

03335B-00

ZONING AND CODE REVIEW

SITE ADDRESS: 8435 LYNDALE AVE. SO.
 ZONING: I-3 INDUSTRIAL
 SITE AREA: 71,414 SF
 TYPE OF CONSTRUCTION: II-N
 BUILDING AREA:
 EXISTING: 17,240 SF
 NEW ADDITION: 15,192 SF
 TOTAL AREA: 32,432 SF
 SPRINKLED: YES
 USE GROUP: F-2
 ALLOWABLE FLOOR AREA: (WITH SPRINKLER INCREASE)
 18,000 SQ. FT. X 3 = 54,000 SQ. FT.
 PARKING/OCCUPANCY AREAS:
 (BASED ON GROSS FLOOR AREA)
 OFFICE: 475 SF / 200 SF PER SPACE = 3 SPACES (3 EMPLOYEES)
 MANUFACTURING: 31,757 SF / 800 SF PER SPACE = 40 SPACES (31 EMPLOYEES)
 TOTAL BUILDING SIZE: 32,432 SF; 110'-0" X 340'-0" = (54'-0" X 28'-0")
 PARKING REQUIRED: 43 SPACES (34 EMPLOYEES)
 PARKING PROVIDED: 43 SPACES
 EMPLOYEE SHIFTS:
 7:00 AM - 3:30 PM 18 PRODUCTION + 3 OFFICE
 3:30 PM - 12:00 AM 4 PRODUCTION
 12:00AM - 6:30 PM 4 MAINTENANCE
 SETBACKS: SEE CITY CODE 19.4.C
 FRONT: 35'-0"
 SIDE: 10'-0"
 REAR: 25'-0"
 PROPOSED EAST ELEVATION SETBACKS:
 FRONT: 17.8' FROM PLANNED RIGHT-OF-WAY
 SIDE: 12'-0' AT CLOSEST POINT
 PROPOSED WEST ELEVATION SETBACK:
 FRONT: 22'-0"
 SIDE: 11.7' AT CLOSEST POINT
 PARKING SETBACKS (SCREENING: SEE CITY CODE 19.52
 20'-0" YARD AT ALL STREETS FROM RIGHT OF WAY
 3'-0" SOLID SCREENING FOR OFF-STREET PARKING
 SCREENING OF ROOF MOUNTED EQUIPMENT: SEE CITY CODE 19.52.O1
 PARKING FACILITY (EXT. SECURITY: SEE CITY CODE 19.54
 PARKING LOT MIN. 2 FOOT-CANDLES
 GROSS PARKING AREA:
 21,579 SF
 INTERIOR GREEN SPACE REQUIREMENTS:
 21,529 SF X 3% = 827 SF MIN. GREEN SPACE REQUIRED
 ENTRY ISLAND: 135 SF
 ISLAND: 4X 5' X 27" = 540 SF
 GREEN NEAR
 HARRIET AVE. 360 SF
 TOTAL INT. GREEN SPACE: 1035 SF) 827 SF MIN.

LANDSCAPE NOTES:

- DECIDUOUS TREE:  DECIDUOUS SHRUB: 
-  CONIFEROUS OR EVERGREEN TREE  EVERGREEN SHRUB
-  SYMBOL
QUANTITY
1. SEED MIX "A" SHALL BE "ALL PURPOSE GRASS SEED MIXTURE" SUPPLIED BY PETERSON SEED CO.
FORMULA:
35% KENTUCKY 31 TALL FESCUE
15% OF 3000 HARD FESCUE
30% ANNUAL RYEGRASS
20% KENTUCKY BLUEGRASS
- SEED MIX "B" SHALL BE PNDOT MIX #50A (WET MIX)
- SEED MIX "A" 1" B" AT RATE: 5 LBS/1000 SF. (OR 225 LBS/ACRE)
DESIGN INTENT IS TO LEAVE NO EXPOSED DIRT AREAS WITHIN THE PROPERTY
LIMITS. UNLESS PAVED, SOODED OR PLANTED SHALL BE SEEDED.
2. PROVIDE CLEAN STRAW FREE OF WEED SEEDS FOR MULCH OVER THE SEEDED AREAS.
3. SHRUB BEDS TO HAVE "TYPARK" WEED FABRIC WITH 4" DEEP SHREDDED HARDWOOD MULCH. SHRUB BEDS AT BUILDING TO HAVE 18" DEEP OF FULVERIZED TOPSOIL IMPORTED.
4. CURBED ISLANDS TO HAVE "TYPARK" WEED FABRIC WITH 4" DEEP SHREDDED HARDWOOD MULCH. SHRUB BEDS AT BUILDING TO HAVE 18" DEEP OF FULVERIZED TOPSOIL IMPORTED.
5. REFER TO PROJECT MANUAL FOR ADDITIONAL INFORMATION.
6. SOO ALL OTHER AREAS THAT ARE DISTURBED DURING CONSTRUCTION.
7. 4000 FIBER BLANKET TO BE PROVIDED AT ALL SEEDED AREAS ON ANY SLOPE 3:1 OR GREATER.
8. SEE NOTES ON DRAWING FOR ISLAND PLANTINGS.

