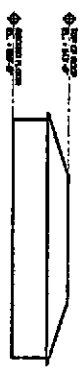
③ SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



④ NORTH ELEVATION

SCALE: 1/8" = 1'-0"



**WELMAN  
SPERIDES  
THORSEN  
ARCHITECTS**  
L L C  
1000 N. 10TH AVE.  
SUITE 200  
DENVER, CO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.WELMAN-SPERIDES-THORSEN.COM

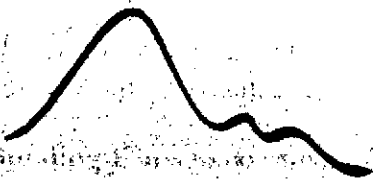
**MOUNT PROPERTIES**  
1000 N. 10TH AVE.  
SUITE 200  
DENVER, CO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.MOUNTPROPERTIES.COM

**MERANDALE PONDS  
OFFICE BUILDING**  
ARCHITECTURAL SERVICES

**1000 N. 10TH AVE. SUITE 200  
DENVER, CO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.MOUNTPROPERTIES.COM**

**PROJECTIONS  
09/01/01  
DATE  
22 DECEMBER 1998  
ARCHITECT  
EXTERIOR  
ELEVATIONS**

**A2.1**



## MOUNT PROPERTIES

December 22, 1998

Mr. Robert Hawbaker  
Planning and Economic Development  
City of Bloomington  
2215 West Old Shakopee Road  
Bloomington, Minnesota 55431-3096

RE: Written narrative - Proposed development application for Normandale Ponds  
Office Building at 8000 Edwood Place.

**Applicant:**

Robert Solfelt and Stephen Michals  
Mount Properties, Inc.  
7808 Creekridge Circle #305  
Bloomington, Minnesota 55439  
Telephone: (612) 941-1383  
Fax: (612) 941-1560

Dear Mr. Hawbaker:

This letter constitutes the written narrative required by the City of Bloomington, submitted with the enclosed development application by Mount Properties, seeking approval of:

1. Final Site Plan and Building Plans to construct a 36,000 SF office building with parking; and
2. a Conditional Use Permit for approval of an office building in the RO-24 district.

The following professionals have been retained by the applicant to provide assistance with this application.

8557 DE 98

612-941-1383 fax 612-941-1560 7808 Creekridge Circle, Suite 305 Bloomington, Minnesota 55439

**Architects**

Nicholas Sperides & David Thorsen  
Welman, Sperides, Thorsen Architects  
7808 Creekridge Circle  
Bloomington, MN 55438  
Telephone: (612) 996-9662  
Fax: (612) 996-9663

**Civil Engineers & Surveyors and Landscape Architect**

Steve Pellinen  
Hansen, Thorp, Pellinen, Olson, Inc.  
7565 Office Ridge Circle  
Eden Prairie, MN 55344  
Telephone: (612) 829-0700  
Fax: (612) 829-7806

**Environmental Advisors**

Ronald Peterson  
Peterson Environmental Consulting, Inc.  
1155 Mendota Heights Road  
Mendota Heights, MN 55120-1112  
Telephone: (612) 686-0151  
Fax: (612) 686-0369

**Consulting Traffic Engineer**

BRW, Inc.  
700 Third Street South  
Minneapolis, MN 55415  
Telephone: (612) 370-0700  
Fax: (612) 370-1378

**Project Description****A. Introduction**

Located at the southeast corner of East Bush Lake Road and I-494, this 480,776 SF parcel of land was previously part of the Josten's campus. Situated just south of Beaver Brook Park, it is served by Edwood Place and Green Valley Drive, as accessed from East Bush Lake Road. Edwood Place will be vacated and the applicant requests an address assignment of 6205 Green Valley Drive.

This parcel's development from existing vacant land to active use will donate 4.51 acres public ownership Right Of Way for the necessary planned improvements to East Bush Lake Road at I-494; thereby accelerating the city and MnDOT's plans for the much awaited realignment of Green Valley Drive, as a portion of Bloomington's ring route.

This development proposal will provide for a low intensity office use which will preserve open space and be environmentally sensitive to the wetland and existing trees. The existing zoning is RO-24 residential office. This district provides for freestanding offices as a conditional use.

## **B. Description**

### **1. General Components**

The Normandale Ponds Office Building development is on an 11.04 acre site, of which 6.53 acres will be developed, and 4.51 acres given to the city by the applicant for public purposes. The office building will consist of one story, 36,000 gross square feet. It will be a multi-tenant office building or a corporate headquarter building. The current zoning district provides for a .3 floor area ratio FAR - This development provides for a .13 FAR.

There will be 180 parking stalls.

The development also includes a storm water pond, which will comply with city and Nine Mile Creek Watershed District rate control and water quality treatment criteria.

### **2. Site Plan**

The office building is situated on the center of the site to maximize wooded screening to Nine Mile Creek and the surrounding area. The north, east and south sides of the building have views of the wetland area. Colorado spruce trees have been added on the site plan to screen cars and the general massing of the building.

Access to the office building will be via East Bush Lake Road, east on Green Valley Drive, and south on Edwood Place. There will be a pedestrian walk from Green Valley Drive to the building parking lot.

### **3. Flood Plain and Wetland**

The building elevation and driveway will be established at 816.5 to 821 feet. Flood plain at the 100-year flood elevation is at 814.5 feet in this area. In order to accommodate interim usage of Edwood Place, the applicant will raise it to approximately 816.5 feet.

The conditional use permit to fill the flood plain was requested and approved by the planning commission in our previous application.

### **4. Office Building Design**

The exterior walls of the office building will be a combination of architectural stone and brick. The glass system will be green insulated reflective glass set in an exterior glazed aluminum framing system. EFIS will be used with the concrete products to provide a mix of materials to soften the overall architecture of the building.

**5. Landscaping**

The site will be heavily landscaped in keeping with the mature oaks on the south and east side of the property. The plan has numerous colorful plants at the entrance of the site and around the building. The landscape architect has created a buffer along the east and south views of this property. The landscape plan shows the mature trees retained in these areas along with the natural underbrush will provide a strong buffer to the neighboring properties.

**6. Lighting**

Exterior lighting poles will be at 20 feet and feature up to 400 watt H.P.S. with asymmetric throw type III fixtures. A point by point photometric site lighting plan will be submitted, before specific lights and standards are final. The applicant will work with the Bloomington Police Department to amend the lighting hours during non-business hours.

**7. Utilities**

All utilities access to this site are existing in Edwood Place, and the new right of way may provide opportunities to loop or refine the city system.

**8. Signage**

The location and design of the development's signage will comply with the city's sign ordinance. One free-standing ground sign is proposed for the southwest corner of Edwood Place and Green Valley Drive. The sign will serve as the primary indicator for the entrance to the office complex. The sign will be an internally lit, two sided ground sign, not to exceed 100 square feet. The building will have an identification sign on the west side facing I-494.

**9. Occupancy and Schedule**

We intend to begin construction in the Spring of 1999 with completion and occupancy by January 2000.

**10. Timeline**

This application seeks the opportunity to appear before the Planning Commission at its January 21st meeting.

**11. Traffic**

Please refer to the enclosed BRW letter dated December 11, 1998 which refers to the daily trip generation for this project. The comparison was for an apartment complex of 120 units. The projected number of daily trips would be 606 as compared to 854 trips for a high density apartment development.

**12. Rooftop Equipment Screening**

The architectural design of the building has provided for a 3' extension of the brick exterior to provide necessary rooftop screening. This architectural component will provide for continuity of the building's architecture from all angles. Metal screening around the heating and cooling equipment will not be required.

### 13. Building Height

The overall building height will be 20' set at an elevation of 821, which would bring the overall height of this building to 841 feet. The existing topography is at 828. With a single family home set at this elevation, that home is approximately 14 feet tall, which would bring the roof line up to 842 feet. The proposed building would be at or below the existing maximum height of this home. Should this property be developed for 120 apartment units, the current zoning district provides for a 40' tall building. This 40' is based on the top floor ceiling height. A traditional pitch roof apartment building would add approximately 12 additional feet which would bring the overall height of the apartment building to 52'. Should the project be set at 821 elevation, this would bring the overall height of the building to 873 feet. An apartment complex then could be 32' higher than the proposed one story office building.

### 14. Density

The proposed building is 120' by 300' long, totaling 36,000 s.f.. The north/south dimension of this property is approximately 1,000'. This will provide for approximately 1/3 of the eastern view occupied by a one story building. Should this property be developed with high density apartments at 1,200 s.f. per unit, the proposed footprint of that building would be 36,000 s.f. At 30 units per floor, this would allow for a four level building at 10' per floor. The footprint of the apartment building would be exactly the same as the proposed office building. The current project is proposed at 180 parking stalls, which would be 1.5 parking stalls per unit of the 120 unit apartment project. The comparison of this low density office building to the current zoning of the 120 unit apartment project would have similar parking, however, the overall building height would be substantially less.

On behalf of Mount Properties and the project team, we look forward to working with the city staff to obtain a favorable staff recommendation for this project. Please feel free to call us when you are ready to meet to review the specific information on this application. Thank you in advance for your consideration.

Sincerely,



Robert Solfelt  
President

RS/sn  
Enclosure

## Item 8

**GENERAL INFORMATION**

**Applicant:** Mount Properties, Inc.

**Location:** 8000, 8001, 8017, 8025, 8101 and 8121 Edwood Place and 8100 Brunswick Avenue

**Request:** Conditional use permit for an office building in the RO-24 District (Case 8557D-98) and final site plan and building plans for an office building (Case 8557E-98)

**PROPOSAL**

The applicant is proposing a one-story 36,000 square foot office building on a 11.04 acre combined parcel of which 6.53 acres will be a development site and 4.51 acres will be dedicated to the City for public purposes. According to the applicant's narrative, the proposed floor area ratio (FAR) will be .13. The property includes areas located in the Nine Mile Creek floodplain and a conditional use permit has been requested (Case 8557C-98) to allow for the deposit of fill in a portion of the Flood Hazard (FH) Overlay District. A driveway and building floor elevation would be established between 816.5 feet to 821 feet.

Initial site access will be provided from existing Edwood Place. Future access would be from a realigned Green Valley Drive. A total of 180 surface parking spaces would be provided. The primary parking area would be on the west side of the building and a secondary area would be sited on the east side of the building.

Architecturally, the exterior building materials would be a combination of architectural stone and brick with green insulated reflective glass. The building wall includes a three foot high parapet for screening of roof top equipment. The proposed lighting pole height would be 20 feet. Water and sanitary sewer utility service would be provided from existing lines in Edwood Place.

**ANALYSIS**

The applicant is requesting a conditional use permit and final site and building plan approval for a one-story, 36,000 square foot office building. This request is under the existing Residential Office District RO-24 designation which is the primary zoning district in place. Freestanding offices in lieu of a permitted principal use is listed as a conditional use.

The general character of the site is described as low density single-family residential uses with adjacent natural wetlands. There are several stands of overstory deciduous trees, residential lawn, and natural wetlands on the site. Two existing dwellings will be removed for the development.

The total site area is 11.04 acres including floodplain and wetland areas. The proposed development area or area disturbed by the project is approximately 5.23 acres or 53.6% of the total site area. The remaining 4.51 acres or 46.4% of the site area will be undisturbed to be dedicated to the City for

roadway and open space purposes. In comparison, the 30.07 acre Normandale Lake Townhomes and Condominium project breakdown was 18.6 acres disturbed (62%) and 11.4 acres (38%) undisturbed.

