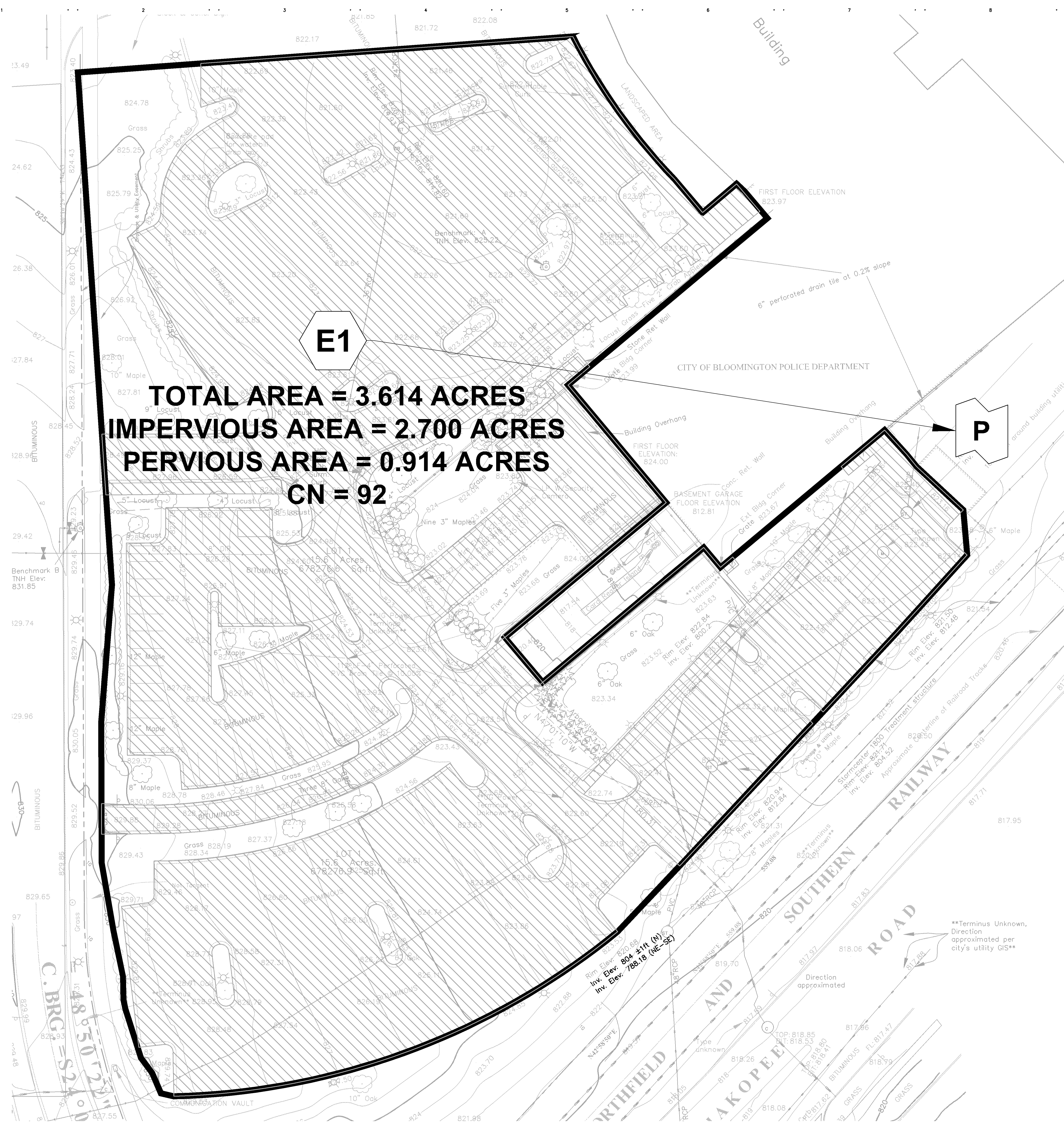


MN



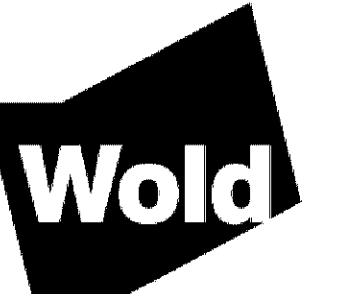
**E1**

**TOTAL AREA = 3.614 ACRES**  
**IMPERVIOUS AREA = 2.700 ACRES**  
**PERVIOUS AREA = 0.914 ACRES**  
**CN = 92**

**P**



PROPERTY SERVICES DEPARTMENT  
 Consultants:



**WOLD ARCHITECTS AND ENGINEERS**  
 533 Minnesota Street, Suite W2000  
 Saint Paul, MN 55101  
 wold@a.com | 651.227.7773

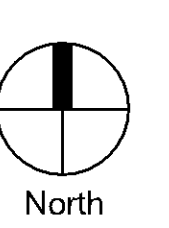


ANDERSON, JOHNSON ASSOCIATES, INC.  
 LANDSCAPE ARCHITECTS • SITE PLANNING • CIVIL ENGINEERING  
 1000 University Avenue, Suite 1000  
 Minneapolis, MN 55403

Registration: I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.

DATE: A. REY  
 Registration Number: 40180 Date: 08/30/17  
 CAD Date:

Key Plan:



No.	Revisions	Date

Project Title:

**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

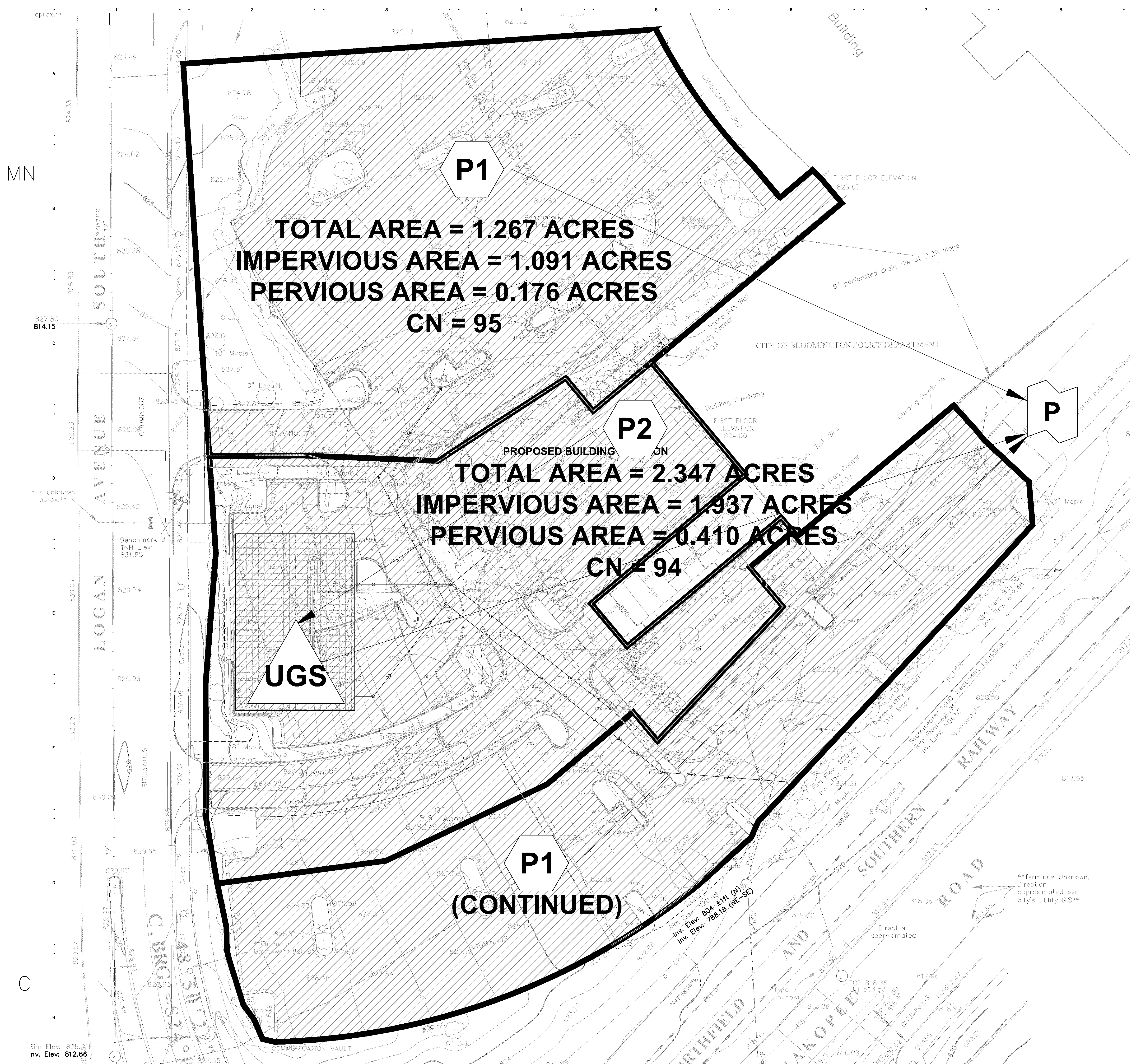
Facility Name (No.) & Address  
 BLOOMINGTON CIVIC PLAZA  
 1800 W. OLD SHAKOPEE RD  
 BLOOMINGTON, MN 55431

**EXISTING DRAINAGE MAP**

162150 MLR DAR  
 Drawing Scale: 1" = 20'

**DD** Drawing No.:  
 Date: 03/17/17 **C0.10**

AGENCY REVIEW SET  
 NOT FOR CONSTRUCTION



**P1**

**TOTAL AREA = 1.267 ACRES**  
**IMPERVIOUS AREA = 1.091 ACRES**  
**PERVIOUS AREA = 0.176 ACRES**  
**CN = 95**

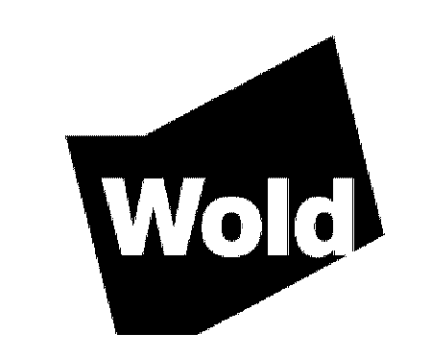
**P2**

**TOTAL AREA = 2.347 ACRES**  
**IMPERVIOUS AREA = 1.937 ACRES**  
**PERVIOUS AREA = 0.410 ACRES**  
**CN = 94**

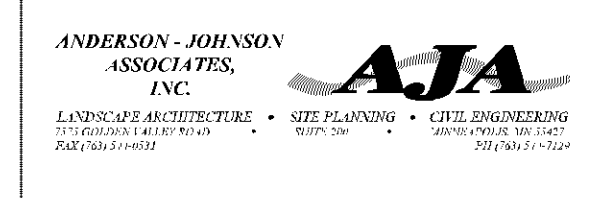
**UGS**

**P1**

**(CONTINUED)**



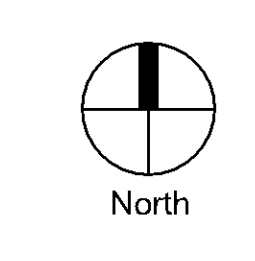
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 333 Minnesota Street, Suite W2000  
 Saint Paul, MN 55101  
 woldae.com | 612.227.7773



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KARLO A. REY  
 Registration Number 40180 Date 08/30/17  
 CAD Date:

Key Plan:



No.	Revisions	Date

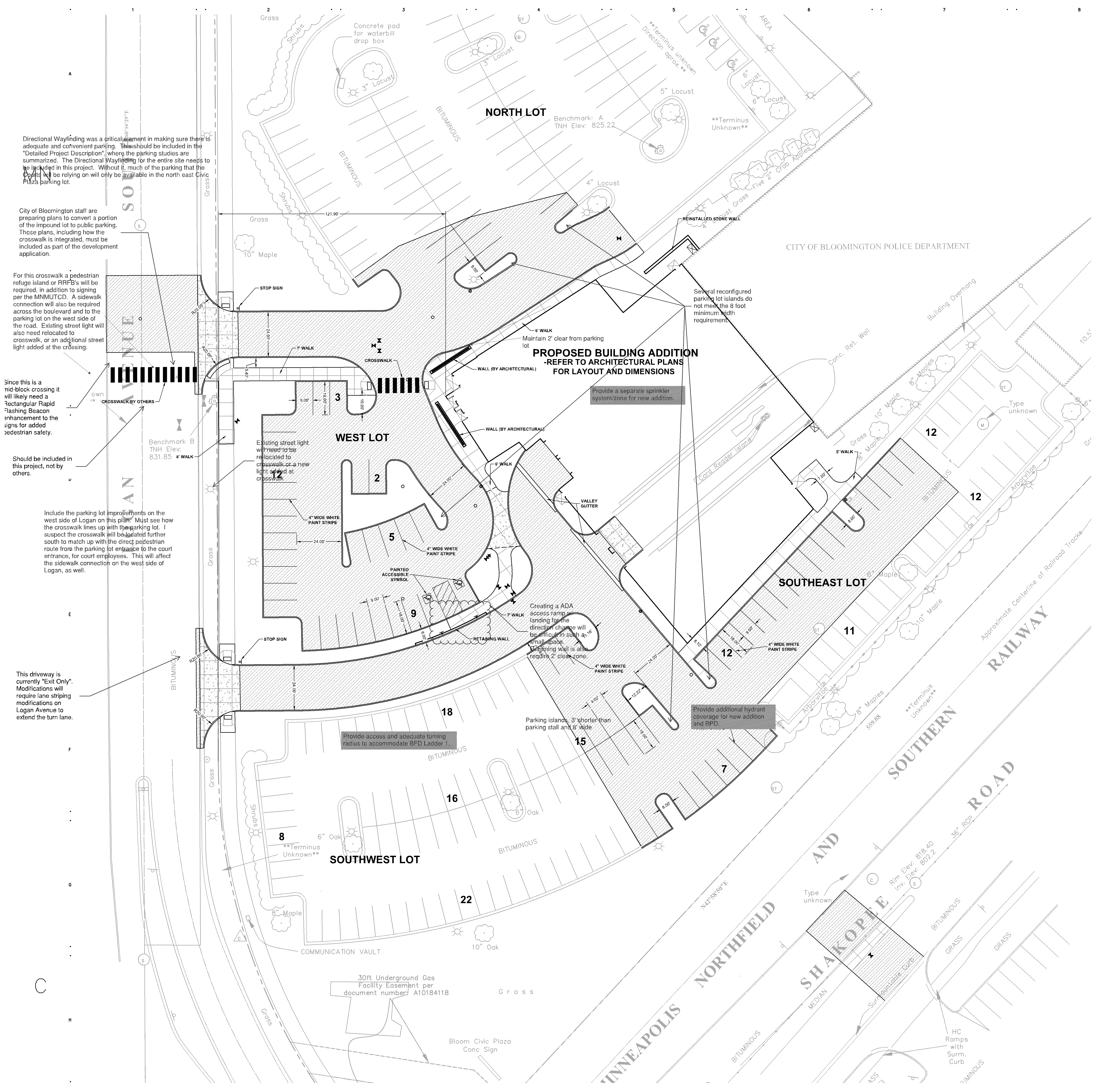
Project Title:  
**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