GENERAL NOTES:

1. UNDERGROUND UTILITIES TO BE LOCATED PRIOR TO ANY EXCAVATION, BY THE EXCAVATING CONTRACTOR
2. EXCAVATING CONTRACTOR TO DO LOT STAKING AS REQUIRED
3. SEE SOils REPORT/SPEC FOR COMPACTION REQUIREMENTS.
4. WASTE DIRT NOT USED TO BE REMOVED FROM SITE.
5. EXCAVATING CONTRACTOR TO STRIP TOPSOIL & FILL FROM AREA OF PROPOSED EXPANSION AND BITUMINOUS SURFACED AREA. FILL TO BE GRANULAR, "IMPORTED" AND COMPACTED PER SPEC.
6. SEE CIVIL ENGINEERING PLANS FOR FURTHER INFORMATION SUCH AS SITE DRAINAGE, CURBING, DEMOLITION, ETC.
7. SEE LIGHTING PLAN FOR SITE LIGHTING INFORMATION.

PLANT MATERIAL LEGEND

[illegible]

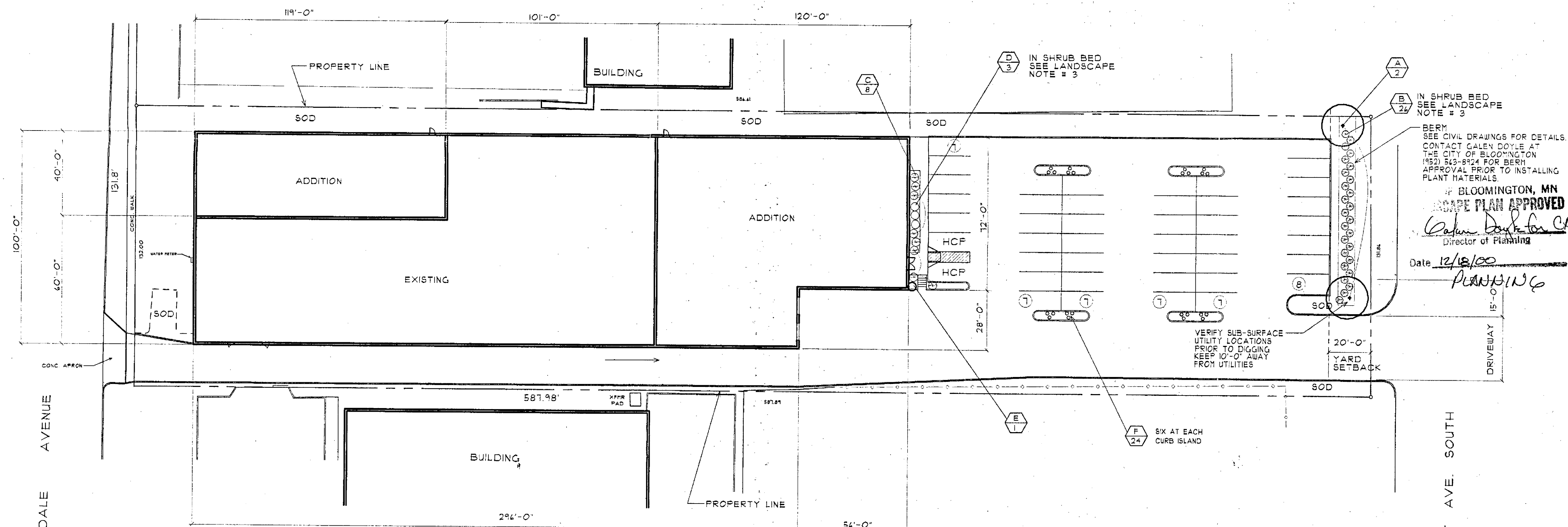
SHEET INDEX

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PLUMBING REQUIREMENTS:

MANUFACTURING: 3313/2000 SF= 1456 = IT
OFFICE: 615/2005F=3375= 3
CIRCULATION/STORAGE: 601/2005F= 3
TOTAL REQUIRED:
MEN 2 WC, 2 LAVS
WOMEN 2 WC, 2 LAVS
MOP SINK
DRINKING FOUNTAIN

PLUMBING PROVIDED:
MEN 5 WC, 5 URINALS, 2 LAVS, 1 HALF BATH/WASH SINK
WOMEN 2 WC, 2 LAVS
MOP SINK
DRINKING FOUNTAIN



LANDSCAPE PLAN

SCALE: 1"=30'-0"



NORTH

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am duly registered Architect under the laws of the state of Minnesota

TODD L. SEIDELL
ARCHITECT

COMMERCIAL	RESIDENTIAL	INDUSTRIAL
029 GORUCK AVE. #103		PHONE (571) 731-0372

PROJECT
HITCHCOCK INDUSTRIES: BLOOMINGTON, MN

APPRO DEVELOPMENT, INC.