The site contains large areas of floodplain marsh consisting of Type 2 (inland fresh meadow) and Type 3 (inland fresh shallow marsh) wetlands. There will be no site alteration or grading or filling in of any of the designated wetland areas identified on the development site. The building is sited to maintain the 25 foot shore area impact zone parallel to the top of the bank of Nine Mile Creek which regulates the removal of vegetation. The building is setback an additional 25 feet to maintain a minimal 50 foot structure setback from the top of the bank of Nine Mile. These setbacks are consistent with Bloomington's Shore Area Management regulations.

The existing house on the highest portion of the site, located on the parcel identified as 8101 Edwood Place, is on a knoll with a ground elevation of approximately 829 feet. This peninsula shaped area bounded by the 100 year floodplain is the developable portion of the site. The site will require the deposit of fill in the floodplain to allow for roadway access grades and a portion of the building envelope. Important elevations to note on the site include the 808 foot top of the bank elevation which represents the ordinary high water level of Nine Mile Creek and the 814.5 foot elevation which is the Nine Mile Creek Watershed District 100 year flood plain elevation. The Planning Commission at the meeting of December 17, 1998 recommended approval of a conditional use permit for the deposit of fill in the flood plain.

The preliminary alignment proposed by the Minnesota Department of Transportation (MnDOT) for Green Valley Drive strongly influences the proposed site layout for the project. In the short-term, consideration must be given to servicing the proposed building from the existing Edwood Place. A major long-term consideration is compatibility of the proposed project with the re-aligned Green Valley Drive. There are minor improvements, such as the addition of bypass lanes on Bush Lake Road at Green Valley Drive, which could be implemented fairly rapidly. These minor improvements do not rise to the level of inclusion on a County or Metro Capital Improvement Program.

Positioning of the building on the site to the west of the creek will result in preservation of some of the mature overstory trees on the property, particularly those on the southeast corner of the development area. New tree plantings would replace trees removed for construction. The landscape plan review and approval, noted as a Code requirement, should emphasize tree replacement to create for a transition between the building and parking and the wetland and Nine Mile Creek area.

The building is all on one level with surface parking. This proposed development is similar to the alternative plan reviewed by the Planning Commission at the December 17, 1998 meeting. The original development proposal was for a five-story structure and a two level parking ramp. A one story building is compatible with the existing development in the area. The location of the building on the site allows for tree preservation and a degree of tree massing. Project landscaping will have a greater impact on a one-story structure than on a building with two to five floors.

Final staff approval of exterior building material should be listed as a condition of approval. Given the location of the building in relation to open space areas and adjacent residential areas, careful review of the lighting plan and separate approval should also be listed as a condition of approval. Specific lighting criteria have been included in the Code Requirement section of the Staff Recommendation.

The applicants have submitted a trip generation study. An initial review indicates that the projected number of daily trips would be 606 trips which would be significantly less than the trips generated by the original proposal (estimated in the range of 1,000 to 1,100 trips per day). Included in the trip generation study is information on trip generation related to an apartment or condominium development at 24 dwelling units per acre. The trip generation for such a development would be 854 trips. A copy of the study is attached to the Staff report as reference material.

There are several important roadway improvements planned which will affect traffic in the area. MnDOT is considering the addition of a third lane in each direction of I-494 in 2002 or 2003. The Public Works Department has requested MnDOT to consider improvement of the East Bush Lake Road/I-494 interchange as part of that reconstruction, but no commitment has been made. The desired future plans for the interchange and the realignment of Green Valley Drive were reviewed at the previous meeting of the Commission, although at this time there is no timetable for its implementation.

As noted in the City Code, the intent or purpose of the Residential Office District RO-24 and RO-50 is as follows:

*(a) Intent. It is the purpose of these districts to provide for a mix of uses appropriate to a high-density residential environment. It is intended that these districts provide an arrangement of land uses which incorporates office and commercial activities which are interrelated to the principal residential use. These districts are to be applied only to areas with direct access to arterial or collector streets in proximity to high-intensity employment areas and adjacent to public open space.*

*While special attention to design is needed to blend multiple uses on an individual site, the unique character of sites suitable for these districts will provide convenience and amenities not immediately available in most neighborhoods.*

A small scale office development would be consistent with the intent of the zoning district. Currently, Edwood Place has access to Green Valley Drive and East Bush Lake Road which are collector/arterial roadways. Future realignment of Green Valley Drive would result in the development having direct frontage on the realigned Green Valley Drive. The project would be in proximity to high intensity employment areas and is adjacent to public open space.

The project would be consistent with the intent of the Mixed Use with Open Space Focus land use designation contained in the Northwest District Plan element of the City of Bloomington Comprehensive Plan. This district plan element was approved by the City Council in 1991 and provides the basis for the RO-24 primary zoning area. The RO-24 zoning district was the primary zoning for the Normandale Lake townhome project. A low intensity office use can be planned to preserve open space and environmentally sensitive and natural features.

General policy considerations of the Mixed Use with Open Space Focus land use designation include the following: devoting a large percentage of land to open space use so environmentally sensitive or unique features can be protected; cluster development into locations that will not adversely affect the environmentally sensitive and unique areas; the majority of structures in the developable locations must be low rise so that the open space character of the area can be maintained; and the maximum average density of nonresidential development is .3 Floor Area Ratio (FAR); and a mixture of uses should be connected by pedestrian/bicycle paths to minimize dependence upon automobiles.

The project takes into account policy considerations. It maintains a low building coverage percentage and is a low profile structure within zoning district height limitations. The predominate environmentally sensitive or unique features of the development site are Nine Mile Creek and associated Type 2 and Type 3 wetlands. The project will not impact the main watercourse or on-site wetlands. Development intensity is within a .3 FAR and the re-aligned Green Valley Drive will have a sidewalk and bikeway.

The project was reviewed by the Fire and Life Safety Committee at the meeting of January 12, 1999. The Committee's recommendations have been included in the recommended conditions of approval and City Code requirements. A copy of the Public Works Department comment sheet is attached.

## RECOMMENDATION

In Case 8557D-98, Staff recommends approval of conditional use permit for an office building

In Case 8557E-98, Staff recommends approval of final site plan and building plans for an office building subject to the following conditions being satisfied prior to the issuance of any grading or building permits:

- 1) A development agreement including all conditions of approval be executed by the applicant and the City;
- 2) A bond for landscaping and site finishing be submitted as approved by the Planning Manager;
- 3) All applicable State and Watershed District permits be obtained and proof of permits be submitted to the Manager of Building and Inspection Division;
- 4) Exterior building materials be approved by the Planning Manager;
- 5) Building plans shall identify trash and recyclable material collection and storage area provided within the building as approved by the Fire Marshal and the Planning Manager;
- 6) Grading, drainage, utility and erosion control plans be approved by the City Engineer;
- 7) Connection charges as appropriate be satisfied;
- 8) A SAC questionnaire be completed and submitted to the Department of Public Works;
- 9) Access, circulation and parking plans be approved by the City Traffic Engineer and with parking lot turn around area to be approved by the Fire Marshal;
- 10) Erosion control measures be in place prior to issuance of grading permits and be maintained during the construction period and not removed until all disturbed areas are stabilized;
- 11) Wetland area be field verified and hydrology calculations, as appropriate, be submitted for review and approval by the City Engineer;
- 12) An on-site meeting be conducted with the developer, grading contractor, and assigned city staff from the Engineering and Planning Divisions prior to any grading or tree removal;
- 13) Prior to the issuance of a grading permit a four foot high orange fence be installed, inspected and approved to delineate grading limits as shown on approved plans. Fence to be maintained in place until authorized by the Manager of Building and Inspection;
- 14) Street modification agreement be executed by the applicant and the City;

and subject to the following additional conditions of approval:

- 15) Alterations to utilities be at the developer's expense;

- 16) Sidewalk be installed along the realigned Green Valley Drive in a location approved by the City Traffic Engineer at the developer's expense;
- 17) Temporary street signs and addresses be provided during construction;
- 18) All pickup and drop-off occur on site and off of public streets;
- 19) All loading and unloading occur on site and off of public streets;

and subject to the following Code requirements:

- 1) Landscape plan be approved by the Planning Manager (Sec 19.52);
- 2) All rooftop equipment be fully screened (Sec. 19.52.01);
- 3) Poured-in-place concrete curbs be provided on the perimeter of parking lots and traffic islands (Sec 19.64);
- 4) Property be platted in accordance with the requirements of Chapter 16 of the City Code (Sec. 16.03);
- 5) Building be provided with an automatic fire sprinkler system as approved by the Fire Marshal (Mn Bldg. Code 3802; Uniform Fire Code Ch. 10.306);
- 6) Fire lanes be posted as approved by the Fire Marshal (Sec. 8.73);
- 7) Utility plan showing location of existing and proposed water main and fire hydrant locations be approved by the Fire Marshal and Utilities Engineer (Sec. 6.20, Uniform Fire Code Ch. 10.301-C);
- 8) Food service plans be approved by the Environmental Services Division (Sec. 14.360);
- 9) Parking lot and site security lighting shall satisfy the requirements of Section 19.54 of the City Code and as noted below:
  - A) Reduce all pole heights to a 20 foot maximum;
  - B) All pole fixtures shall be up to a maximum of 400 watts;
  - C) All fixtures shall contain flat lenses;
  - D) All fixtures shall be 90 degree cut-off luminaries;
  - E) Electronic control system to be installed to turn fixtures off at 9:30 p.m. on weekdays and 6:30 p.m. on Saturdays. Only lighting as directed by Bloomington Police Department for security reasons shall be on during non-business hours, holidays and Sundays;
  - F) House side shields shall be used on all luminaries adjacent to residential properties; and
- 10) Signage be in conformance with the requirements of Chapter 19, Article X of the City Code.

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PUBLIC WORKS DEPARTMENT  
Commercial, Industrial and Multiple Development

Name: Mount Properties, Inc. Case No.: 8557DE-98  
8000, 8001, 8017, 8025, 8101 & 8121 Edwood  
Location: Place and 8100 Brunswick Avenue Scheduled for PC: 1/21/99  
Return to: Bob S. By: 1/11/98

1. Engineering  
Office Supervisor DM 12/28/98  
Initial & Date

Replatting Required.

Recommend right of way be dedicated to provide access to Lot 1 and to provide right of way for existing utilities.

Provide standard easements along perimeter of development.

Connection charges due - amount depends on final lot areas and configuration of development.

2. Traffic Engineer LLB 12/31/98  
Initial & Date

Yes if the basic development concept is approved - the following conditions are essential for inclusion with the approval.

Plat and dedicate all land westerly of base lot to the city as R.O.W.

Provide 10' wide easement for sidewalk, utility, bikeway, and grade alteration along the new ROW perimeter.

Modest adjustment to driveway with higher capacity and space for larger emergency vehicle to negotiate turns.

Possibly add 3 more spaces to proof of package and eliminate 3 spaces shown for better driveway geometrics; i.e. radii & width necessary to move in and out of circulation system even when cars are parked in all spaces near driveway.

Establish No Parking at anytime on Public Streets.

Establish and show grade and alignment for 8 ft. wide non-motorized way on easement between one foot and nine feet from the par lane at this time and keep that easement space clear of obstruction along the proposed realigned Green Valley/Norman Center

If concept is approved; the development actions and plans will need to include proper detail handling of Edwood Pl. interim access well as modest radii and by pass modification at East Bush Lake Road.

3. Street Engineer WAF 1/8/99  
Initial & Date

Relocate ponds out of future street!

CB's 4 & 6 require environmental sumps (traps)

Place sanitary manhole instead of cleanout at property line.

0.7% slope in ditch (swale) at southwest is marginal for flow.