Facility Name (No.) & Address  
 BLOOMINGTON CIVIC PLAZA  
 1800 W. OLD SHAKOPEE RD  
 BLOOMINGTON, MN 55431

**PROPOSED DRAINAGE MAP**

162150	MLB	DAR
Drawing No. <b>DD C0.20</b>		
Date: 03/17/17		

AGENCY REVIEW SET  
 NOT FOR CONSTRUCTION



- NOTES:**
- REFER TO SHEET C1.41, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
  - CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
  - SIGNAGE SHALL GENERALLY BE INSTALLED 18" BEHIND THE BACK OF CURB.
  - ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDED OR SEEDS.
  - WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
  - FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.

- LEGEND**
- REFERENCE KEY TO SITE DETAILS  
DETAIL I.D NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
  - PROPOSED CONCRETE WALK
  - PROPOSED CONCRETE SLAB
  - PROPOSED MEDIUM DUTY BITUMINOUS PAVEMENT
  - PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT
  - PROPOSED STREET BITUMINOUS PAVEMENT
  - PROPOSED TRAFFIC CONTROL SIGN
  - SIGNAGE KEY NOTE
  - PROPOSED BOLLARD
  - PAINTED ACCESSIBLE SYMBOL
  - PROPOSED MANHOLE (MH)
  - PROPOSED CATCH BASIN (CB)
  - PROPOSED HYDRANT (HYD)
  - PROPOSED GATE VALVE (GV)
  - PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
  - PROPERTY LINE

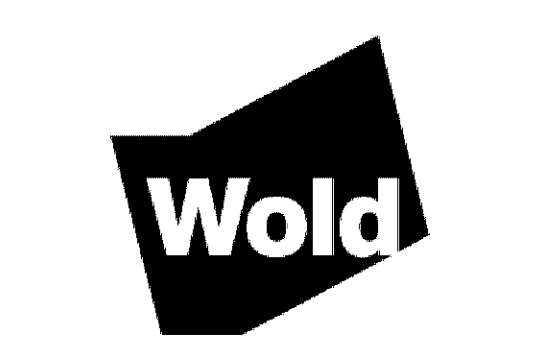
**SITE STATISTICS:**

EXISTING PARKING COUNTS (530 TOTAL STALLS):  
 NORTH LOT (NOT SHOWN) = 118 STALLS  
 NORTH LOT = 240 STALLS  
 WEST LOT = 43 STALLS  
 SOUTHWEST LOT = 85 STALLS  
 SOUTHEAST LOT = 44 STALLS

PROPOSED PARKING COUNTS (XX TOTAL CAR STALLS):  
 NORTH LOT (NOT SHOWN) = 118 STALLS  
 NORTH LOT = 240 STALLS  
 WEST LOT = 31 STALLS  
 SOUTHWEST LOT = 86 STALLS  
 SOUTHEAST LOT = 47 STALLS

ACCESSIBLE PARKING STALL REQUIREMENTS = 20 STALLS  
 ACCESSIBLE PARKING STALLS PROVIDED = 19 STALLS

\*NOTE: GRADES IN THE SOUTHWEST PARKING LOT DO NOT ALLOW FOR ACCESSIBLE PARKING STALLS THAT WOULD MEET ADA CODE.

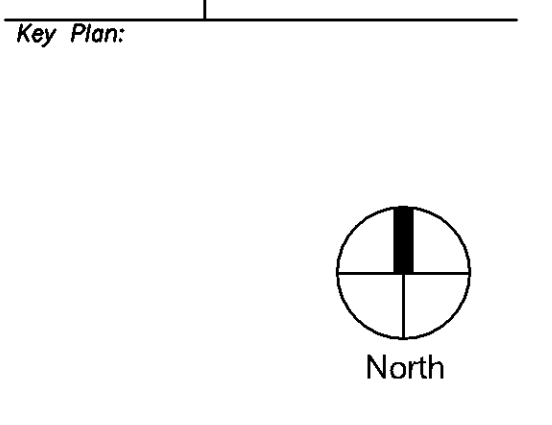


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ESTER A. REY  
Registration Number: 40280 Date: 08/30/17  
CAD Date:



No.	Revisions	Date

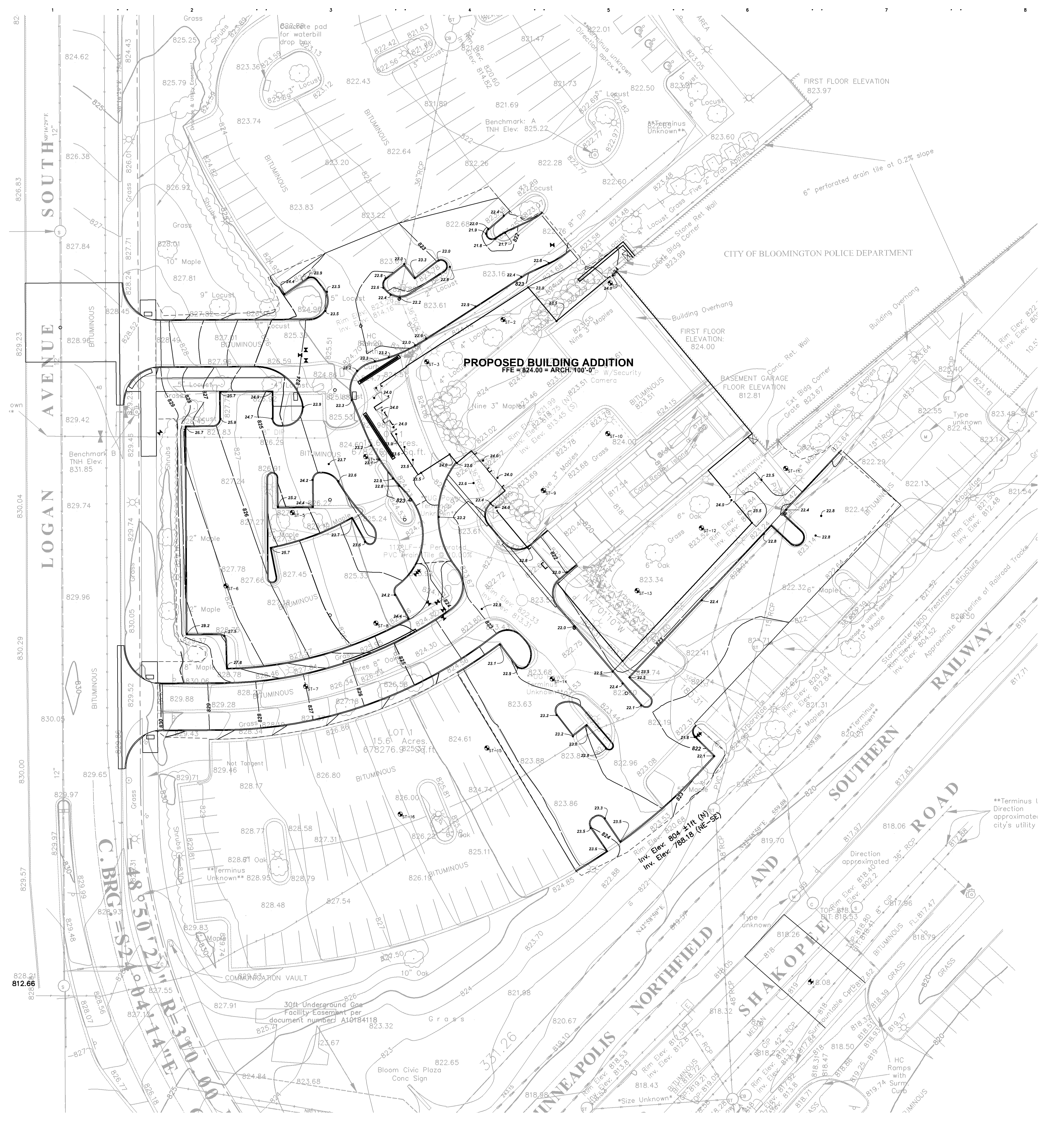
Project Title:  
**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

Facility Name (No.) & Address:  
BLOOMINGTON CIVIC PLAZA  
1800 W. OLD SHAKOPEE RD  
BLOOMINGTON, MN 55431

**FINISHING PLAN**

162150	MLB	DAR
Drawing Scale: 1" = 20'		
Drawing No.: <b>DD C1.31</b>		
Date: 03/17/17		

AGENCY REVIEW SET  
NOT FOR CONSTRUCTION



**GENERAL NOTES**

- ALL CONSTRUCTION MUST COMPLY WITH APPLICABLE STATE AND LOCAL ORDINANCES.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR AND SHALL PAY FOR ALL CONSTRUCTION STAKING / LAYOUT.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL RELATED CONSTRUCTION PERMITS, INCLUDING THE NPDES PERMIT FROM THE MPCA. SUBMIT A COPY OF ALL PERMITS TO THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL SIGNAGE (CONSTRUCTION ZONES) NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. ALL SIGNAGE LAYOUTS MUST BE DESIGNED BY THE CONTRACTOR AND APPROVED BY LOCAL AUTHORITIES.
- INSTALL CONTROL FENCING AND BARRICADING AS NECESSARY TO PROTECT THE PUBLIC.
- INSPECT SITE AND REVIEW SOIL BORINGS TO DETERMINE EXTENT OF WORK AND NATURE OF MATERIALS TO BE HANDLED.
- REFER TO SPECIFICATIONS FOR DEWATERING REQUIREMENTS.
- CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING AND STOOP DIMENSIONS AND LAYOUT.
- REFER TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE, PART OF SECTION 01 81 13, FOR EROSION CONTROL REQUIREMENTS. SECTION 31 00 00 SHALL BE RESPONSIBLE FOR FULL IMPLEMENTATION OF THE SWPPP.
- MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
- MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
- ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND LOCAL REGULATIONS.
- CONTRACTOR SHALL MINIMIZE DISTURBANCE TO SITE AND PROTECT EXISTING SITE FEATURES (INCLUDING TURF AND VEGETATION) WHICH ARE TO REMAIN.
- PROPOSED CONTOURS AND SPOT ELEVATIONS ARE SHOWN TO FINISH GRADE UNLESS OTHERWISE NOTED.
- PROPOSED ELEVATIONS SHOWN TYPICALLY AS 24.1 OR 24 SHALL BE UNDERSTOOD TO MEAN 824.1 OR 824.
- SPOT ELEVATIONS SHOWN IN PARKING LOTS, DRIVES AND ROADS INDICATE GUTTER GRADES, UNLESS NOTED OTHERWISE. SPOT ELEVATIONS WITH LABELS OUTSIDE THE BUILDING PERIMETER INDICATE PROPOSED GRADES OUTSIDE THE BUILDING. SPOT ELEVATIONS WITH LABELS INSIDE THE BUILDING PERIMETER INDICATE PROPOSED FINISH FLOOR ELEVATIONS.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES OF CUT, FILL AND WASTE MATERIALS TO BE HANDLED, AND FOR AMOUNT OF GRADING TO BE DONE IN ORDER TO COMPLETELY PERFORM ALL WORK INDICATED ON THE DRAWINGS. IMPORT SUITABLE MATERIAL AND EXPORT UNSUITABLE WASTE MATERIAL AS REQUIRED. ALL COSTS ASSOCIATED WITH IMPORTING AND EXPORTING MATERIALS SHALL BE INCIDENTAL TO THE CONTRACT.
- NO FINISHED SLOPES SHALL EXCEED 4' HORIZONTAL TO 1' VERTICAL (4:1), UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDER. REFER TO SHEET 14.1, LANDSCAPING PLAN, FOR SOG LOCATIONS.
- WHERE NEW SOG MEETS EXISTING SOG, EXISTING SOG EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRENGTH EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOG SURFACE TO BE FLUSH WITH EXISTING.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
- ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINLINE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
- LOCATE ALL EXISTING UTILITIES, VERIFY LOCATION, SIZE AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN DRAINAGE FROM EXISTING BUILDING AT ALL TIMES. PROVIDE TEMPORARY STORM SEWER (INCLUDING, BUT NOT LIMITED TO, CATCH BASINS, MANHOLES, PIPING, ETC.) AS REQUIRED. EXISTING STORM SEWER SHALL NOT BE REMOVED UNTIL TEMPORARY OR PERMANENT STORM SEWER IS INSTALLED AND FUNCTIONAL. COORDINATE ALL REMOVALS WITH APPROPRIATE TRADES (SITE UTILITY CONTRACTOR, MECHANICAL CONTRACTOR, ETC.) AS REQUIRED.