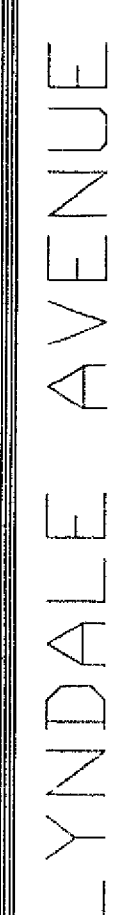
1535 CEDAR AVE. LAKEVILLE, MN 55044

SHEET

Approved Plan

3335 B 00

HARRIET AVENUE



Approved Plan

03335B-00

OWNER: EDWARD M CHRISTIAN

OWNER: T AND T OF MN INC

LEGAL DESCRIPTION

Lot 1, Block 1, HITCHCOCK INDUSTRIES 3RD ADDITION, Hennepin County, Minnesota.

Note: This legal description has been taken from First American Title Insurance Company Commitment Number NCS-148877-MPLS dated January 25, 2005.

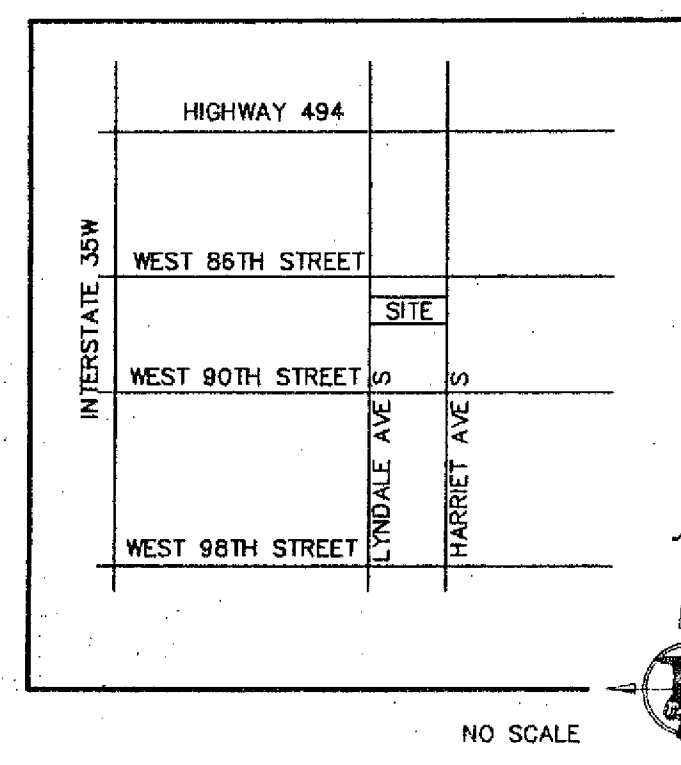
GENERAL NOTES:

- The bearing system used is based on the plat of Hitchcock Industries 3rd Addition.
- The location of the underground utilities shown hereon, if any, are approximate only. PURSUANT TO MSA 2160 CONTACT GOPHER STATE ONE CALL AT (612) 454-0002 PRIOR TO ANY EXCAVATION.
- Subject property is identified as being in "Zone C, Area of Minimal Flooding" on Flood Insurance Rate Map, Community-Panel No. 275230 003B, effective date September 16, 1981.
- Zoning = Presently I-3 (General Industrial) per City of Bloomington.
- Setback requirements per City of Bloomington.
Front = 35 feet
Side = 10 feet
- Site area = 76,299 square feet = 1.75 acres.
- There are a total of 44 striped parking stalls on said property, of which there are 2 designated as handicap.
- All field measurements matched recorded dimensions within the precision requirements of ALTA/ACSM specifications.
- This survey was made on the ground and in accordance with the Minimum Standard Detail Requirements for Land Title Surveys as adopted by ALTA and ACSM.