Slopes around parking areas are too steep (2:1 in some areas) if they are to be maintained.

Concrete curb required around all drives and parking areas.

9 Mile Creek and NPDES permits required.

4. Surveyor

7 Jan 99

LCNS

Initial & Date

Dedicate access road in plat.

Show erosion control on erosion control plan.

Show erosion control - details.

Show and spec revegetation.

5. Utilities

TKK 1/11/99

Initial & Date

Abandon the existing water services in accordance with Bloomington utility regulations. (3 total)

Need more detail on water line to Green Valley Drive (include a valve to be installed on the 12" main separating the two service ties (common utility easements may be necessary).

Contact utilities re: SAC charges.

Add a valve to the building service, for isolation of the building without affecting any fire hydrants.

Also shift the valve in the parking lot entrance to the point where tying into existing water system.

6. Water Resources  
Engineer

SAP 12/28/98  
Initial & Date

Submit drainage calculations for 1, 10, 100 year (1 & 24 hour) events.  
Show city standard storm sewer details on a detail sheet.  
Show erosion control location of C-3 and detail.  
Obtain a permit form 9-Mile Creek Watershed District.  
Show swale cross-section and detail on how the swale will be revegetated.  
CB4 & CB6 shall be trap manhole's.  
?When new read ROW is established and the road is built it will encroach on the ponding area and pond storage will be lost.

7. Civil Engineer

SMA 1/4/99  
Initial & Date

NPDES permit needed from MPCA.  
Provide floodage easement to 814.5 - 100 year flood elevation for 9 Mile Creek as referenced on plan.  
Provide 9-Mile Creek Watershed District comments/permit.  
Provide flood plain encroachment permits.  
Provide plan details - storm sewer and erosion control.

8. Right of Way Agent

DF 1/4/99  
Initial & Date

Dedicate Outlot 1 as street right of way, and provide sidewalk, drainage, utility, bikeway and grade alteration easement on the west 10 feet of proposed Lot 1.

9. City Engineer

                      
Initial & Date

10. Deputy Director  
Public Works

\_\_\_\_\_  
Initial & Date

11. Director of  
Public Works

\_\_\_\_\_  
Initial & Date

Law Offices  
1400 AT&T Tower  
901 Marquette Avenue  
Minneapolis, MN 55402-2859  
Telephone: (612) 305-1400  
Facsimile: (612) 305-1414

MACKALL  
CROUNSE  
& MOORE

Winston E. Munson  
Of Counsel  
612-305-1458  
mem@mcmlaw.com

January 6, 1999

Planning Commission  
City of Bloomington  
2215 West Old Shakopee Road  
Bloomington, MN 55431-3096

Re: Case 8557DE-98 – Mount Properties, Inc.

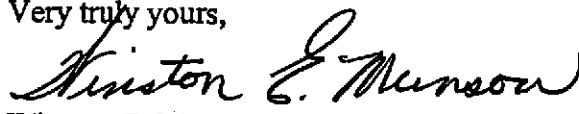
Dear Commissioners:

I am writing on behalf of myself and my wife, Carole Munson. We are unable to attend the Planning Commission meeting because we will be out of town. We are the owners of the townhouse at 8235 Creekside Circle directly across from the proposed Mount Properties, Inc. project. Our property would be significantly adversely affected if the requested conditional use permit is granted. The value of our property would be greatly diminished. We paid a lot premium to purchase our lot in addition to the significant purchase price of our home. The views from our house are directed to the creek as are the views of most other owners in the development. The proposed development would be directly in line with these views.

We recognize that it is likely that some development on the property will occur. However, we feel that any presently permitted use under the existing zoning would likely be less undesirable and are prepared to take that risk. Under the permitted uses of the present zoning, any offices would have to be part of a residential permitted principal use such as offices within a multi-family residential building and with a height limitation of forty feet. This would be far more acceptable than the proposed free standing office building. We request that the Planning Commission deny the conditional use permit.

We appreciate any consideration which you give to our letter and to the views of our neighbors.

Very truly yours,

  
Winston E. Munson

WEM/mga/S05535.1

RECEIVED  
DIVISION OF CITY PLANNING  
JAN 07 1999  
CITY OF BLOOMINGTON  
MINNESOTA

**From:** <SSinykin@aol.com>  
**To:** COB.COB(planning)  
**Date:** 1/10/99 12:45pm  
**Subject:** Public hearing re: 8557DE-98

The proposal of this developer is no better now than it was in its previous forms. The utter destruction of the whole areas ambience by the intrusion of this football sized project should be sufficient reason prevent its approval. When you include the sharp jump in the traffic on roads that are not currently adequate with no planned improvement the ludicrousness of the project increases geometrically. Further add in the fact that despite the testimony of the city engineer, the real hazard to the flooding problem as demonstrated by the fact that roads have been under water from rain storms just recently, would certainly put many of the existing homes in jeopardy, and you can understand why we are so opposed to this developers' plan.

Dr. Stephen and Jackie Sinykin, 8211 Norman Creek Trail are hereby on record as opposing this development. We will be at the Planning Commission meeting on Jan. 21 to support this letter.

Sincerely, Dr. S.G.Sinykin and Jackie Sinykin

**RECEIVED**  
DIVISION OF CITY PLANNING  
**JAN 11 1999**  
CITY OF BLOOMINGTON  
MINNESOTA

April 6, 1999

Mount Properties, Inc.  
7808 Creekridge Circle, Suite 305  
Bloomington, MN 55439

RE: Case 8557CDE-98

Dear Mr. Michals:

At its regular meeting of April 5, 1999, the City Council approved a conditional use permit for the deposit of fill in the floodplain at 8000, 8001, 8017, 8025, 8101 and 8121 Edwood Place and 8100 Brunswick Avenue.

The Conditional Use Permit approval is subject to the following conditions being satisfied prior to the issuance of any building permits (Case 8557C-98):

- 1) Nine Mile Creek Watershed District floodplain permit be obtained and proof of permit be presented to the Manager of Building and Inspection Division.

Also, at its regular meeting of April 5, 1999, the City Council approved a conditional use permit for an office building in the R0-24 Residential Office District at 8000, 8001, 8017, 8025, 8101, 8025, 8101 and 8121 Edwood Place and 8100 Brunswick Avenue (Case 8557D-98).

Also, at its regular meeting of April 5, 1999, the City Council approved the final site plan and building plans for an office building at 8000, 8001, 8017, 8025, 8101, 8025, 8101 and 8121 Edwood Place and 8100 Brunswick Avenue (Case 8557E-98).

The Final Site and Building Plan approval is subject to the following conditions being satisfied prior to the issuance of any building permits:

- 1) A development agreement including all conditions of approval be executed by the applicant and the City;
- 2) A bond for landscaping and site finishing be submitted as approved by the Planning Manager;
- 3) All applicable State and Watershed District permits be obtained and proof of permits be submitted to the Manager of Building and Inspection Division;
- 4) Exterior building materials be approved by the Planning Manager;
- 5) Building plans shall identify trash and recyclable material collection and storage area provided within the building as approved by the Fire Marshal and the Planning Manager;
- 6) Grading, drainage, utility and erosion control plans be approved by the City Engineer;
- 7) Connection charges as appropriate be satisfied;

- 8) A SAC questionnaire be completed and submitted to the Department of Public Works;
- 9) Access, circulation and parking plans be approved by the City Traffic Engineer and with parking lot turn around area to be approved by the Fire Marshal;
- 10) Erosion control measures be in place prior to issuance of grading permits and be maintained during the construction period and not removed until all disturbed areas are stabilized;
- 11) Wetland area be field verified and hydrology calculations, as appropriate, be submitted for review and approval by the City Engineer;
- 12) An on-site meeting be conducted with the developer, grading contractor, and assigned city staff from the Engineering and Planning Divisions prior to any grading or tree removal;
- 13) Prior to the issuance of a grading permit a four foot high orange fence be installed, inspected and approved to delineate grading limits as shown on approved plans. Fence to be maintained in place until authorized by the Manager of Building and Inspection;
- 14) Street modification agreement be executed by the applicant and the City;

and subject to the following additional conditions of approval:

- 15) Alterations to utilities be at the developer's expense;
- 16) Sidewalk be installed along the realigned Green Valley Drive in a location approved by the City Traffic Engineer at the developer's expense;
- 17) Temporary street signs and addresses be provided during construction;
- 18) All pickup and drop-off occur on site and off of public streets;
- 19) All loading and unloading occur on site and off of public streets;

and subject to the following Code requirements:

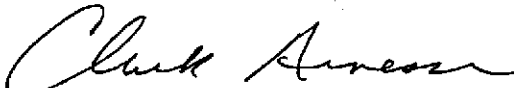
- 1) Landscape plan be approved by the Planning Manager (Sec 19.52);
- 2) All rooftop equipment be fully screened (Sec. 19.52.01);
- 3) Poured-in-place concrete curbs be provided on the perimeter of parking lots and traffic islands (Sec 19.64);
- 4) Property be platted in accordance with the requirements of Chapter 16 of the City Code (Sec. 16.03);
- 5) Building be provided with an automatic fire sprinkler system as approved by the Fire Marshal (Mn Bldg. Code 3802; Uniform Fire Code Ch. 10.306);
- 6) Fire lanes be posted as approved by the Fire Marshal (Sec. 8.73);
- 7) Utility plan showing location of existing and proposed water main and fire hydrant locations be approved by the Fire Marshal and Utilities Engineer (Sec. 6.20, Uniform Fire Code Ch. 10.301-C);
- 8) Food service plans be approved by the Environmental Services Division (Sec. 14.360);
- 9) Parking lot and site security lighting shall satisfy the requirements of Section 19.54 of the City Code and as noted below:
  - A) Reduce all pole heights to a 20 foot maximum;
  - B) All pole fixtures shall be up to a maximum of 400 watts;
  - C) All fixtures shall contain flat lenses;
  - D) All fixtures shall be 90 degree cut-off luminaries;

- E) Electronic control system to be installed to turn fixtures off at 9:30 p.m. on weekdays and 6:30 p.m. on Saturdays. Only lighting as directed by Bloomington Police Department for security reasons shall be on during non-business hours, holidays and Sundays;
  - F) House side shields shall be used on all luminaries adjacent to residential properties; and
- 10) Signage be in conformance with the requirements of Chapter 19, Article X of the City Code.

Should you have any questions regarding this action, please contact Robert Sharlin, Planner at 612-948-8925. Before any construction work begins, you must obtain all required building permits. Please contact the Building and Inspection Division at 612-948-8930 to discuss the requirements for building permit application.

The City will issue the necessary permits for development and use of the property for the purpose stated in Case 8557E-98, subject to the conditions set forth above.

Sincerely,



Clark Arneson  
Planning Manager

May 6, 1999

Attn: Stephen Michals  
Mount Properties  
7808 Creek Ridge Cir.  
Suite 305  
Bloomington, MN 55439

Re: MOUNT PLAT FIVE - Case No.8557A-99

Dear Mr. Michals:

On April 5, 1999, the City Council approved the preliminary and final plat of MOUNT PLAT FIVE with the following conditions:

1. Grading, drainage, utility and erosion control plans be approved by the City Engineer;
2. Connection charges, as appropriate, be satisfied;
3. Access, circulation and parking plans be approved by the City Traffic Engineer;
4. Alterations to utilities be at the developer's expense;
5. Provide 10' concurrent sidewalk/bikeway easement along the new Green Valley Drive right of way.
6. Dedicate drainage easement to the 814.5 flood elevation along Nine Mile Creek, as approved by the City Drainage Engineer.
7. Right of way for the re-alignment of Green Valley Drive be dedicated in lieu of Park Dedication.
8. Dedicate 5' drainage and utility easement along the northerly and southerly line of Lot 1, and dedicate a 10' drainage and utility easement adjacent to the street frontages.