**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
DETAIL ID NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION  
ME = MATCH EXISTING  
EOF = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED SAND SUBBASE AT FROST FOOTED STOOPS
- APPROXIMATE SOIL BORING LOCATION
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

**GEOTECHNICAL TABLE**

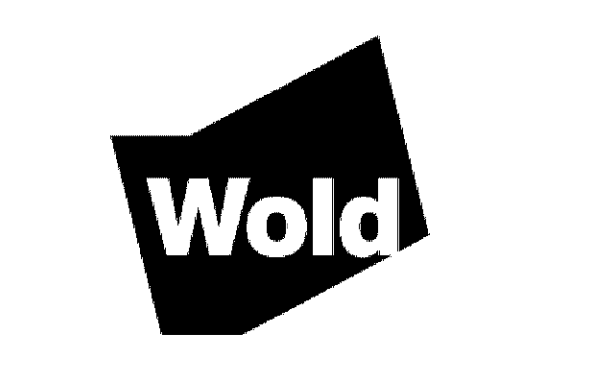
REFER TO SPEC 31 00 00 EARTHWORK, AND UNIT PRICES  
NOTE: DEPTHS LISTED IN TABLE BELOW DO NOT INCLUDE REFERRAL OF SUITABLE SOIL REQUIRED TO MEET PROPOSED GRADES.

BORING	GROUND SURFACE ELEVATION (ft)	ANTICIPATED DEPTH OF EXCAVATION (ft)	APPROXIMATE BOTTOM ELEVATION (ft)	APPROXIMATE DEPTH BELOW FLOOR ELEVATION 824 (ft)
ST-1	823.5	9.0	814.5	9.5
ST-2	823.9	12.0	811.9	12.5
ST-3	824.2	7.5	816.7	7.5
ST-4	824.2	4.5	819.7	4.5
ST-5	826.4	5.0	821.0	3
ST-8	825.0	4.5	820.5	3.5
ST-9	823.5	14.5	809.0	15
ST-10	823.8	11.0	812.5	11.5
ST-11	823.5	13.5	810.0	14
ST-12	823.1	7.0	816.0	8
ST-13	823.1	9.5	813.5	10.5
ST-14	822.7	9.0	813.5	10.5

**BENCHMARKS (FIELD VERIFY BEFORE USING)**

- Top nut of a fire hydrant located roughly sixty feet northerly of western most building corner of current Police station wing.  
Elevation = 825.22 (NAVD88)
- Top nut of a fire hydrant located along Easterly Logan Ave Right of Way, just south of the second driveway North of W. Old Shakopee Rd.  
Elevation = 831.85 (NAVD88)
- Top nut of a fire hydrant located along easterly Logan Ave. Right of Way, just North of third driveway North of W. Old Shakopee Rd.  
Elevation = 824.30 (NAVD88)

AGENCY REVIEW SET  
NOT FOR CONSTRUCTION

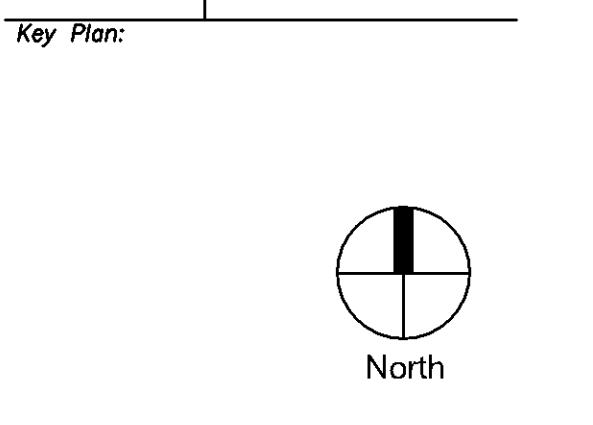


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ESTER A. REY  
Registration Number: 40180 Date: 06/30/17  
CAD Date:



No.	Revisions	Date

Project Title:

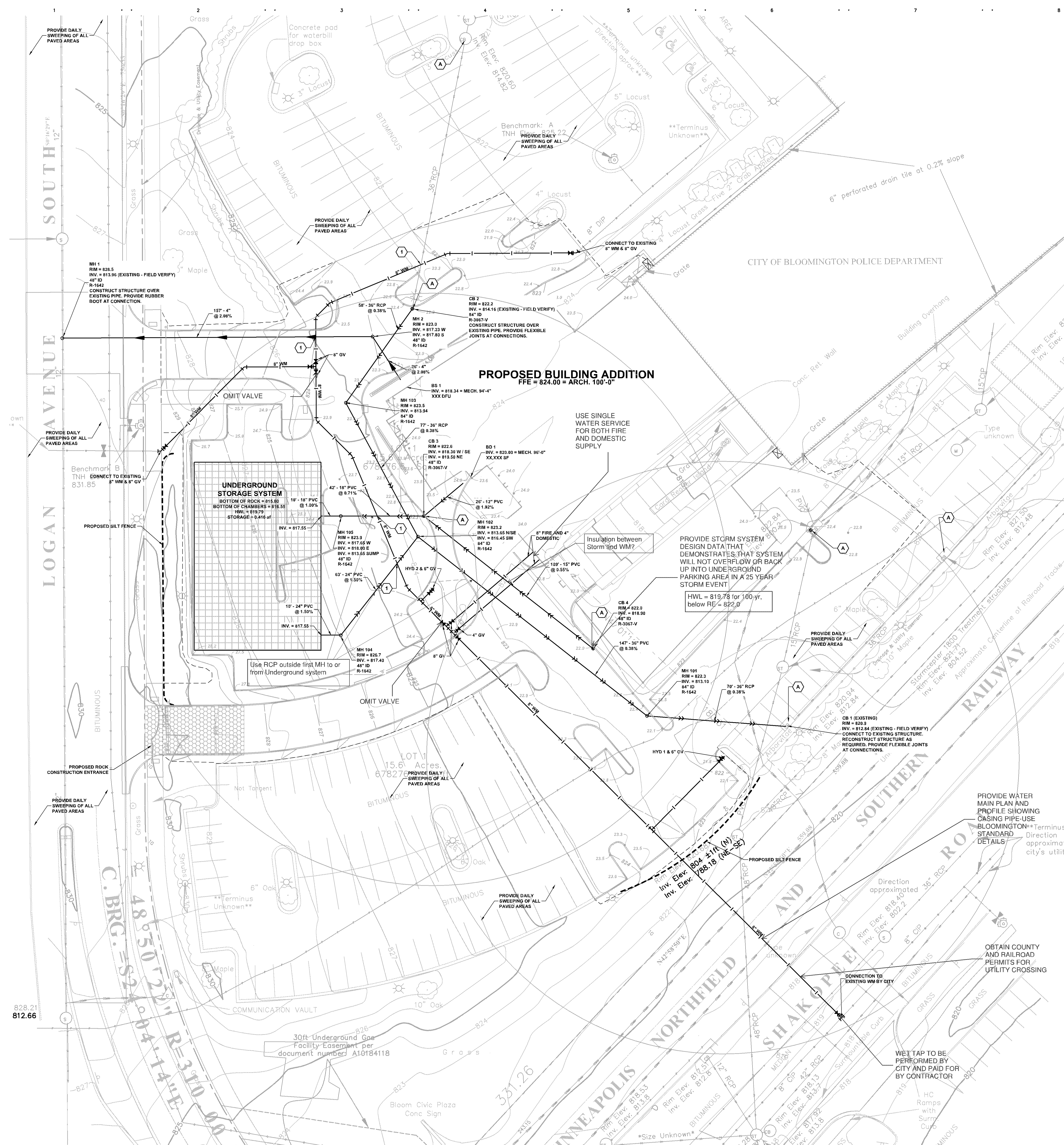
**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

Facility Name (No.) & Address  
BLOOMINGTON CIVIC PLAZA  
1800 W. OLD SHAKOPEE RD  
BLOOMINGTON, MN 55431

**GRADING AND DRAINAGE PLAN**

Scale	MB	DAR
162150		
Drawing No. <b>DD C1.41</b>		
Date: 03/17/17		

MN



**NOTES**

- REFER TO SHEET C1.41, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
- ALL WATERMAIN PIPE SHALL BE DIP, CLASS 52. ALL WATERMAIN SHALL HAVE MAXIMUM 10'-0" AND MINIMUM 6'-0" SURVEY (TOP OF PIPE TO FINISH GRADE). DIP SHALL BE ENCASED WITH POLYETHYLENE FILM CONFORMING TO ASTM D 1248-889.
- ALL SANITARY SEWER PIPE SHALL BE PVC PIPE (ASTM D 3034, SDR 26), UNLESS OTHERWISE NOTED. SANITARY SEWER INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321.
- ALL STORM SEWER PIPE SHALL BE RCP, CLASS III (MIN.), WITH FLEXIBLE WATER TIGHT JOINTS IN ACCORDANCE WITH ASTM C-361 OR PVC PIPE (ASTM D3034, SDR 35) INSTALLED IN ACCORDANCE WITH ASTM D2321, UNLESS OTHERWISE NOTED.
- FLEXIBLE JOINTS AT STORM SEWER PIPE CONNECTIONS TO STRUCTURES:
  - IN ACCORDANCE WITH MINNESOTA PLUMBING CODE, PROVIDE FLEXIBLE JOINTS AT ALL PIPE CONNECTIONS TO ALL STORM SEWER STRUCTURES.
  - ACCEPTABLE MANUFACTURERS / PRODUCTS:
    - FERNCO, "CONCRETE MANHOLE ADAPTORS" OR "LARGE-DIAMETER WATERSTOPS"
    - PRESS-SEAL, WATERSTOP GROUTING RINGS"
    - OR APPROVED EQUAL.
- WATERMAIN SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINTILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
- ANY MANHOLE, CATCH BASIN, STORM SEWER, SANITARY SEWER, DRAINTILE OR OTHER POTENTIAL SOURCE FOR CONTAMINATION SHALL BE INSTALLED AT LEAST 10 FEET HORIZONTALLY FROM ANY WATERMAIN PER MINNESOTA PLUMBING CODE. THIS ISOLATION DISTANCE SHALL BE MEASURED FROM THE OUTER EDGE OF THE PIPE TO THE OUTER EDGE OF THE CONTAMINATION SOURCE (OUTER EDGE OF STRUCTURES OR PIPING OR SIMILAR).
- LOCATE ALL EXISTING UTILITIES, VERIFY LOCATION, SIZE AND INVERT ELEVATION OF ALL EXISTING UTILITIES. VERIFY LOCATIONS, SIZES AND ELEVATIONS OF SAME BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO CONSTRUCTION OF PROPOSED BUILDING UTILITY SERVICES (STORM, SANITARY SEWER, WATERMAIN), VERIFY ALL PROPOSED BUILDING UTILITY SERVICE PIPE SIZES, LOCATIONS AND ELEVATIONS WITH MECHANICAL PLANS. COORDINATE CONSTRUCTION AND CONNECTIONS WITH MECHANICAL CONTRACTOR.
- CONTRACTOR SHALL STAKE LIMITS OF WALKS AND CURBING PRIOR TO INSTALLATION OF GATE VALVES, CATCH BASINS AND MANHOLES. GATE VALVE AND MANHOLE LOCATIONS SHALL BE ADJUSTED TO AVOID PLACEMENT OF THESE STRUCTURES IN WALKS AND CURB AND GUTTER. CURBS AND GUTTER SHALL BE STAKED TO ALLOW CURB INLET TYPE CATCH BASINS TO BE PROPERLY LOCATED IN LINE WITH CURBING.
- REFER TO SWPPP NARRATIVE (SECTION 01 89 13) FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
- MAINTAIN ADJACENT PROPERTY AND PUBLIC STREETS CLEAN FROM CONSTRUCTION CAUSED DIRT AND DEBRIS ON A DAILY BASIS. PROTECT DRAINAGE SYSTEMS FROM SEDIMENTATION AS A RESULT OF CONSTRUCTION RELATED DIRT AND DEBRIS.
- MAINTAIN DUST CONTROL DURING GRADING OPERATIONS.
- ALL EROSION CONTROL METHODS SHALL COMPLY WITH MPCA AND OTHER LOCAL REGULATIONS.
- IF EROSION AND SEDIMENT CONTROL MEASURES TAKEN ARE NOT ADEQUATE AND RESULT IN DOWNSTREAM IN SEDIEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OUT DOWNSTREAM STORM SEWERS AS NECESSARY, INCLUDING ASSOCIATED RESTORATION.
- SEDIMENT CONTROL DEVICE AT STORM SEWER INLETS. AT THE INLETS TO ALL STORM SEWER STRUCTURES, PROVIDE A PRODUCT FROM THE FOLLOWING LIST. ACCEPTABLE PRODUCTS:
  - WIMCO TOP SLAB™ MODEL RD 27.
  - INFRASAFE® SEDIMENT CONTROL BARRIER, DISTRIBUTED BY ROYAL ENVIRONMENTAL SYSTEMS, INC. SCB'S SHALL BE SIZED SPECIFICALLY FOR THE STRUCTURE AND CASTING SPECIFIED. SCB'S SHALL BE EQUIPPED WITH FRAME AND PERFORATED SHROUD AND SHALL BE WRAPPED ON THE OUTSIDE, COVERING THE PERFORATED WALL ONLY, WITH A GEOTEXTILE SOCK.
  - DANDY BAGS OR DANDY BAG HD DISTRIBUTED BY BROCK WHITE COMPANY, ST. PAUL, MN (615) 647-9950. DANDY BAG SHALL BE USED ONLY FOR CURB INLETS AFTER PAVEMENT (BINDER COURSE OR WEAR COURSE) IS INSTALLED OR AT EXISTING PAVED AREAS.
  - INFRASAFE® DEBRIS COLLECTION DEVICE BY ROYAL ENVIRONMENTAL SYSTEMS, INC., DISTRIBUTED BY ESS BROTHERS, 9350 COUNTY ROAD 19, CORCORAN, MN 55357 DCD'S SHALL BE SIZED SPECIFICALLY FOR THE STRUCTURE AND CASTING SPECIFIED. PROVIDE FILTER BAGS AND TIES FOR COMPLETE INSTALLATION.
  - OR APPROVED EQUAL.