OWNER: ROBERT F ADELMANN ET AL

OWNER: D ADELMANN & B CHRISMER TRST

VICINITY MAP



NOTES CORRESPONDING TO SCHEDULE B:

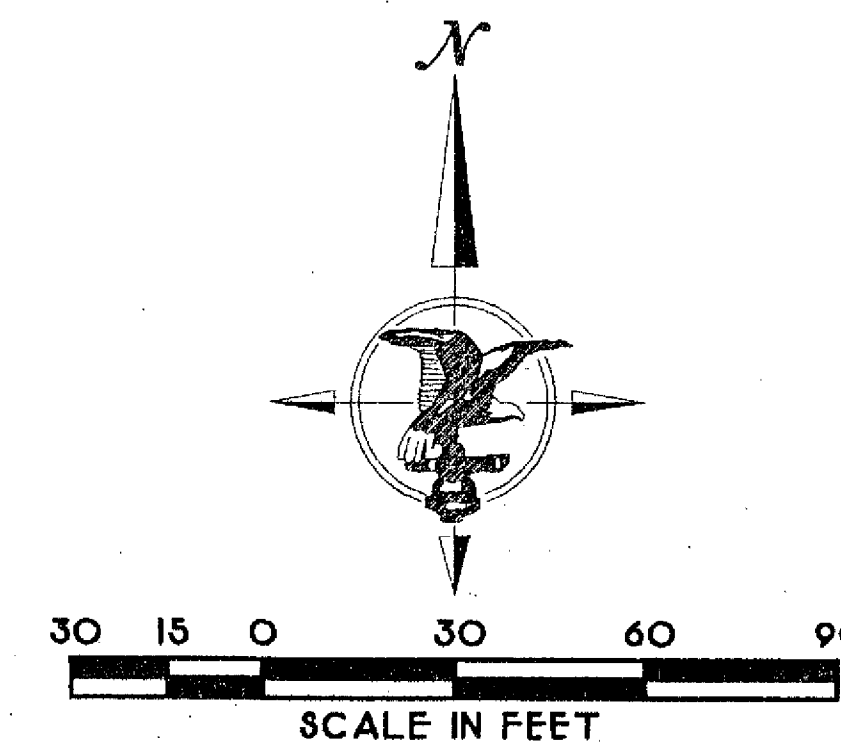
- (15) Easements for drainage and utility purposes as shown on the recorded plat Hitchcock Industries 3rd Addition.
- (16) Easement for electrical purposes in favor of Northern States Power Company, a Minnesota corporation as contained in the Underground Easement dated April 26, 1973, recorded April 30, 1973, as Document No. 1068669.
- (17) Easement for sidewalk purposes in favor of City of Bloomington as contained in the Easement dated January 19, 2001, recorded February 2, 2001, as Document No. 3356569.

STATEMENT OF POTENTIAL ENCROACHMENTS:

No visible above ground encroachments at the time of survey.

LEGEND

	Property Monument
	Concrete
	Concrete Curb
	Water
	Gas
	Fence
	Overhead Electric
	Sanitary Sewer
	Storm Sewer
	Setback Line
	Underground Electric
	Electric Meter
	Electric Box
	Hydrant
	Power Pole
	Gate Valve
	Catchbasin
	Catchbasin
	Light Pole
	Gas Meter
	Sanitary Manhole



SURVEY PERFORMED BY:
HARRY S. JOHNSON CO. INC.
LAND SURVEYORS & CONSULTANTS
9063 Lyndale Avenue South
Bloomington, Mn. 55420
(952) 884-5341
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Web: www.hsjsurveyors.com

LAND TITLE SURVEY
ALTA/ACSM
for:
OPPENHEIMER WOLF & DONNELLY LLP
SITE: 8630 HARRIET AVE SOUTH
BLOOMINGTON, MINNESOTA

CERTIFICATION

I hereby certify to Watkins Pattern Company Inc., a Minnesota Corporation, Wells Fargo Business Credit, Inc. and First American Title Insurance Company, and to their heirs, successors and assigns, that I have surveyed, on the ground, the property legally described hereon; that this plat-of survey is a true, correct and accurate drawing and representation of said property.

see LEGAL DESCRIPTION

and the boundaries thereof, that this plat of survey and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," as jointly established and adopted by ALTA and ACSM in 1999, and includes Items 1, 2, 3, 4, 6, 7a, 7b, 8, 9, 10, 11 and 13 of Table A thereof, and meet the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey, as defined therein (and, in addition, that all utility lines (from each building to their points of connection with the public system) are shown and accurately shown); and that in locating or identifying recorded easements, I have relied upon Commitment for Title Insurance Number NCS-148877-MPLS, dated January 25, 2005, having file number NCS-148877-MPLS.

Dated: March 25, 2005
Thomas H. Johnson, L.S.
Minn. Reg.

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MAR 29 2005

HARRY S. JOHNSON CO. INC.

Revision History:
1/28/2005 add utility info.
Sheet No. 1 OF 1
Book 588
Page 79
File No. 1-3-6864
CAD Number 2005164
CAD Technician JRK

HARRY S. JOHNSON CO., INC.
LAND SURVEYORS & CONSULTANTS
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