The DEPARTMENT OF PUBLIC WORKS

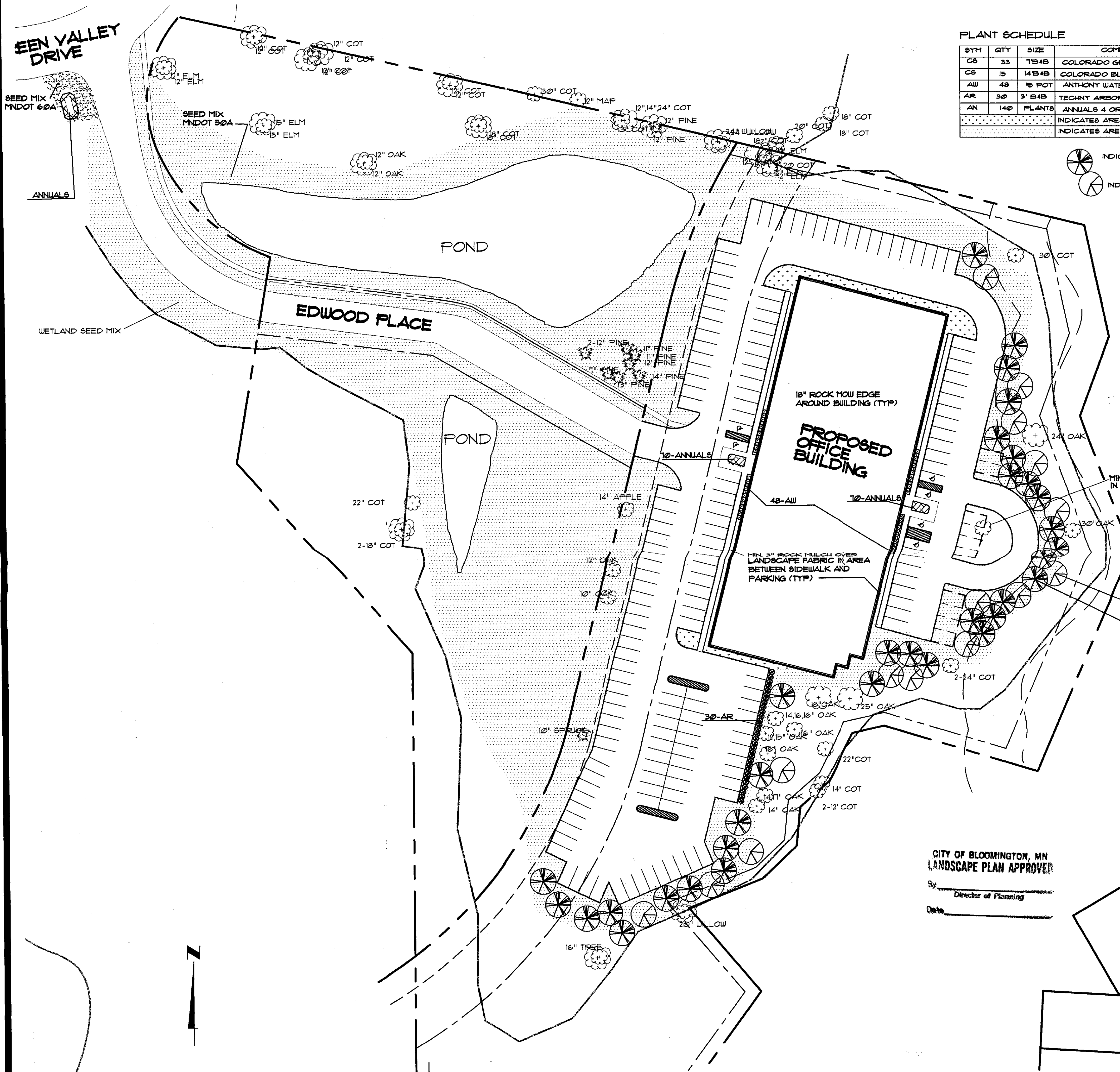


Don Mattson  
Engineering Division

DTM:cr

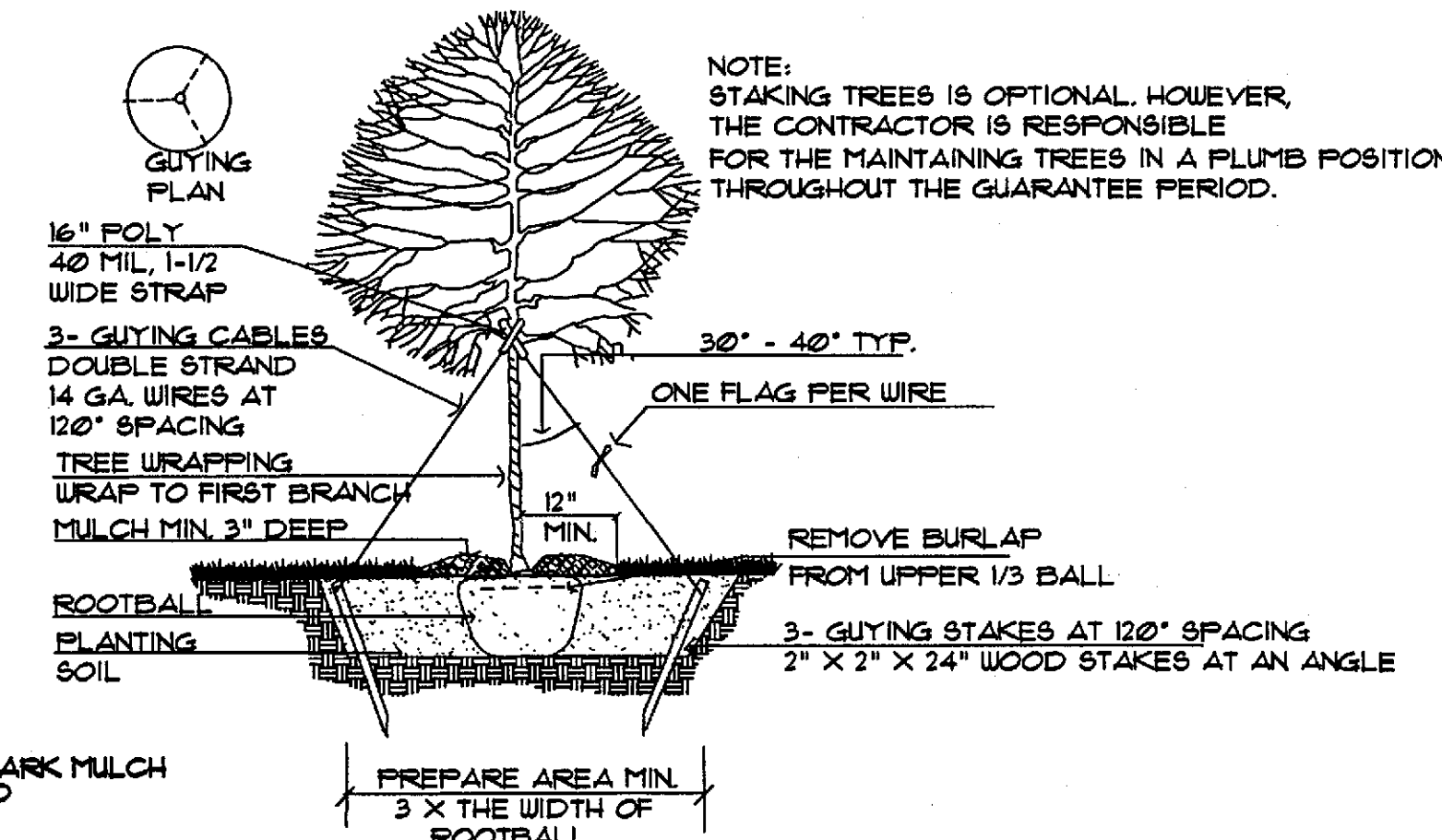
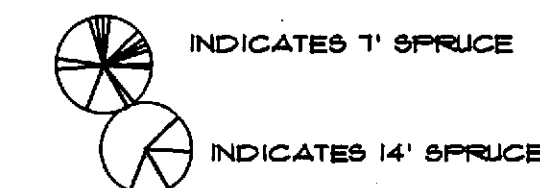
cc: Bob Hawbaker

8557CDE-98

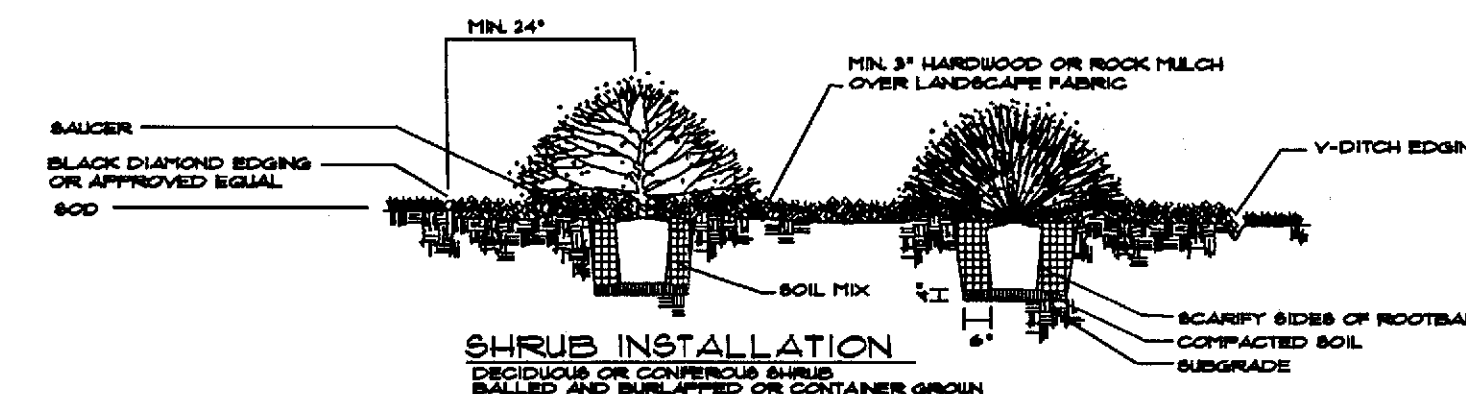


PLANT SCHEDULE

| SYM | QTY | SIZE   | COMMON NAME                           | LATIN NAME                | REMARKS     |
|-----|-----|--------|---------------------------------------|---------------------------|-------------|
| CS  | 33  | 1 1/2" | COLORADO GREEN SPRUCE                 | PICEA PUNGENS             | FULL        |
| CS  | 15  | 1 1/2" | COLORADO BLUE SPRUCE                  | PICEA PUNGENS             |             |
| AW  | 48  | 5 POT  | ANTHONY WATERER SPIREA                | SPIRAEA X BIMALDA AW      | SPACE 1' OC |
| AR  | 30  | 3' B4B | TECHNY ARBORVITAE                     | THUJA OCCIDENTALIS TECHNY |             |
| AN  | 140 | PLANTS | ANNUALS 4 OR 6 PACK                   | SELECTED BY OWNER         |             |
|     |     |        | INDICATES AREA TO BE SODDED           |                           |             |
|     |     |        | INDICATES AREA TO BE SEEDED MNDOT 50A |                           |             |



TREE INSTALLATION  
DECIDUOUS TREE  
BALLED AND BURLAPPED



GENERAL NOTES:

SHOULD A PLANT BE UNAVAILABLE AT THE TIME OF INSTALLATION, ALL SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY.