**LEGEND**

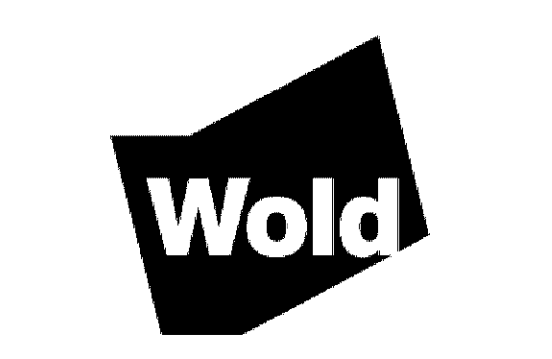
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DETAIL SHEET NUMBER (BOTTOM)
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION  
ME = MATCH EXISTING  
EOP = EMERGENCY OVERFLOW
- PROPOSED GRADING LIMITS
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATERMAIN
- PROPOSED DRAINTILE / FINGER DRAIN
- PROPOSED MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED UNDERGROUND STORAGE UNITS
- PROPOSED HYDRANT (HYD)
- PROPOSED GATE VALVE (GV)
- PROVIDE MINIMUM 18" VERTICAL SEPARATION AT CROSSING. PROVIDE VERTICAL BENDS IN WATERMAIN AS REQUIRED TO ACCOMPLISH STANDARD DETAILS
- SEDIMENT CONTROL DEVICE AT STORM SEWER INLET
- PROPOSED SILT FENCE
- PROPOSED ROCK CONSTRUCTION ENTRANCE
- PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS
- PROPERTY LINE

**APPROXIMATE EROSION CONTROL DEVICE QUANTITIES**

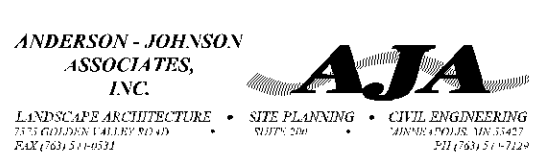
SILT FENCE = 230 L.F.  
 ROCK CONSTRUCTION ENTRANCE = 25 C.Y.  
 SEDIMENT CONTROL DEVICE AT STORM SEWER INLET = 7



PROPERTY SERVICES DEPARTMENT  
 Consultants:



**WOLD ARCHITECTS AND ENGINEERS**  
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DATE: A. REY  
 Registration Number: 40180 Date: 06/30/17  
 CAD Date: 11/14/17

Key Plan:

No.	Revisions	Date

Project Title:  
**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

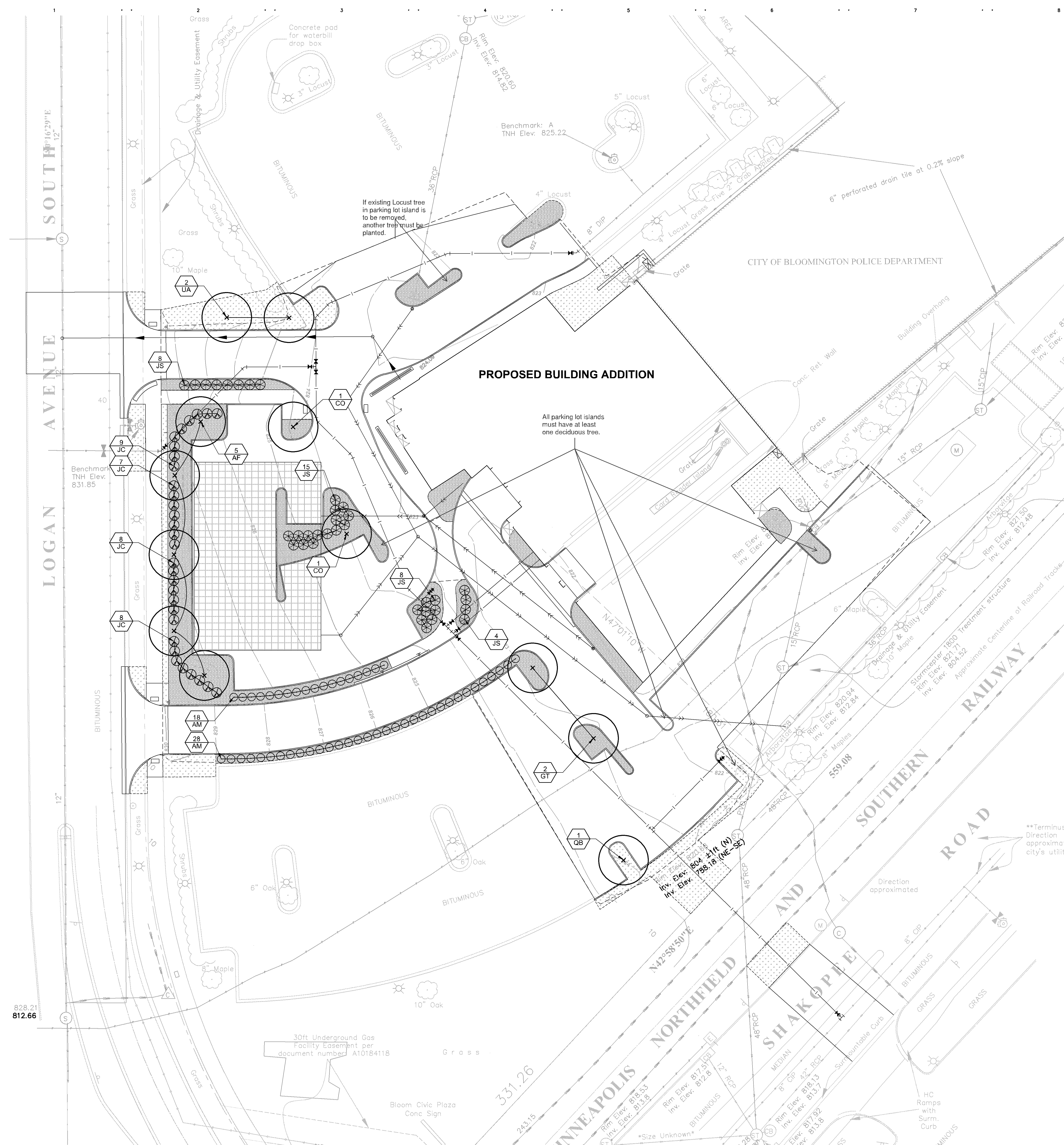
Facility Name (No.) & Address:  
 BLOOMINGTON CIVIC PLAZA  
 1800 W. OLD SHAKOPEE RD  
 BLOOMINGTON, MN 55431

UTILITY AND SEDIMENT CONTROL PLAN

162150 MLR DAR  
 Drawing No.:  
**DD C1.51**  
 Date: 03/17/17

AGENCY REVIEW SET  
 NOT FOR CONSTRUCTION

MN



**NOTES:**

- REFER TO SHEET C1.41, GRADING AND DRAINAGE PLAN, FOR GENERAL NOTES.
- REFER TO SWPPP NARRATIVE FOR CONSTRUCTION SEQUENCING AND EROSION CONTROL REQUIREMENTS.
- LANDSCAPE ARCHITECT MUST INSPECT AND APPROVE FINISH GRADING BEFORE CONTRACTOR PROCEEDS WITH SODDING AND SEEDING.
- ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD WHICH ARE NOT DESIGNATED TO BE PAVED OR RECEIVE AGLIME SHALL RECEIVE AT LEAST 6" OF TOPSOIL AND SHALL BE SODDED OR SEEDDED.
- WHERE NEW SOD MEETS EXISTING TURF, EXISTING TURF EDGE SHALL BE CUT TO ALLOW FOR A CONSISTENT, UNIFORM STRAIGHT EDGE. JAGGED OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. REMOVE TOPSOIL AT JOINT BETWEEN EXISTING AND NEW AS REQUIRED TO ALLOW NEW SOD SURFACE TO BE FLUSH WITH EXISTING.
- FAILURE OF TURF DEVELOPMENT: IN THE EVENT THE CONTRACTOR FAILS TO PROVIDE AN ACCEPTABLE TURF, THE CONTRACTOR SHALL RE-SOD OR RE-SEED ALL APPLICABLE AREAS, AT NO ADDITIONAL COST TO THE OWNER, TO THE SATISFACTION OF THE ENGINEER.
- BEGIN TURF ESTABLISHMENT IMMEDIATELY AFTER SODDING OR SEEDING, REFER TO SPECIFICATION FOR PROCEDURE.
- ALL TREES TO BE BALLED AND BURLAPPED.
- ALL TREES AND SHRUBS SHALL RECEIVE 4" DEPTH OF CLEAN SHREDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
- ALL PLANT MATERIALS SHALL BE NO. 1 QUALITY, NURSERY GROWN AND SPECIMENS MUST BE MATCHED. ALL OVERSTORY TREES ADJACENT TO DRIVE AND IN PARKING LOT SHALL BEGIN BRANCHING NO LOWER THAN 6'.

**LEGEND**

- REFERENCE KEY TO SITE DETAILS  
DETAIL ID NUMBER (TOP)  
DETAIL SHEET NUMBER (BOTTOM)
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUBS
- PROPOSED HERBACEOUS PLANTS
- APPROXIMATE SOD LIMITS
- PROPOSED SEED MIX #1
- PROPOSED SEED MIX #2
- PROPOSED NATIVE SEEDING
- PROPOSED SHRUB / MULCH BED
- PROPOSED LANDSCAPE ROCK BED
- PROPOSED LIGHT POLE - REFER TO ELECTRICAL PLANS
- PROPERTY LINE

**SITE STATISTICS:**

DISTURBED AREA - 83,338 SQ FT  
 DEVELOPABLE LANDSCAPING AREA PORTION OF DISTURBED AREA - 10,379 SQ FT

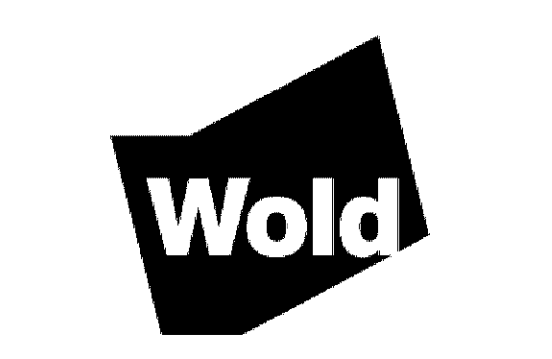
REQUIRED TREES - 5  
 REQUIRED SHRUBS - 11

**PLANT SCHEDULE**

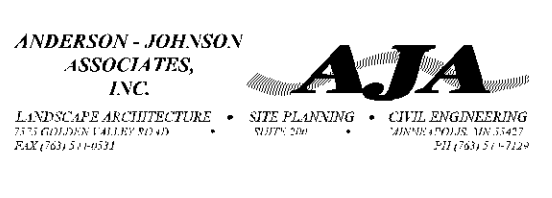
SYMBOL	COMMON NAME	SCIENTIFIC NAME	QTY.	SIZE	ROOT
<b>DECIDUOUS SHADE TREES</b>					
AF	FIREFALL MAPLE	Acer x freemanii 'AF#1'	5	2-1/2" cal	B&B
CO	HACKBERRY	Celtis occidentalis	2	2-1/2" cal	B&B
GT	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycoler'	2	2-1/2" cal	B&B
QB	SWAMP WHITE OAK	Quercus bicolor	1	2-1/2" cal	B&B
UA	PRINCETON ELM	Ulmus americana 'Princeton'	2	2-1/2" cal	B&B
<b>DECIDUOUS SHRUBS</b>					
AM	PROCELOS BEAUTY CHOKEBERRY	Aronia melanocarpa 'Morton'	46	#5	Cont.
<b>CONIFEROUS SHRUBS</b>					
JC	MANEY JUNIPER	Juniperus chinensis 'Maney'	32	#5	Cont.
BS	BUFFALO JUNIPER	Juniperus sabina 'Buffalo'	35	#5	Cont.



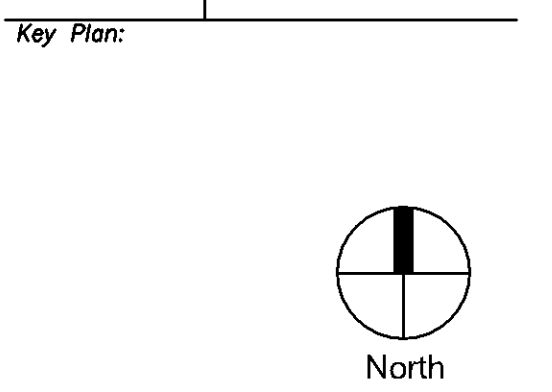
PROPERTY SERVICES DEPARTMENT  
 Consultants:



**WOLD ARCHITECTS AND ENGINEERS**  
 533 Minnesota Street, Suite W2000  
 Saint Paul, MN 55101  
 wold@a.com | 651.227.7773



Registration:  
 I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.  
 Registration Number: 40180 Date: 08/30/17  
 CAD Date: 11.1.17



No.	Revisions	Date

Project Title:  
**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

Facility Name (No.) & Address:  
 BLOOMINGTON CIVIC PLAZA  
 1800 W. OLD SHAKOPEE RD  
 BLOOMINGTON, MN 55431

**LANDSCAPING PLAN**

Scale	Author	Check	Date
162150	MLB	DAR	03/17/17

Drawing No.: **DD L1.11**  
 Date: 03/17/17

AGENCY REVIEW SET  
 NOT FOR CONSTRUCTION

MN

B

C

D

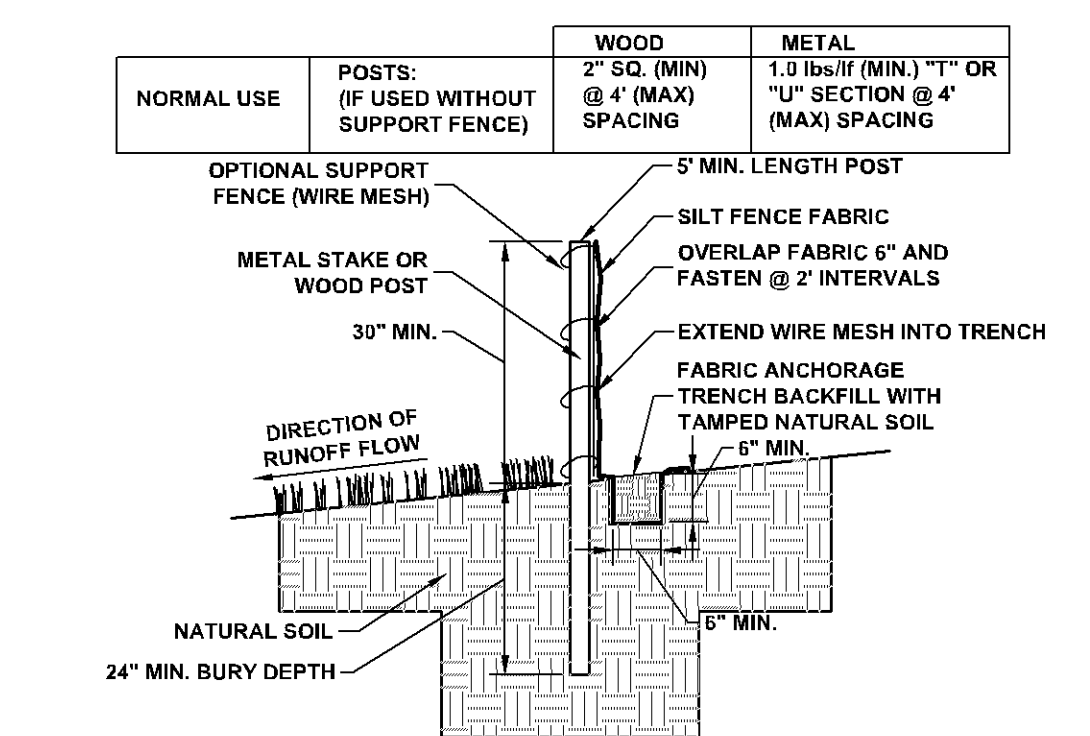
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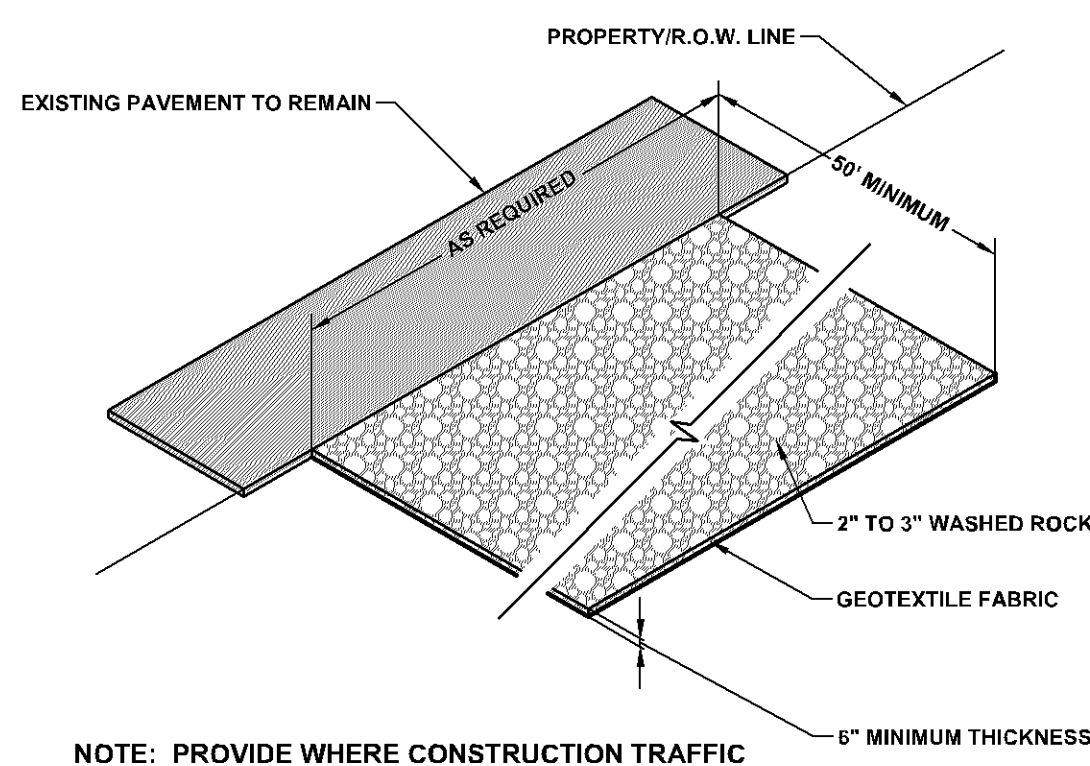
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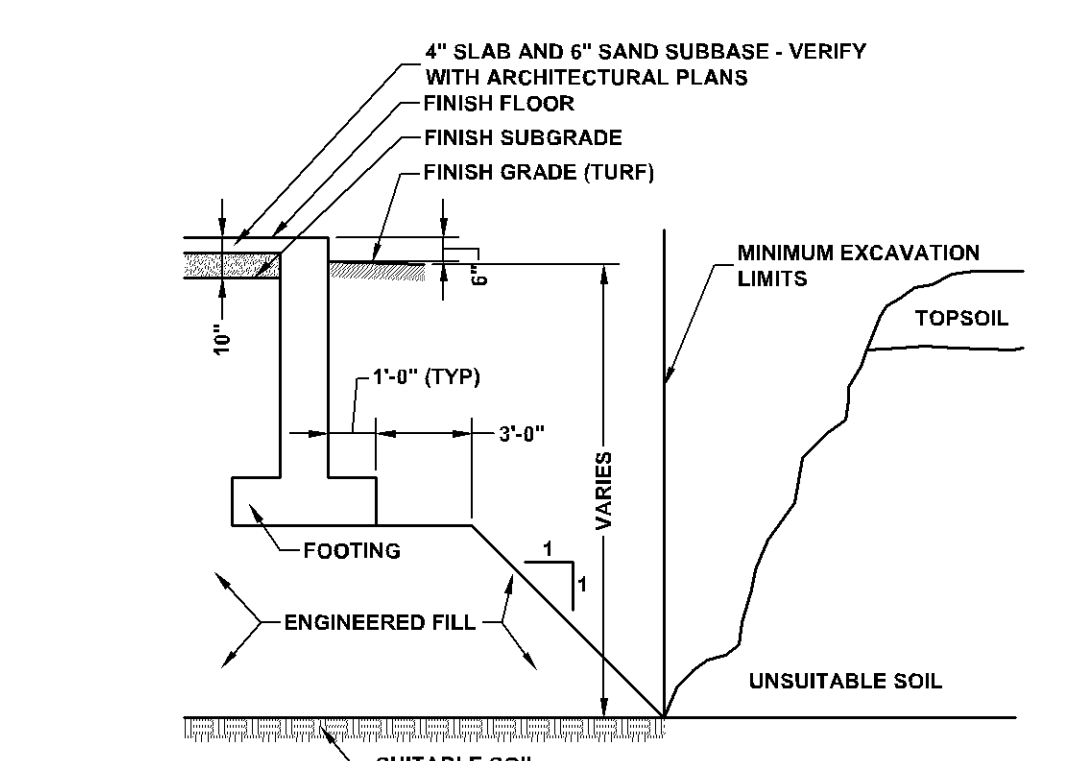
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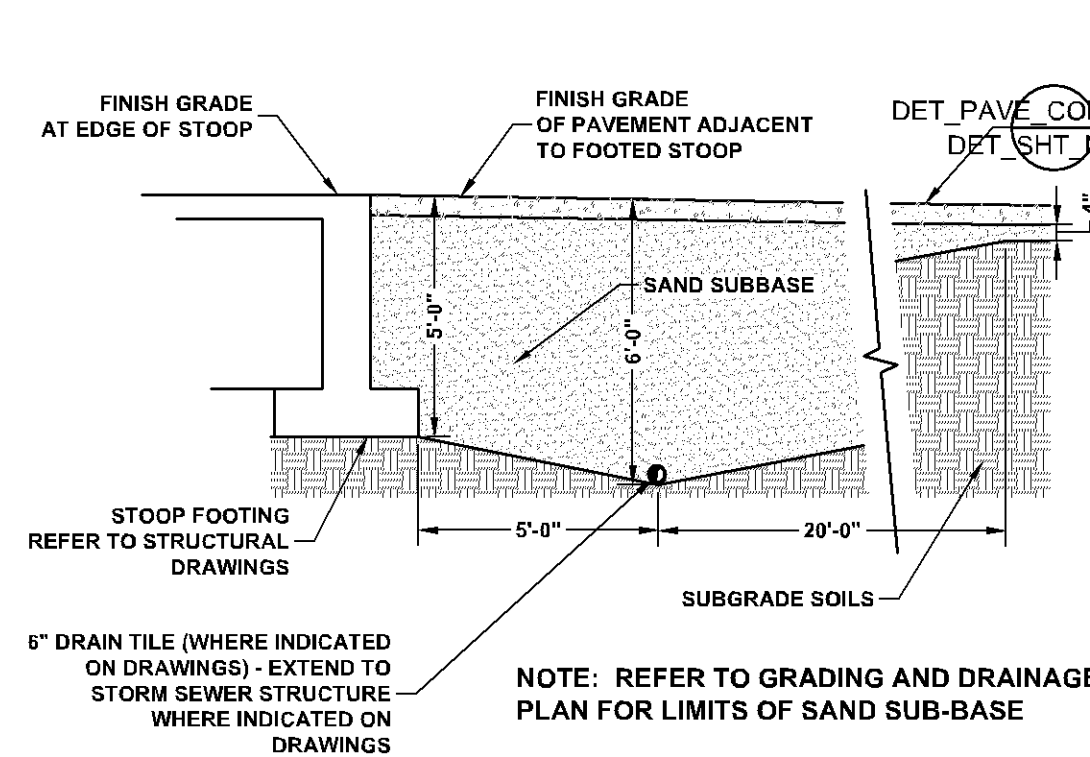
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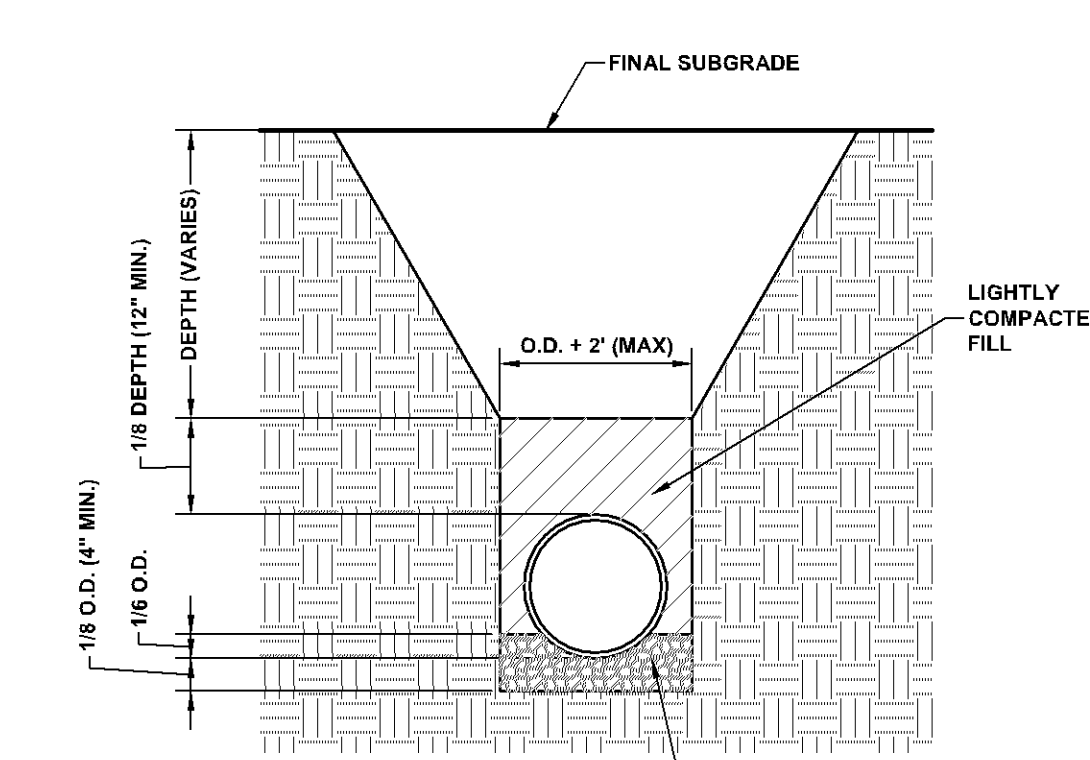
**ROCK CONSTRUCTION ENTRANCE**