ANY EXISTING VEGETATION TO BE REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A MANNER THAT IS APPLICABLE WITH LOCAL CITY AND STATE REQUIREMENTS.

SEE ENGINEERS GRADING AND UTILITY PLANS FOR EXACT LOCATIONS OF BERTS, FENCE, RETAINING WALLS, AND PIPE LOCATIONS.

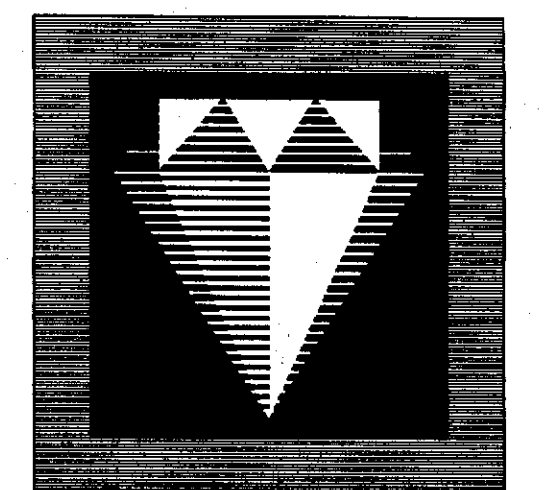
ALL TREES SHALL RECEIVE SAUCERS AND MULCH WITH SHREDDED HARDWOOD INDIVIDUALLY AS PER PLANTING DETAIL. ALL SHRUB GROUPS SHALL RECEIVE A CONTINUOUS BEDLINE A MIN. 18\"/>

ROCK OVER LANDSCAPE FABRIC SHALL BE APPLIED TO ALL PLANTING BEDS AREAS TO A 3\"/>

SPRING EXCAVATION AND PLANTING PREFERRED.

ALL AREAS WITHIN THE PROPERTY THAT ARE NOT SHRUB BEDS OR HARD SURFACED EXCEPT AS NOTED SHALL BE SOEDED. ALL AREAS OUTSIDE THE PROPERTY LINES DISTURBED BY GRADING OR UTILITY INSTALLATION SHALL BE RETURNED TO EXISTING CONDITION OR BETTER OR AS NOTED.

MULCH ANNUAL BEDS WITH 3\"/>



**WELMAN  
SPERIDES  
THORSEN**  
ARCHITECTS  
L L C

7808 CREEKBRIDGE CIRCLE  
SUITE 105  
BLOOMINGTON, MINNESOTA  
55439  
FAX (612) 996.9663  
PHONE (612) 996.9662

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MOUNT PROPERTIES

7808 CREEKBRIDGE CIRCLE  
STE. 305  
BLOOMINGTON, MN  
55439

CONSULTANTS

**HT Hansen Thorp  
Pellinen Olson Inc.**  
Engineers - Surveyors - Landscape Architects  
7565 Office Ridge Circle  
Eden Prairie, MN 55344-3644  
(612) 829-0700 FAX (612) 829-7806

NORMANDELE PONDS  
OFFICE BUILDING

BLOOMINGTON, MINNESOTA

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

JAN WAGER ANDERSON  
11-03-98 Reg. No. 20093

REVISION:  
12-22-98 CITY SUBMITTAL  
2-19-99 OWNER COMMENTS  
2-24-99 OWNER COMMENTS

PROJECT NO.  
HTPO 98-135

DATE:  
10 DECEMBER 1998

SHEET NAME:  
LANDSCAPE  
PLAN

SHEET NO.

RECEIVED  
DIVISION OF CITY PLANNING  
FEB 25 1999  
CITY OF BLOOMINGTON  
MINNESOTA

Approved Plan

8557CDE-98

HT  
PO

Engineers • Surveyors  
Landscape Architects

Hansen Thorp Pellinen Olson Inc.  
7510 Market Place Drive  
Eden Prairie, Minnesota 55344  
(952) 829-0700 FAX (952) 829-7806

JOSTENS  
6161 Green Valley Dr.

BLOOMINGTON,  
MINNESOTA

Berming for  
Existing Site

Revisions  
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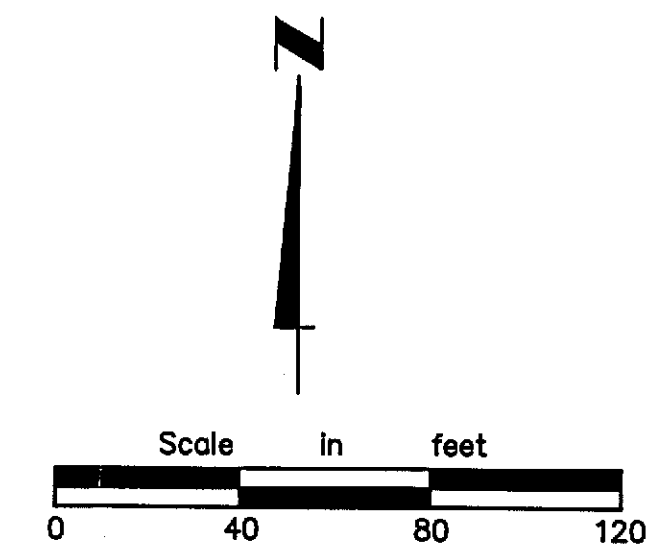
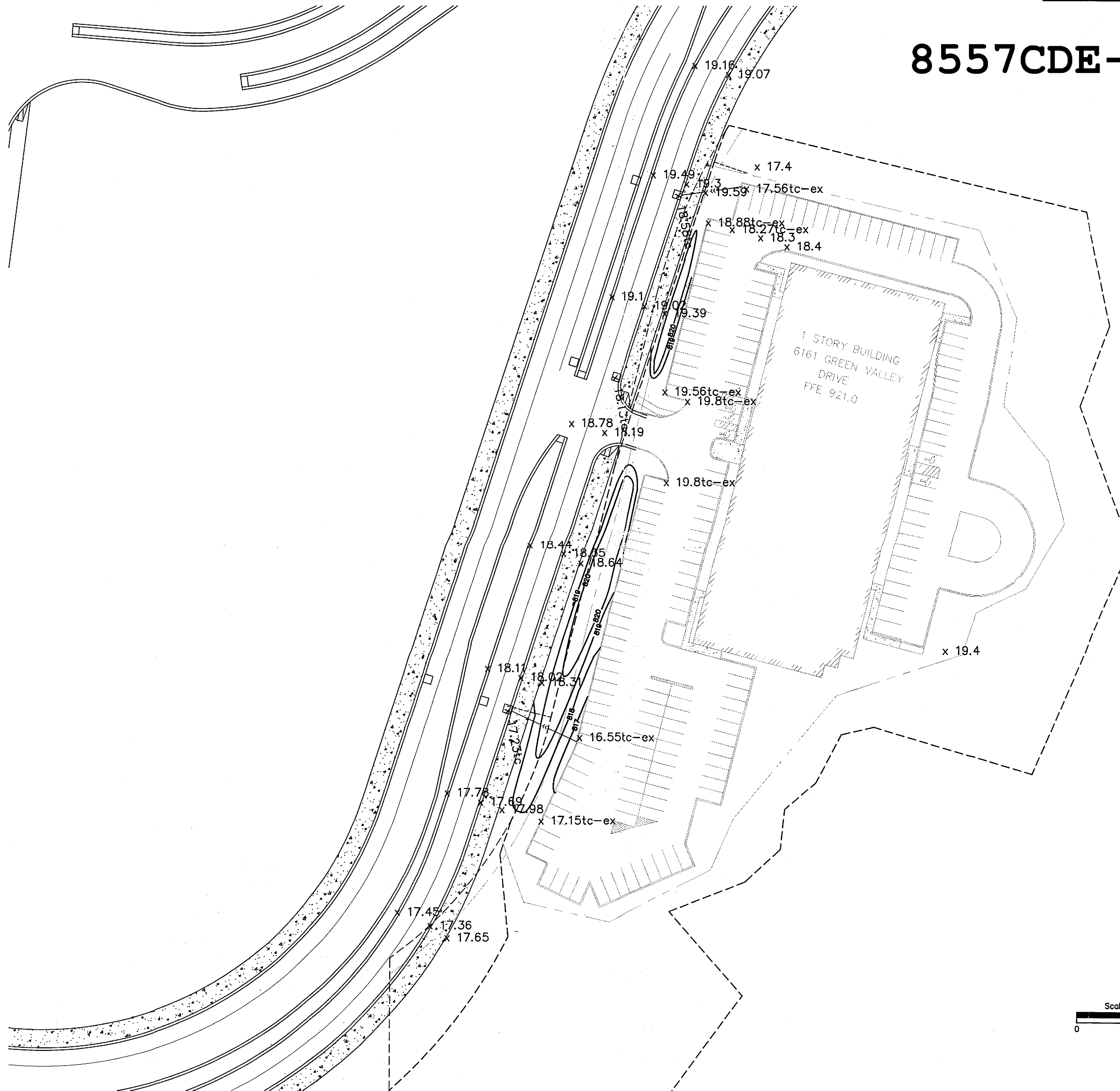
I hereby certify that this plan,  
specification or report was prepared  
by me or under my direct super-  
vision and that I am a duly  
licensed Professional Engineer  
under the laws of the State of  
Minnesota.

Reg. No. \_\_\_\_\_ Date: \_\_\_\_\_

Project No. 98-135a  
Drawn by HTPO  
Design by JWA  
Checked by CJH  
Date 5-20-05

Sheet No.

RECEIVED  
DIVISION OF CITY PLANNING



Approved<sup>2</sup> Plan

8557CDE-98

HT  
PO

Engineers • Surveyors  
Landscape Architects

Hansen Thorp Pellinen Olson Inc.

7510 Market Place Drive  
Eden Prairie, Minnesota 55344  
(952) 829-0700 FAX (952) 829-7806

JOSTENS  
6161 Green Valley Dr.

BLOOMINGTON,  
MINNESOTA

Landscape  
Plan

Revisions  
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\_\_\_\_\_  
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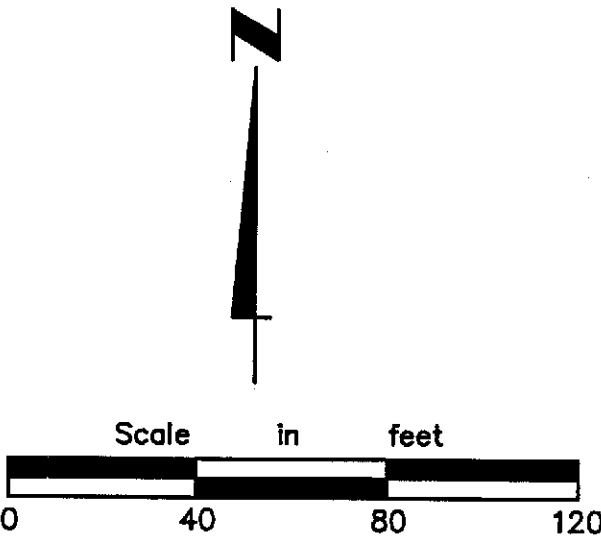
I hereby certify that this plan,  
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by me or under my direct super-  
vision and that I am a duly  
licensed Professional Engineer  
under the laws of the State of  
Minnesota.

Reg. No. 20893 Date: 4-10-2005

Project No. 98-135a  
Drawn by HTPO  
Design by JWA  
Checked by C.H.  
Date 8-20-05

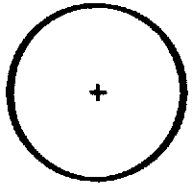
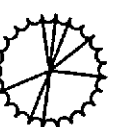



Sheet No.