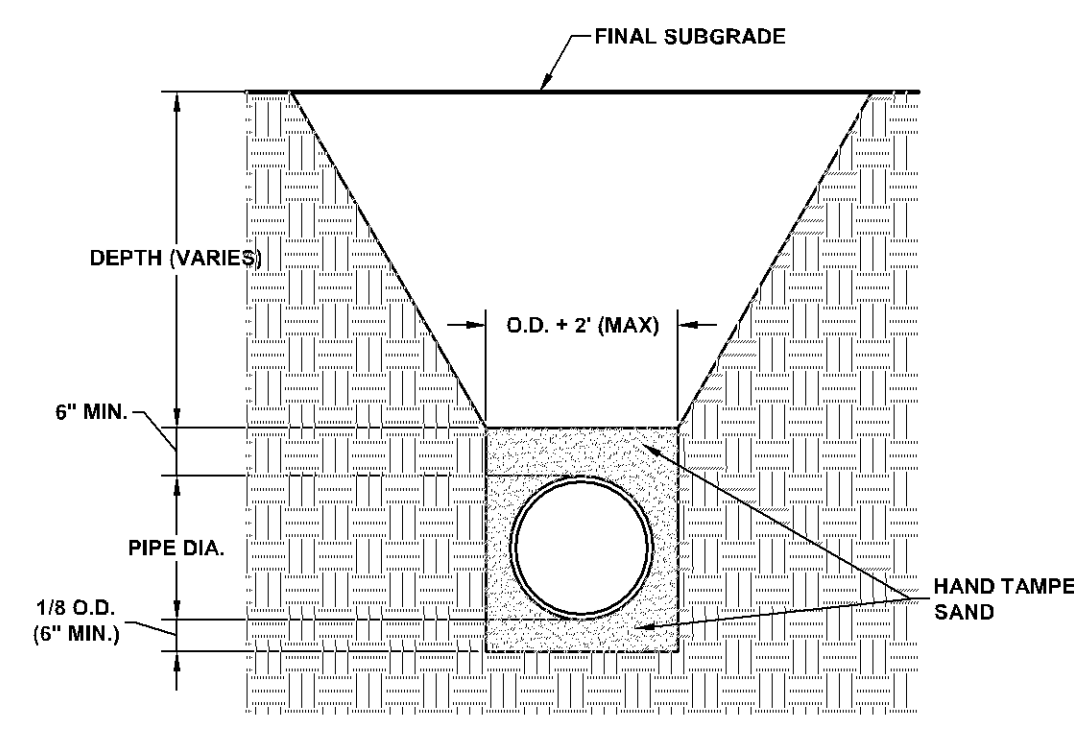
**ENGINEERED FILL**



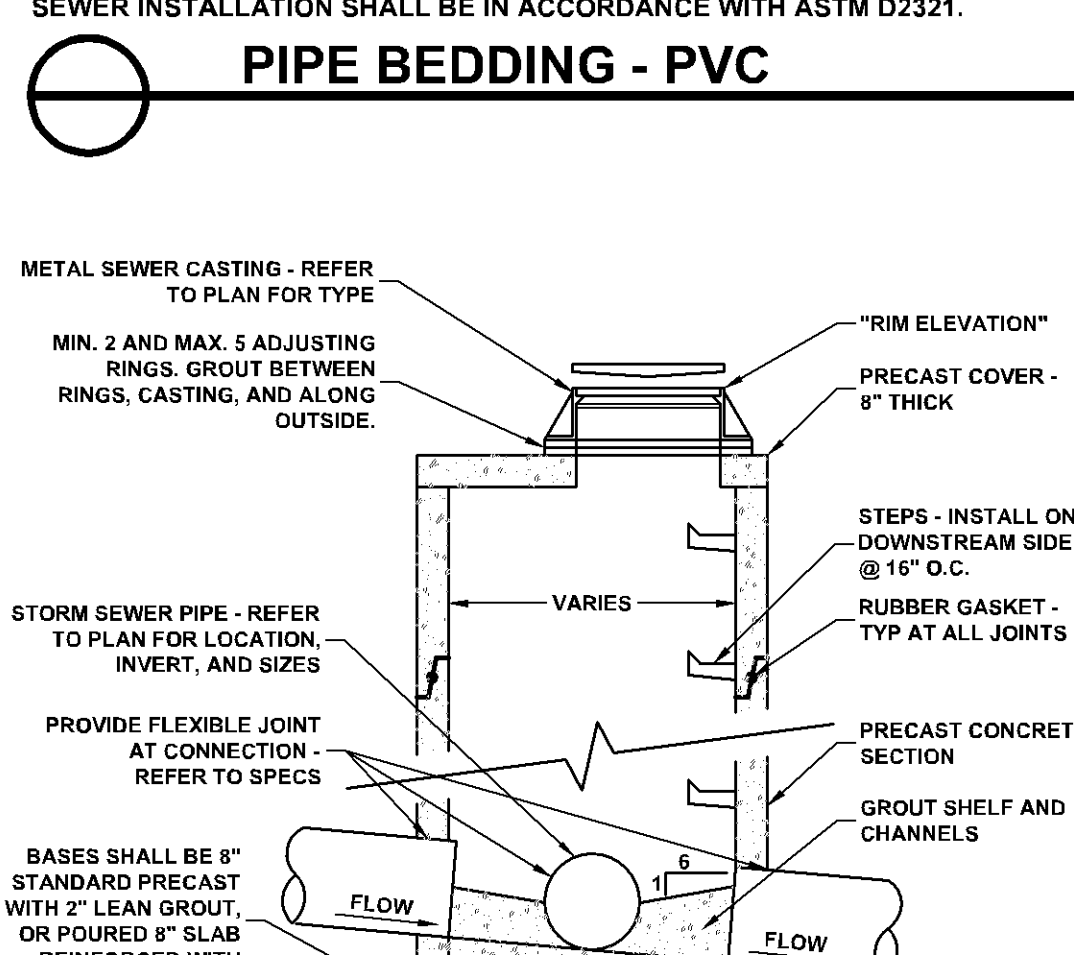
**SAND SUBBASE/ DRAIN TILE AT DOORS & FROST FOOTED STOOPS**



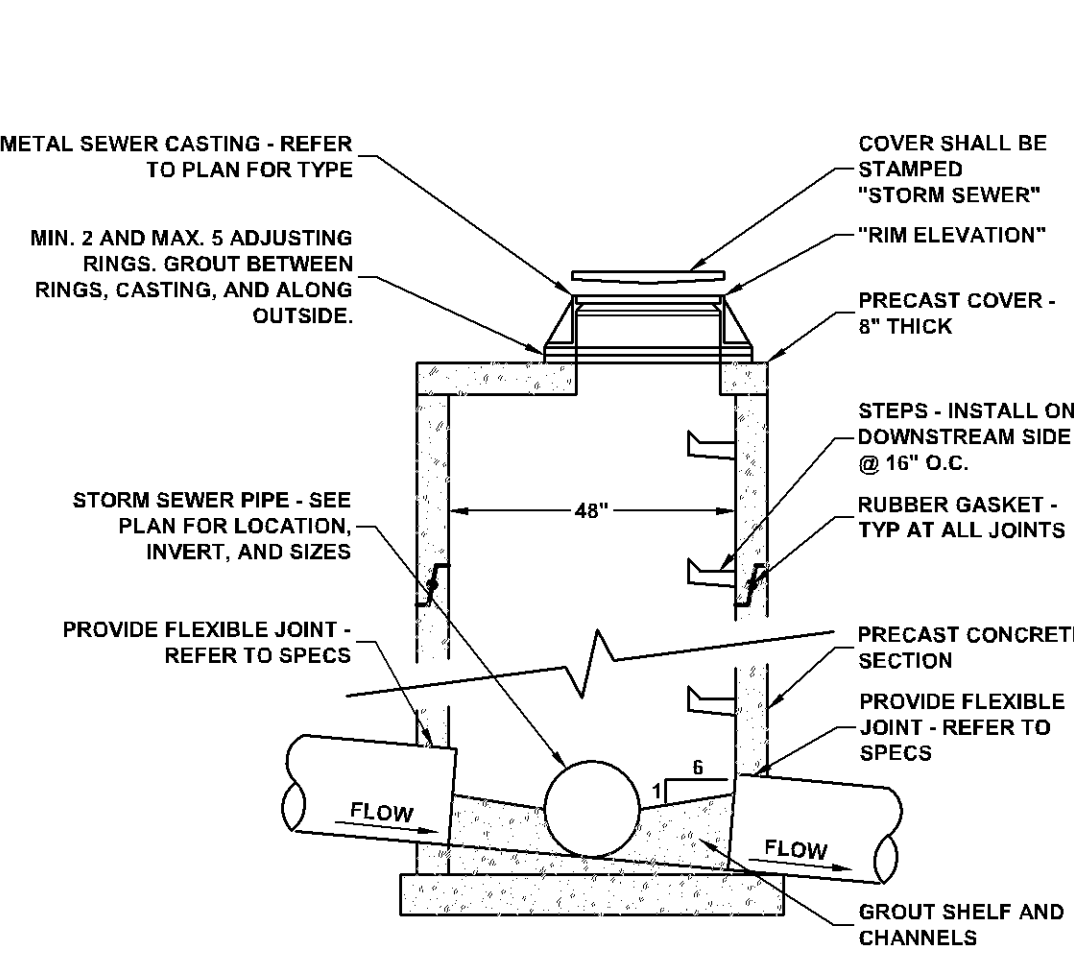
**PIPE BEDDING - RCP & DIP**



**PIPE BEDDING - PVC**



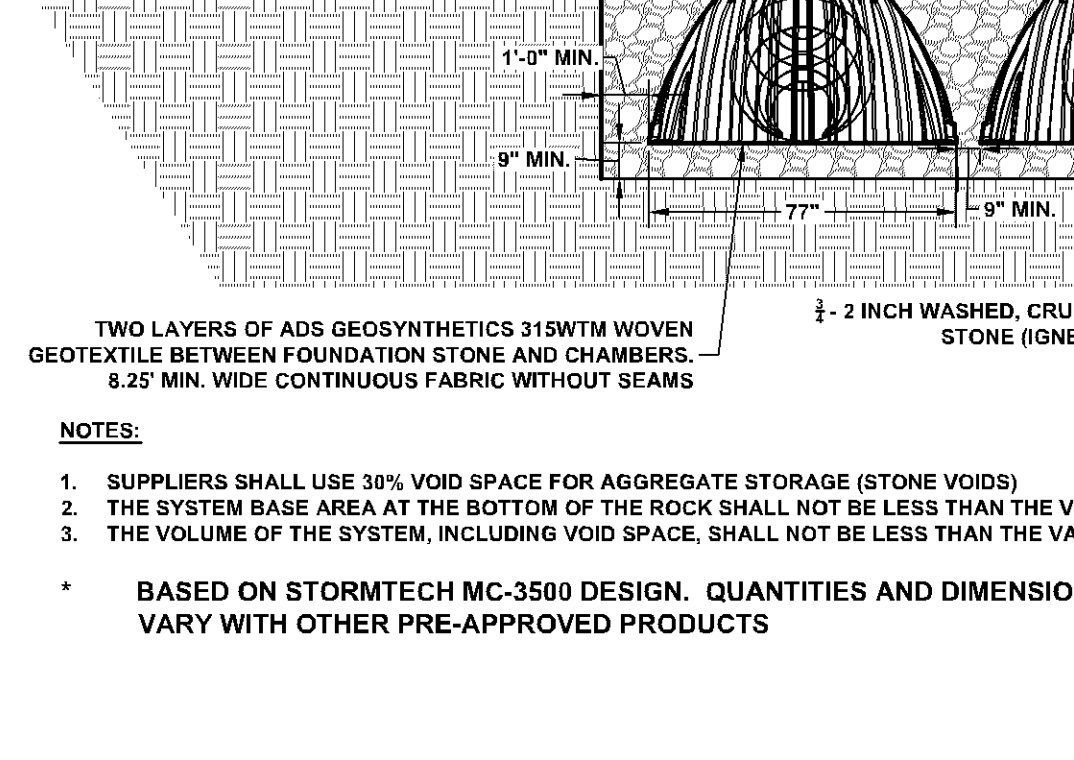
**CATCH BASIN**



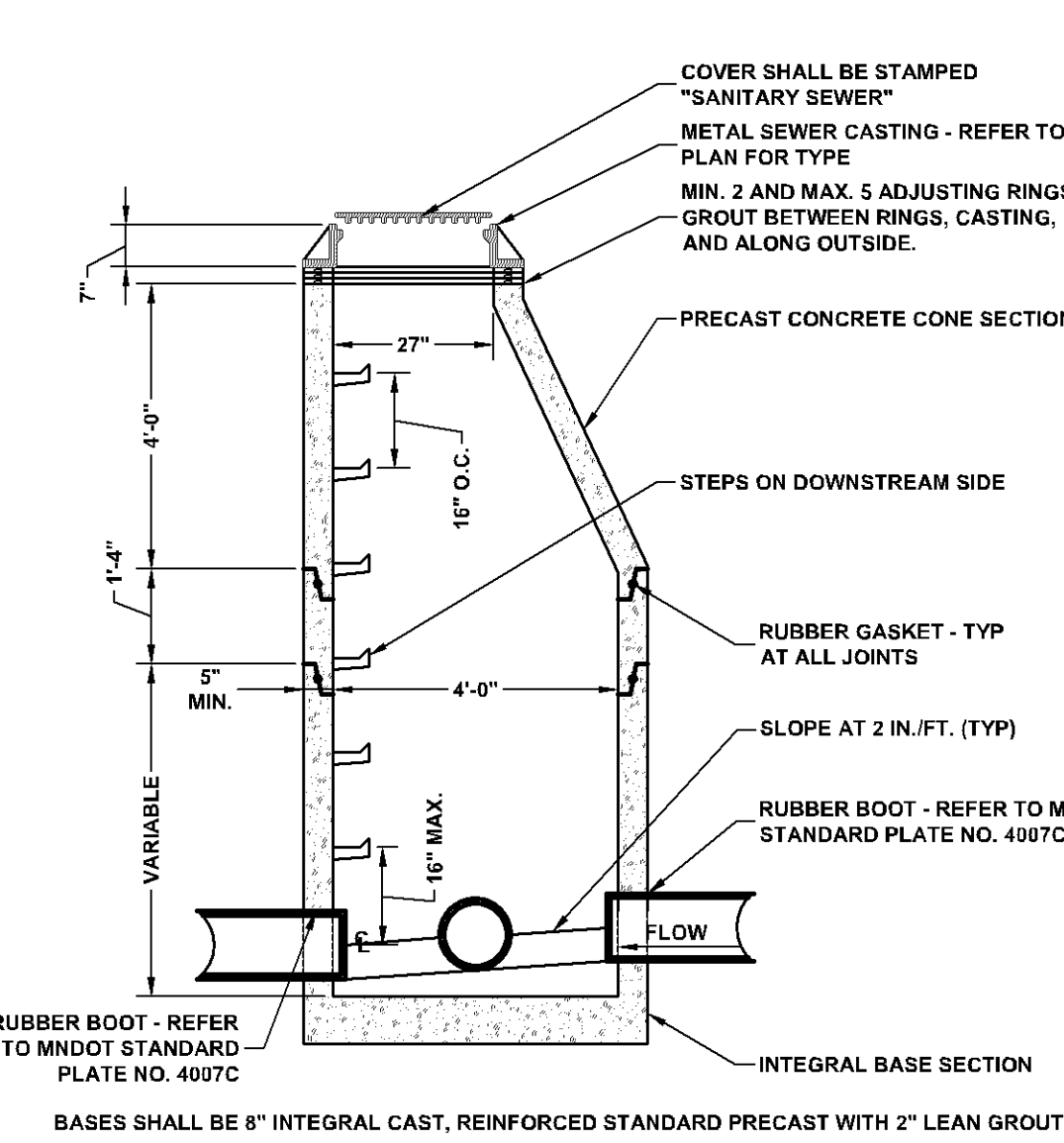