RECEIVED  
DIVISION OF CITY PLANNING



Approved Plan

6161 Am. Blvd W.

- 13 EA.  3" Northern Red Oak  
Quercus Rubra
- 17 EA.  8-10' Black Hills Spruce  
Picea Glauca Densata
- 6 EA.  30-36"H- #7 Cont. Amur Maple  
Acer Ginnala Compactum
- 18 EA.  18-24"H- #5 „Miss Kim„ Lilac  
Syringa patula „Miss Kim“
- 2500 S.Y.  SOD

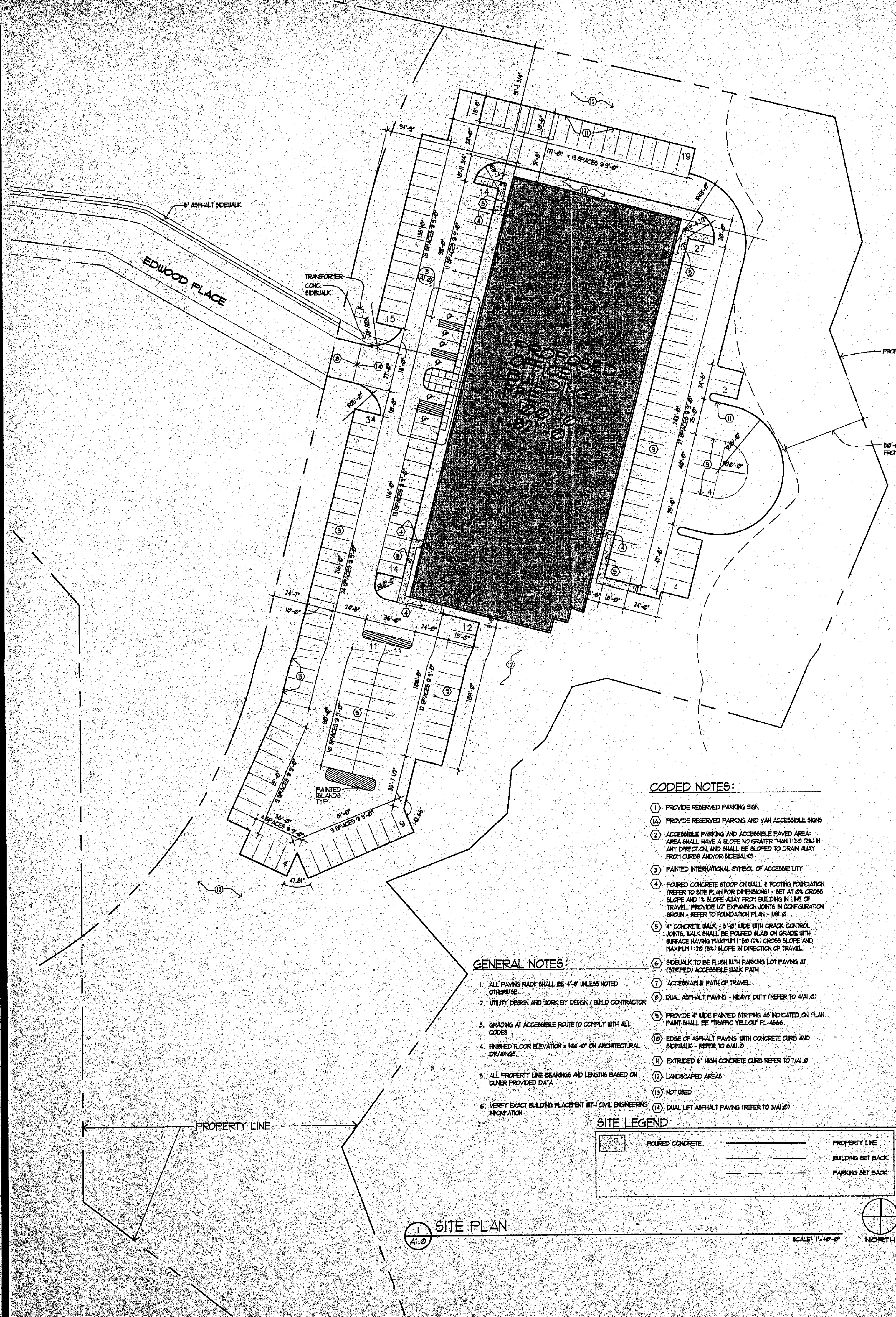
GENERAL NOTES:

SHOULD A PLANT BE UNAVAILABLE AT THE TIME OF INSTALLATION, ALL  
SUBSTITUTIONS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE  
ARCHITECT AND THE CITY.

ALL TREES SHALL RECEIVE SAUCERS AND MULCH WITH SHREDDED HARD-  
WOOD INDIVIDUALLY AS PER PLANTING DETAIL. ALL SHRUB GROUPS  
SHALL RECEIVE A CONTINUOUS BEDLINE A MIN. 18" FROM THE ROOT-  
BALL OF THE PROPOSED PERIMETER PLANTS OF THAT GROUPING. FINAL  
SHAPE OF THE BEDLINES ARE TO BE FIELD APPROVED BY THE LANDSCAPE  
ARCHITECT. PLANTS SHALL BE MULCHED AS A CONTINUOUS MASS. ALL  
SHRUBS BEDS SHALL BE EDGED WITH A HEAVY DUTY BLACK DIAMOND EDGING OR  
APPROVED EQUAL AND MULCHED WITH A MIN. 3" SHREDDED HARDWOOD MULCH.

ALL LANDSCAPE AREAS INCLUDING ALL PLANTING BEDS, PARKING ISLANDS, AND SODDED  
AREAS SHALL HAVE AN IRRIGATION SYSTEM PER CITY REQUIREMENTS AND SHALL BE DESIGNED BY OTHERS.

ALL AREAS WITHIN THE PROPERTY THAT ARE NOT SHRUB BEDS OR HARD  
SURFACED EXCEPT AS NOTED SHALL BE SODDED. ALL AREAS OUTSIDE  
THE PROPERTY LINES DISTURBED BY GRADING OR UTILITY INSTALLATION  
SHALL BE RETURNED TO EXISTING CONDITION OR BETTER OR AS NOTED.



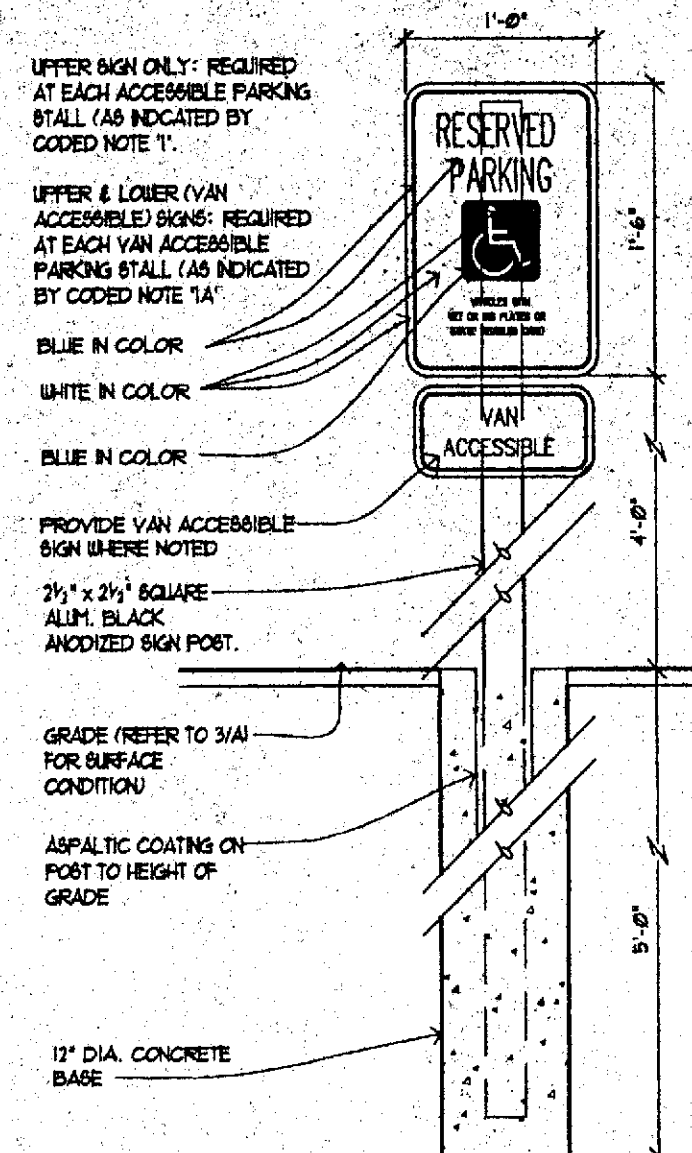
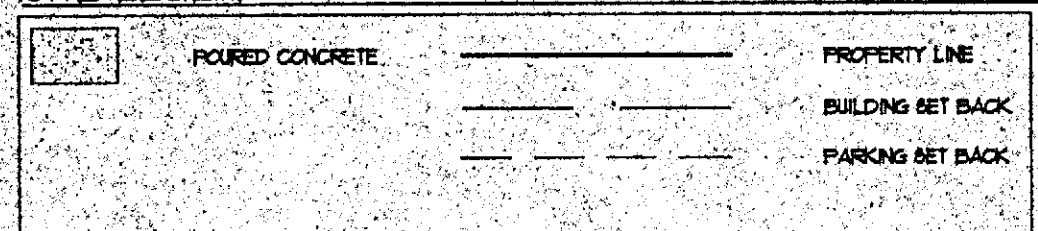
**CODED NOTES:**

1. PROVIDE RESERVED PARKING SIGN
2. PROVIDE RESERVED PARKING AND VAN ACCESSIBLE SIGNS
3. ACCESSIBLE PARKING AND ACCESSIBLE PAVED AREA: AREA SHALL HAVE A SLOPE NO GREATER THAN 1:50 (2%) IN ANY DIRECTION AND SHALL BE SLOPED TO DRAIN AWAY FROM CURBS AND/OR SIDEWALKS
4. PAINTED INTERNATIONAL SYMBOL OF ACCESSIBILITY
5. POURED CONCRETE STEEP ON WALL & FOOTING FOUNDATION (REFER TO SITE PLAN FOR DIMENSIONS) - SET AT 6% CROSS SLOPE AND 1% SLOPE AWAY FROM BUILDING IN LINE OF TRAVEL - PROVIDE 1/2" EXPANSION JOINTS IN CONFIGURATION SHOWN - REFER TO FOUNDATION PLAN - 1/8" @
6. 4" CONCRETE WALK - 5'-0" WIDE WITH CRACK CONTROL JOINTS. WALK SHALL BE POURED SLAB ON GRADE WITH SURFACE HAVING MAXIMUM 1:50 (2%) CROSS SLOPE AND MAXIMUM 1:20 (5%) SLOPE IN DIRECTION OF TRAVEL
7. SIDEWALK TO BE FLUSH WITH PARKING LOT PAVING AT (STRIPE) ACCESSIBLE WALK PATH
8. ACCESSIBLE PATH OF TRAVEL
9. DUAL ASPHALT PAVING - HEAVY DUTY (REFER TO 4/A1.0)
10. PROVIDE 4" WIDE PAINTED STRIPING AS INDICATED ON PLAN. PAINT SHALL BE "TRAFFIC YELLOW PL-4646"
11. EDGE OF ASPHALT PAVING WITH CONCRETE CURBS AND SIDEWALK - REFER TO 6/A1.0
12. EXTRUDED 6" HIGH CONCRETE CURB REFER TO 7/A1.0
13. LANDSCAPED AREAS
14. NOT USED
15. DUAL LIFT ASPHALT PAVING (REFER TO 3/A1.0)