**STORM SEWER MANHOLE**



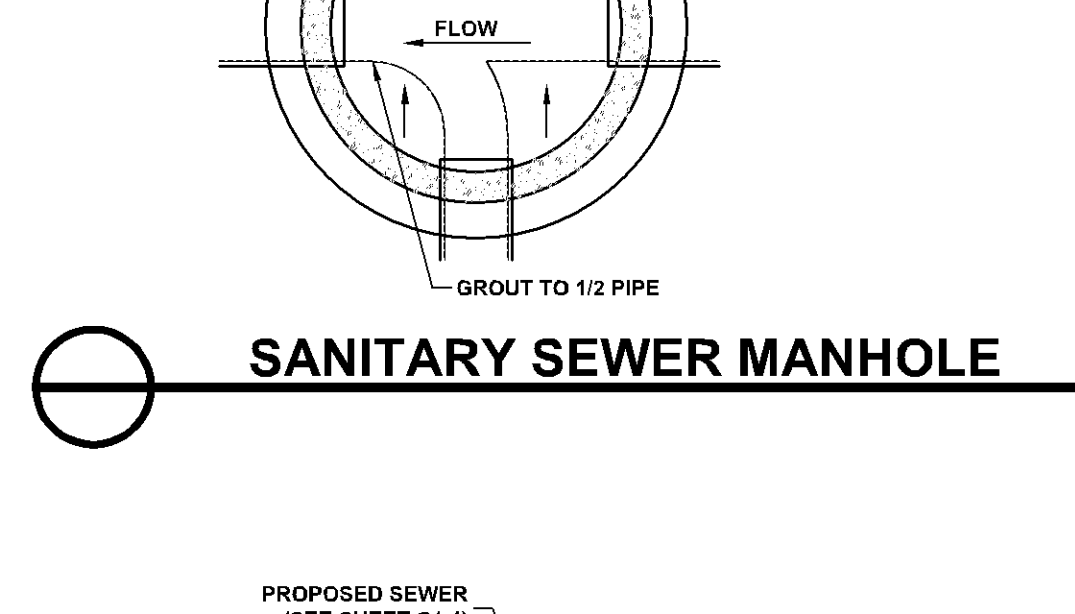
**SANITARY SEWER MANHOLE**



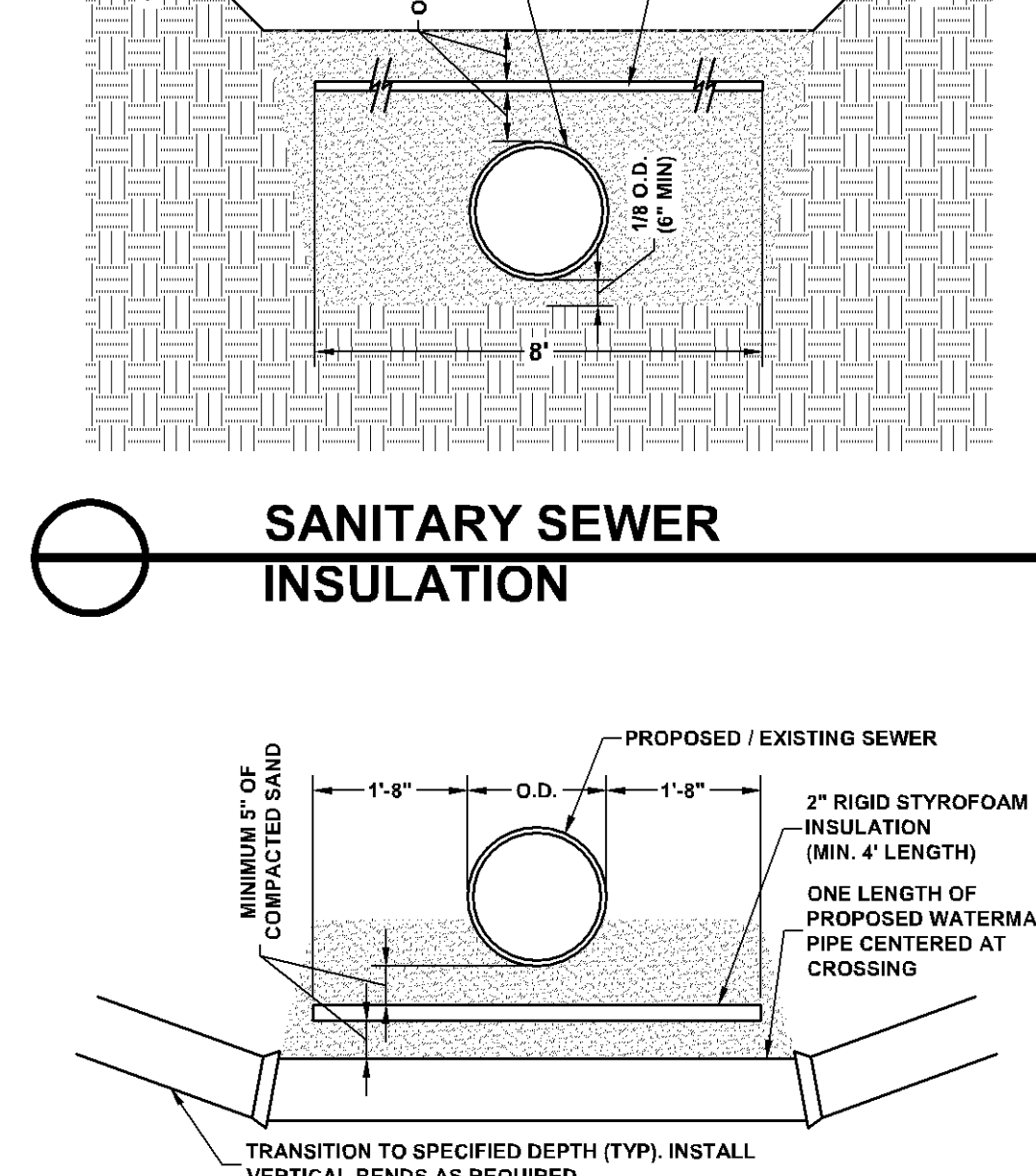
**UGS SECTION (TYPICAL)**



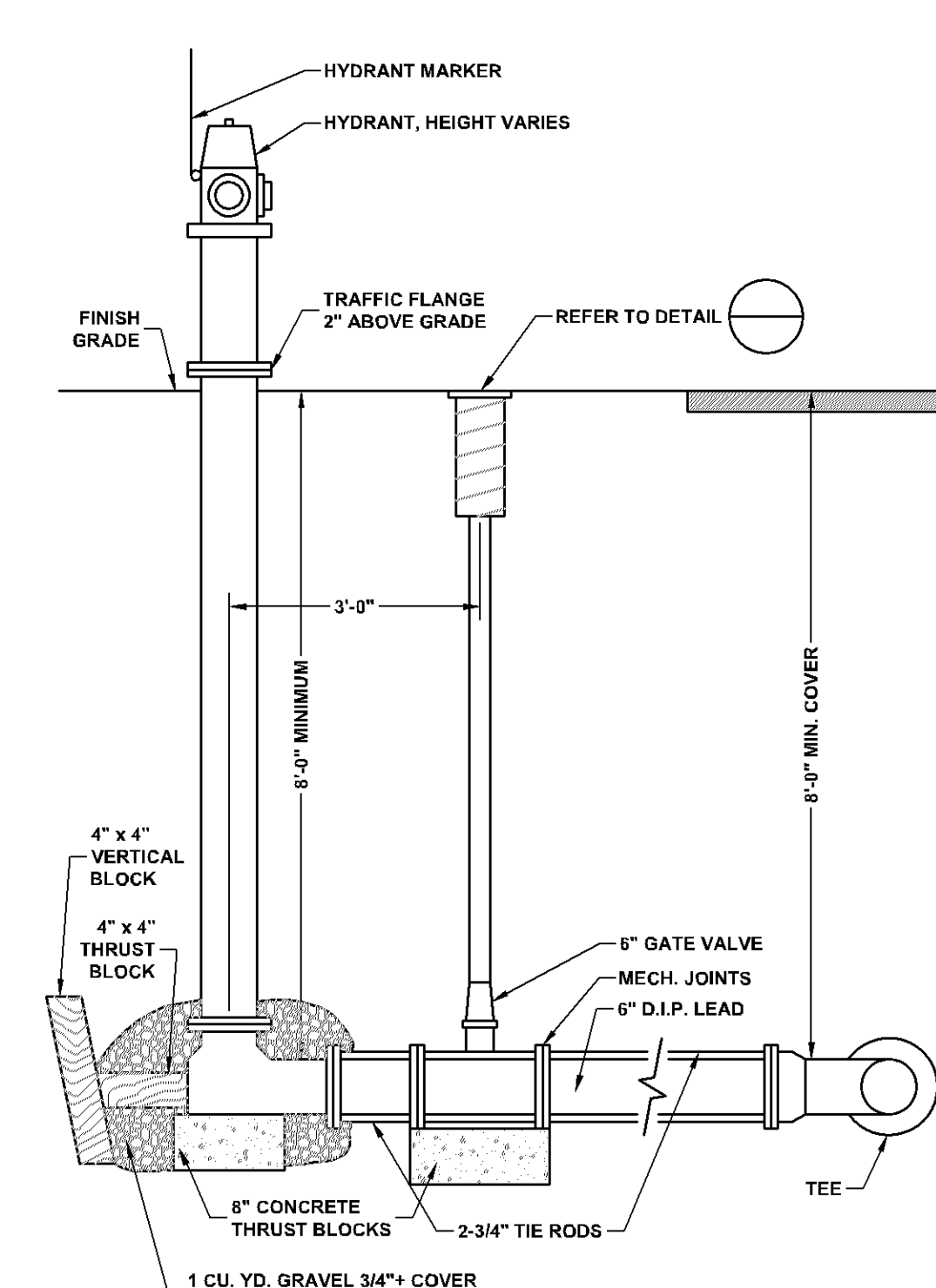
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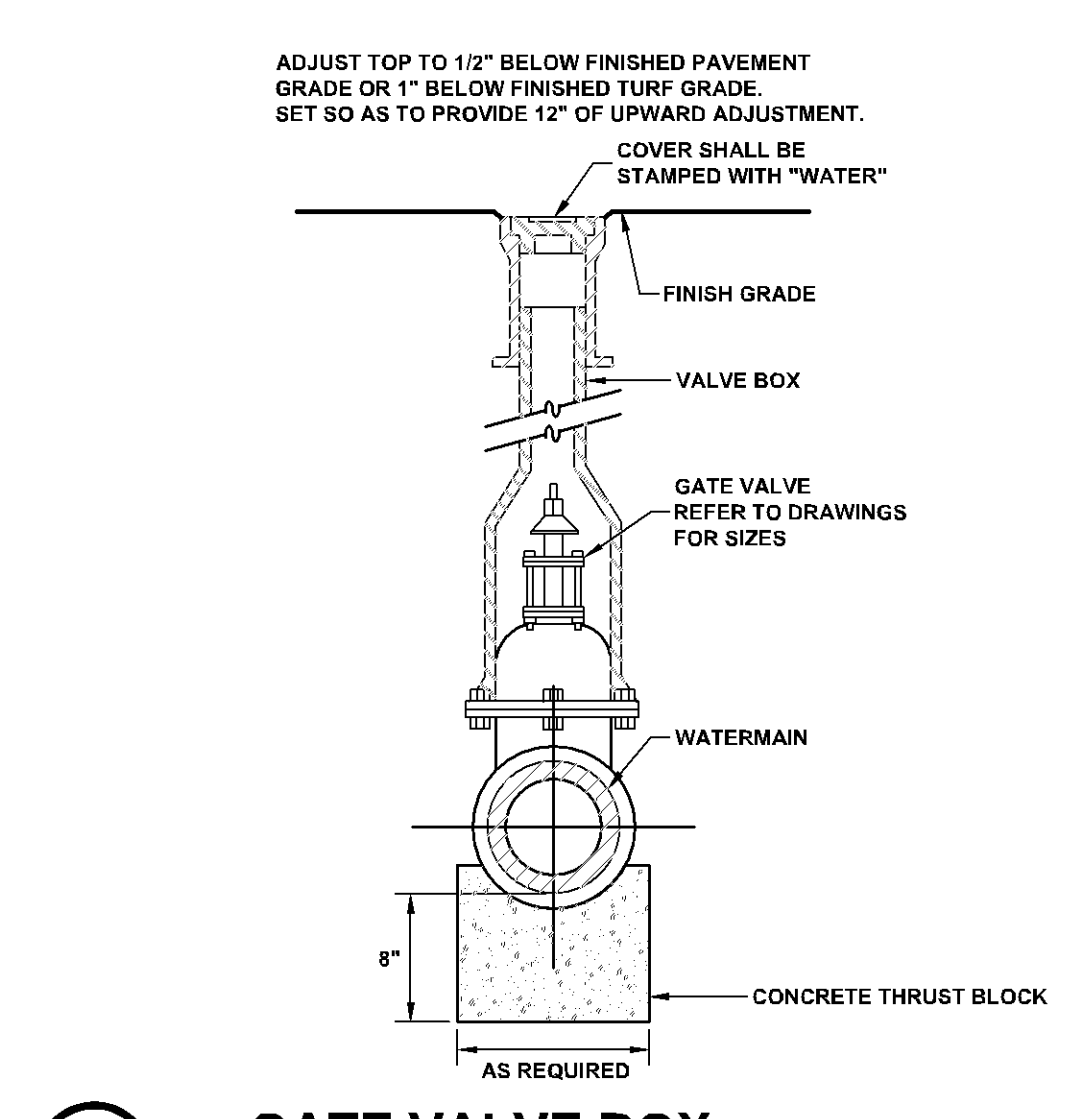
**SANITARY SEWER INSULATION**