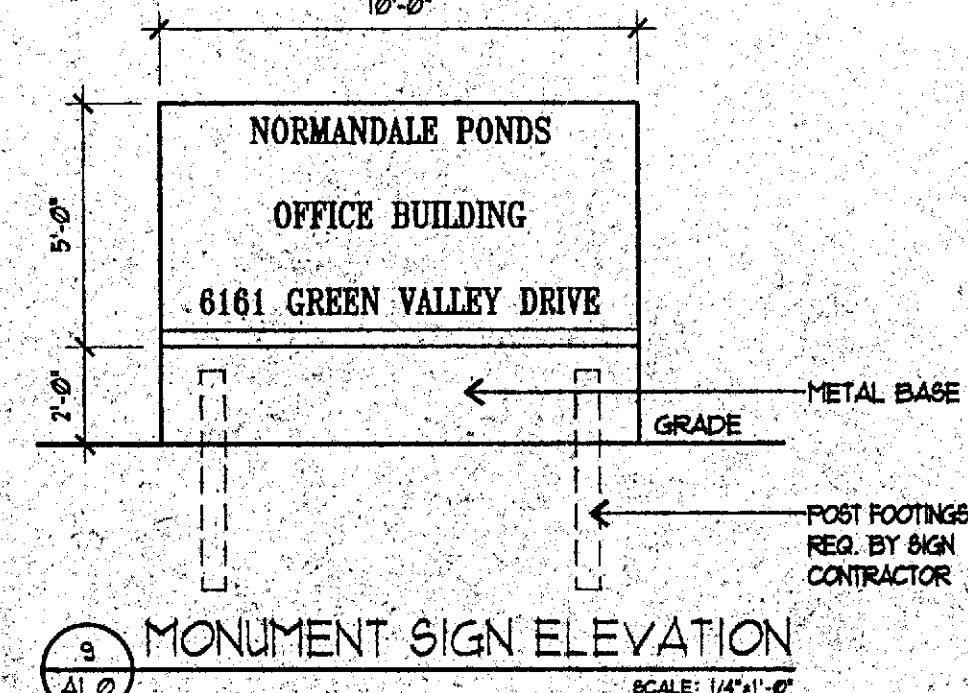
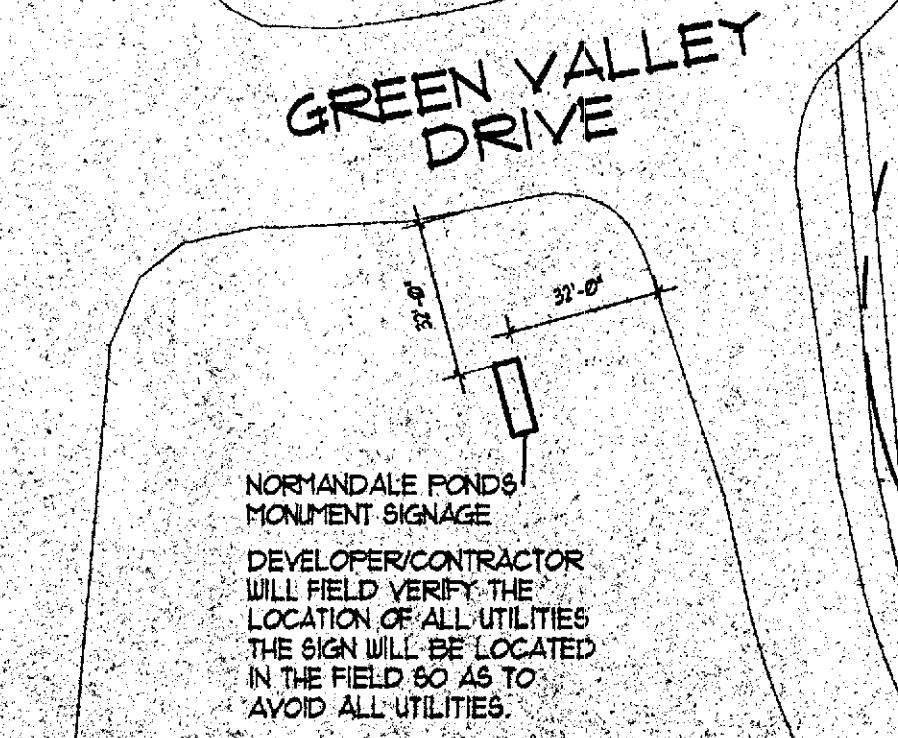
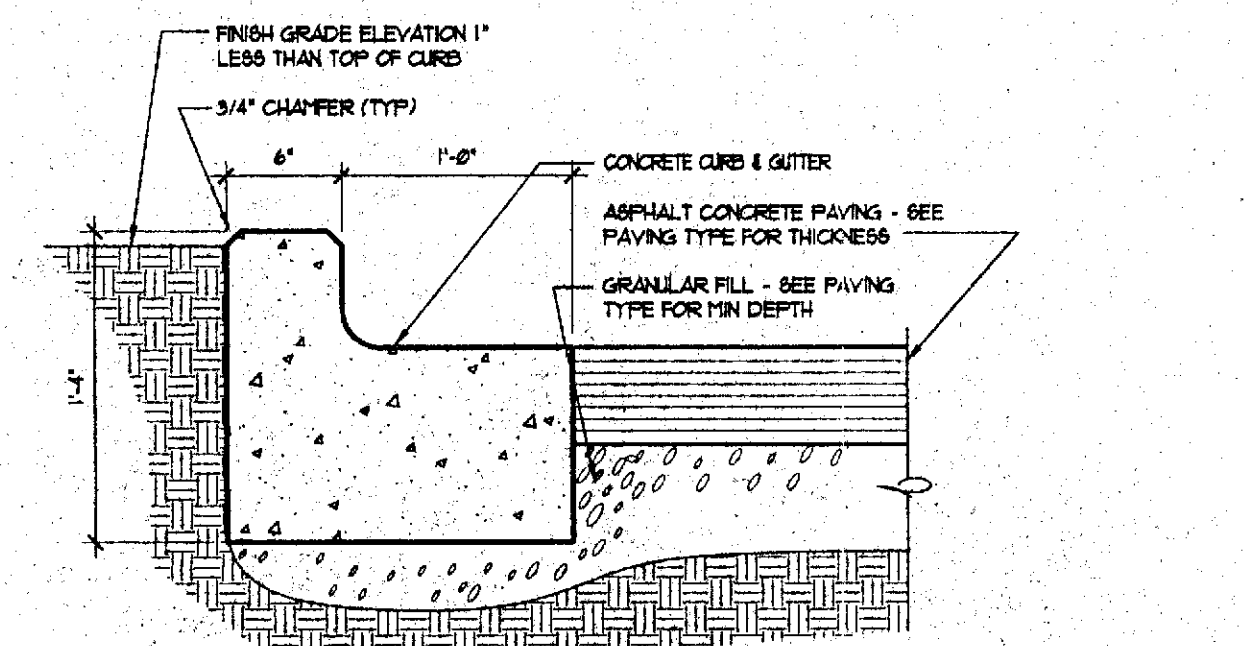
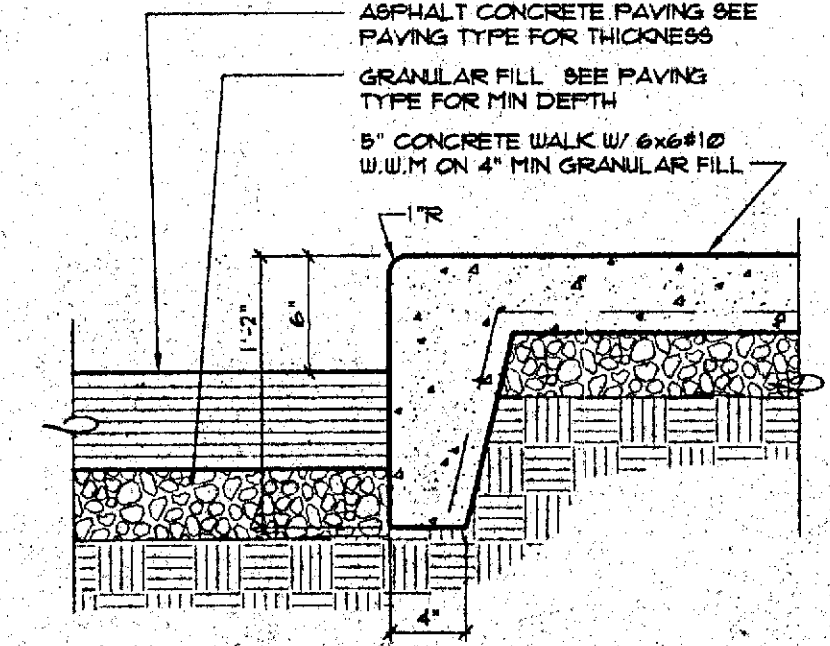
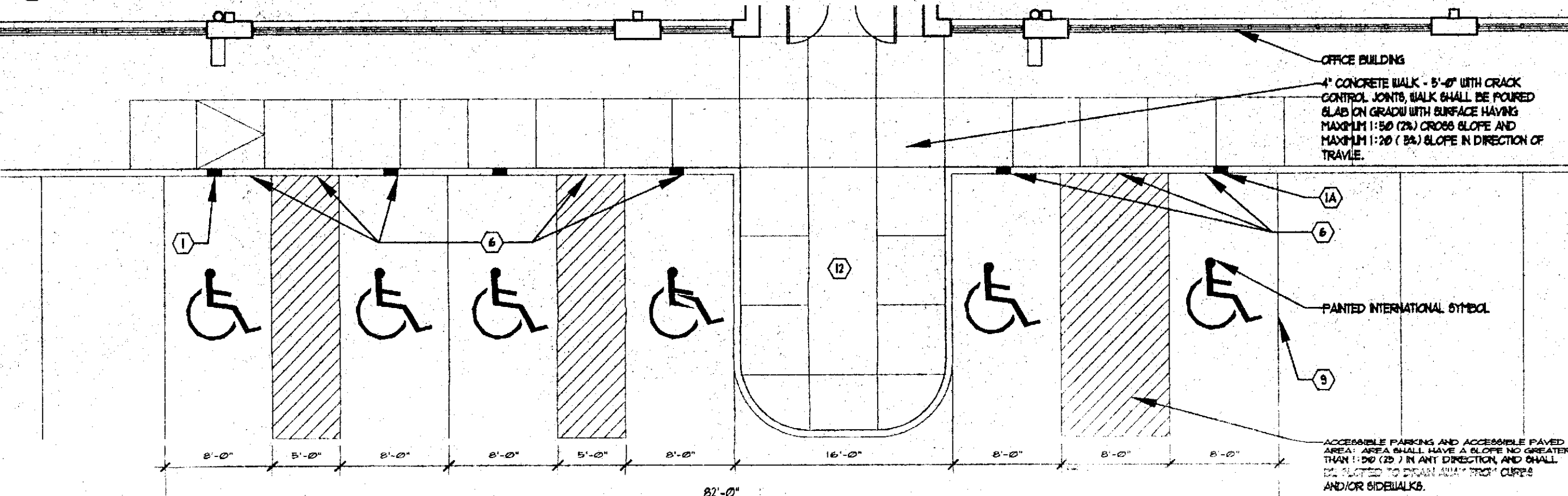
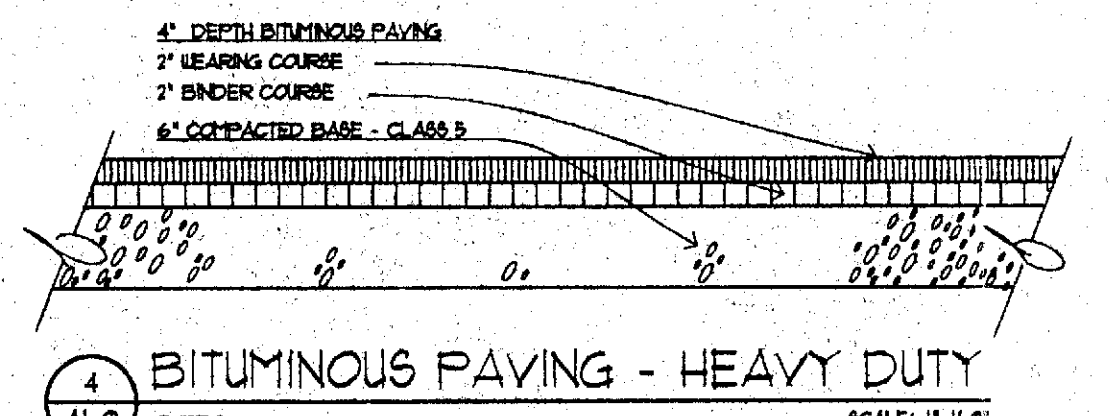
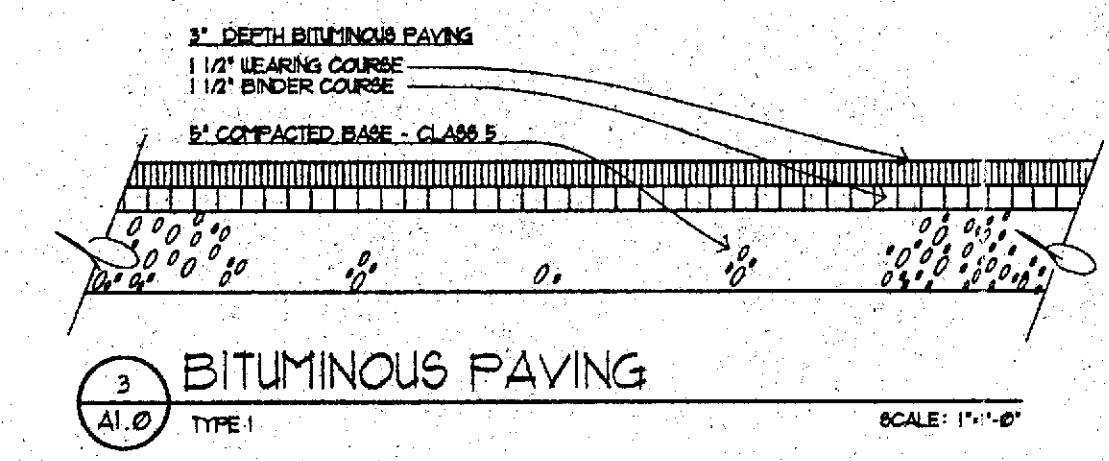
**GENERAL NOTES:**

1. ALL PAVING RADI SHALL BE 4'-0" UNLESS NOTED OTHERWISE
2. UTILITY DESIGN AND WORK BY DESIGN (BUILD CONTRACTOR)
3. GRADING AT ACCESSIBLE ROUTE TO COMPLY WITH ALL CODES
4. FINISHED FLOOR ELEVATION = 100'-0" ON ARCHITECTURAL DRAWINGS
5. ALL PROPERTY LINE BEARINGS AND LENGTHS BASED ON OWNER PROVIDED DATA
6. VERIFY EXACT BUILDING PLACEMENT WITH CIVIL ENGINEERING INFORMATION

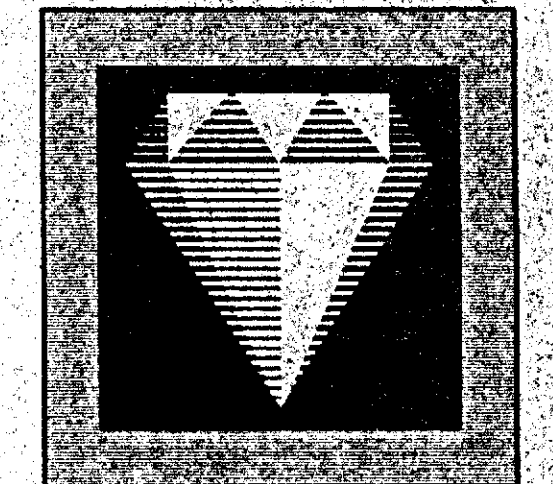
**SITE LEGEND**



**2 H.C. ACCESSIBLE PARKING SIGN**  
SCALE: 1/2"=1'-0"



**8557CDE-98**



**WELMAN  
SPERIDES  
THORSEN**  
ARCHITECTS  
L L C  
7808 CREEKRIDGE CIRCLE  
SUITE 105  
BLOOMINGTON, MINNESOTA  
55439  
FAX (612) 996.9663  
PHONE (612) 996.9662

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**MOUNT PROPERTIES**  
7808 CREEKRIDGE CIRCLE  
STE. 305  
BLOOMINGTON, MN

**NORMANDALE PONDS  
OFFICE BUILDING**  
6161 GREEN VALLEY DRIVE  
BLOOMINGTON, MINNESOTA

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Architect under the laws of the State of Minnesota.

|           |                               |
|-----------|-------------------------------|
| Name:     |                               |
| Date:     | Reg. No.: 17450               |
| REVISION: |                               |
| 24 FEB 99 | TRASH ROOM & CORE DEVELOPMENT |
| 08 MAR 99 | CONTRACTOR REVISIONS          |
| 16 APR 99 | PERMIT                        |
| 3 MAY 99  | FINAL REVIEW                  |
| 10 MAY 99 | FOR CONSTRUCTION              |
|           |                               |
|           |                               |

**PROJECT NO.**  
98011.01  
**DATE:**  
10 MAY 1999

**SHEET NAME:**  
SITE PLAN & DETAILS

**SHEET NO.:**  
.....

Approved: **A1.0**

April 6, 1999

Mount Properties, Inc.  
7808 Creekridge Circle, Suite 305  
Bloomington, MN 55439

RE: Case 8557CDE-98

Dear Mr. Michals:

At its regular meeting of April 5, 1999, the City Council approved a conditional use permit for the deposit of fill in the floodplain at 8000, 8001, 8017, 8025, 8101 and 8121 Edwood Place and 8100 Brunswick Avenue.

The Conditional Use Permit approval is subject to the following conditions being satisfied prior to the issuance of any building permits (Case 8557C-98):

- 1) Nine Mile Creek Watershed District floodplain permit be obtained and proof of permit be presented to the Manager of Building and Inspection Division.

Also, at its regular meeting of April 5, 1999, the City Council approved a conditional use permit for an office building in the R0-24 Residential Office District at 8000, 8001, 8017, 8025, 8101, 8025, 8101 and 8121 Edwood Place and 8100 Brunswick Avenue (Case 8557D-98).

Also, at its regular meeting of April 5, 1999, the City Council approved the final site plan and building plans for an office building at 8000, 8001, 8017, 8025, 8101, 8025, 8101 and 8121 Edwood Place and 8100 Brunswick Avenue (Case 8557E-98).

The Final Site and Building Plan approval is subject to the following conditions being satisfied prior to the issuance of any building permits:

- 1) A development agreement including all conditions of approval be executed by the applicant and the City;
- 2) A bond for landscaping and site finishing be submitted as approved by the Planning Manager;
- 3) All applicable State and Watershed District permits be obtained and proof of permits be submitted to the Manager of Building and Inspection Division;
- 4) Exterior building materials be approved by the Planning Manager;
- 5) Building plans shall identify trash and recyclable material collection and storage area provided within the building as approved by the Fire Marshal and the Planning Manager;
- 6) Grading, drainage, utility and erosion control plans be approved by the City Engineer;
- 7) Connection charges as appropriate be satisfied;

- 8) A SAC questionnaire be completed and submitted to the Department of Public Works;
- 9) Access, circulation and parking plans be approved by the City Traffic Engineer and with parking lot turn around area to be approved by the Fire Marshal;
- 10) Erosion control measures be in place prior to issuance of grading permits and be maintained during the construction period and not removed until all disturbed areas are stabilized;
- 11) Wetland area be field verified and hydrology calculations, as appropriate, be submitted for review and approval by the City Engineer;
- 12) An on-site meeting be conducted with the developer, grading contractor, and assigned city staff from the Engineering and Planning Divisions prior to any grading or tree removal;
- 13) Prior to the issuance of a grading permit a four foot high orange fence be installed, inspected and approved to delineate grading limits as shown on approved plans. Fence to be maintained in place until authorized by the Manager of Building and Inspection;
- 14) Street modification agreement be executed by the applicant and the City;

and subject to the following additional conditions of approval:

- 15) Alterations to utilities be at the developer's expense;
- 16) Sidewalk be installed along the realigned Green Valley Drive in a location approved by the City Traffic Engineer at the developer's expense;
- 17) Temporary street signs and addresses be provided during construction;
- 18) All pickup and drop-off occur on site and off of public streets;
- 19) All loading and unloading occur on site and off of public streets;

and subject to the following Code requirements:

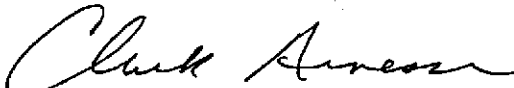
- 1) Landscape plan be approved by the Planning Manager (Sec 19.52);
- 2) All rooftop equipment be fully screened (Sec. 19.52.01);
- 3) Poured-in-place concrete curbs be provided on the perimeter of parking lots and traffic islands (Sec 19.64);
- 4) Property be platted in accordance with the requirements of Chapter 16 of the City Code (Sec. 16.03);
- 5) Building be provided with an automatic fire sprinkler system as approved by the Fire Marshal (Mn Bldg. Code 3802; Uniform Fire Code Ch. 10.306);
- 6) Fire lanes be posted as approved by the Fire Marshal (Sec. 8.73);
- 7) Utility plan showing location of existing and proposed water main and fire hydrant locations be approved by the Fire Marshal and Utilities Engineer (Sec. 6.20, Uniform Fire Code Ch. 10.301-C);
- 8) Food service plans be approved by the Environmental Services Division (Sec. 14.360);
- 9) Parking lot and site security lighting shall satisfy the requirements of Section 19.54 of the City Code and as noted below:
  - A) Reduce all pole heights to a 20 foot maximum;
  - B) All pole fixtures shall be up to a maximum of 400 watts;
  - C) All fixtures shall contain flat lenses;
  - D) All fixtures shall be 90 degree cut-off luminaries;

- E) Electronic control system to be installed to turn fixtures off at 9:30 p.m. on weekdays and 6:30 p.m. on Saturdays. Only lighting as directed by Bloomington Police Department for security reasons shall be on during non-business hours, holidays and Sundays;
  - F) House side shields shall be used on all luminaries adjacent to residential properties; and
- 10) Signage be in conformance with the requirements of Chapter 19, Article X of the City Code.

Should you have any questions regarding this action, please contact Robert Sharlin, Planner at 612-948-8925. Before any construction work begins, you must obtain all required building permits. Please contact the Building and Inspection Division at 612-948-8930 to discuss the requirements for building permit application.

The City will issue the necessary permits for development and use of the property for the purpose stated in Case 8557E-98, subject to the conditions set forth above.

Sincerely,



Clark Arneson  
Planning Manager