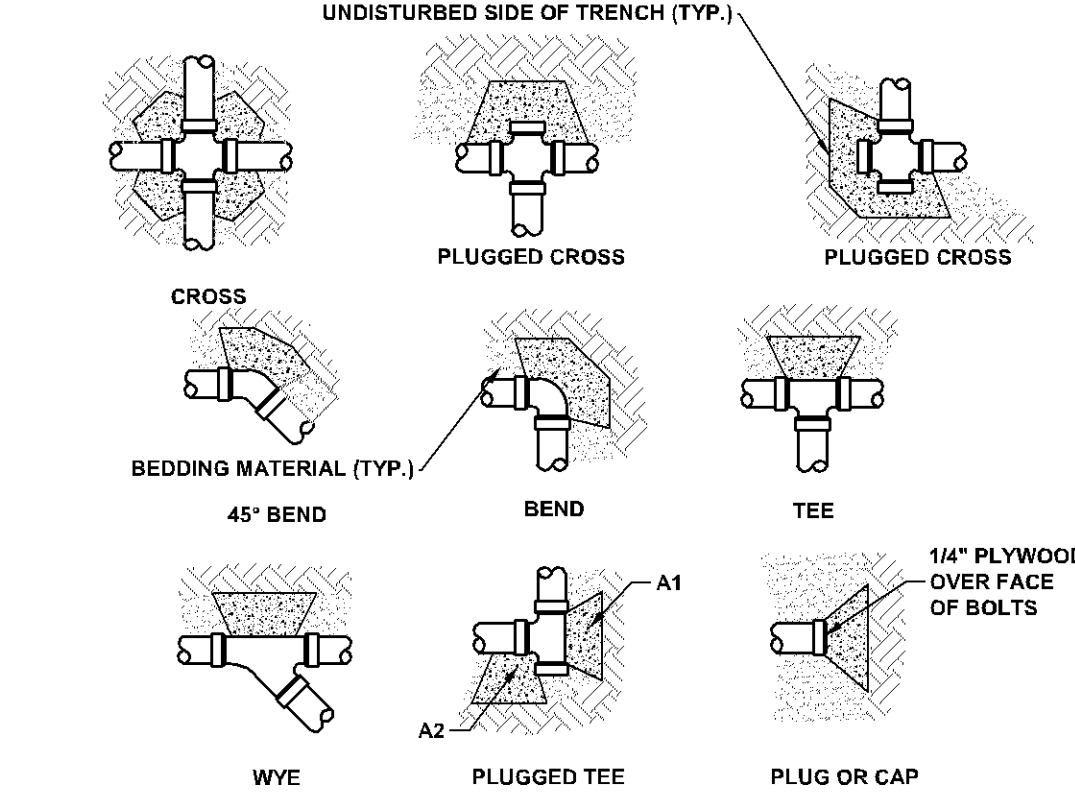
**WATERMAIN INSULATION**



**FIRE HYDRANT**



**GATE VALVE BOX**

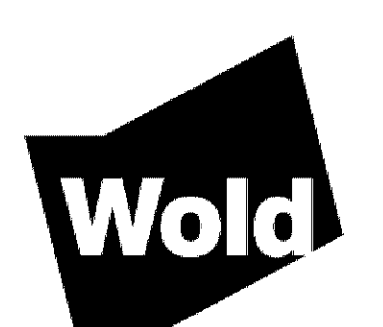


**Key Plan**

NOMINAL FITTING SIZE (INCHES)	TEE, WYE, PLUGGED OR CAP	90° BEND		TEE PLUGGED ON RUN		45° BEND	22.5° BEND	11.25° BEND
		CROSS	A1	A2	A1			
4	1.0	1.4	1.9	1.4	1.0	-	-	-
6	2.1	3.0	4.3	3.0	1.5	1.0	-	-
8	3.8	5.3	7.6	5.4	2.9	1.5	1.0	-
10	5.9	8.4	11.8	8.4	4.6	2.6	1.2	-
12	8.5	12.0	17.0	12.0	6.5	3.4	1.7	-
14	11.5	16.3	23.0	16.3	8.9	4.6	2.3	-
16	15.0	21.3	30.0	21.3	11.6	6.0	3.0	-
18	19.0	27.0	38.0	27.0	14.6	7.6	3.6	-
20	23.5	33.3	47.0	33.3	18.1	9.4	4.7	-
24	34.0	48.0	68.0	48.0	26.2	13.6	6.8	-

**THRUST BLOCK**

UGS 1	
STORAGE	0.416 ac
LENGTH	64 FEET
WIDTH	95 FEET
CHAMBERS	104
INVERT	816.55
BOTTOM OF ROCK	815.80
ROWS	13
CHAMBERS PER ROW	8
FILTRATION VELOCITY	0.80

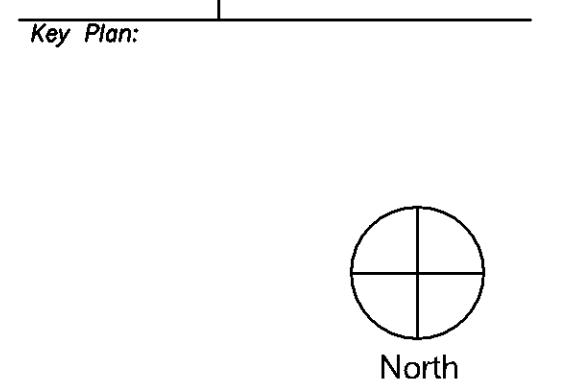


**WOLD ARCHITECTS AND ENGINEERS**  
333 Minnesota Street, Suite 2000  
Saint Paul, MN 55101



Registration:  
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.

DATE: A. REY  
Registration Number: 40280 Date: 06/30/17  
CAD Date:



No.	Revisions	Date

Project Title:

**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

Facility Name (No.) & Address  
BLOOMINGTON CIVIC PLAZA  
1800 W. OLD SHAKOPEE RD  
BLOOMINGTON, MN 55431

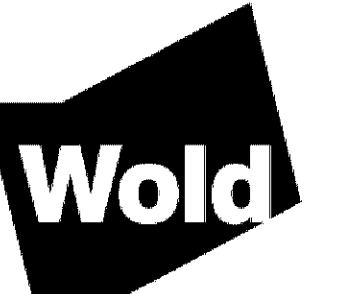
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Elevation: N.T.S.

**SITE DETAILS**

DATE	BY	CHK	APP
162150		MLB	DAR

Drawing No.:  
**DD C2.11**  
Date: 03/17/17

AGENCY REVIEW SET  
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**WOLD ARCHITECTS AND ENGINEERS**  
333 Minnesota Street, Suite 9000  
Saint Paul, MN 55101  
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ANDERSON, JOHNSON ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS • SITE PLANNING • GROUNDWATER INVESTIGATION  
3000 Grand Avenue, Suite 1000, Minneapolis, MN 55405  
508.222.2222

Registration:  
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Registration Number: 40180 Date: 08/30/17  
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Key Plan:

No.	Revisions	Date

Project Title:

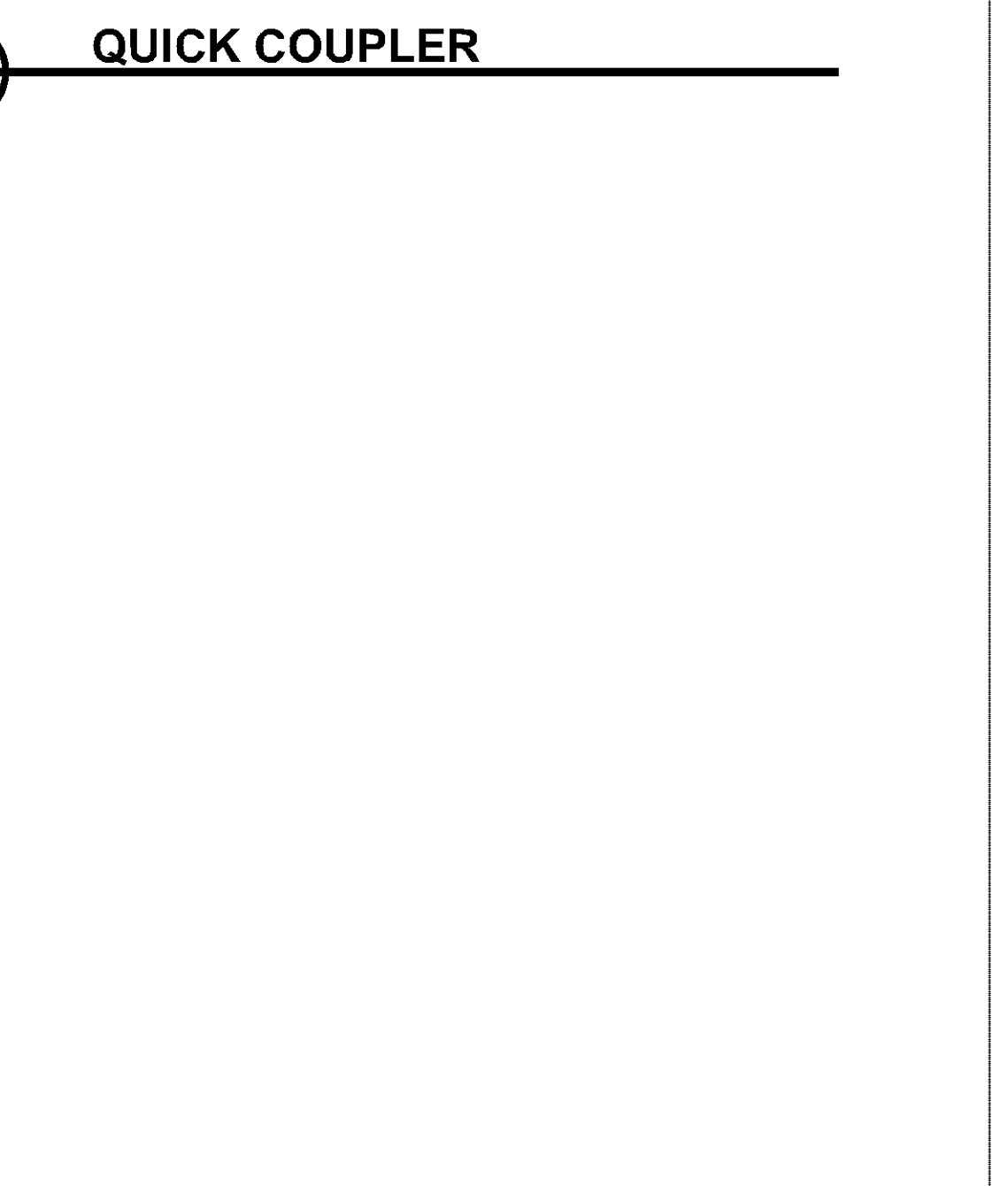
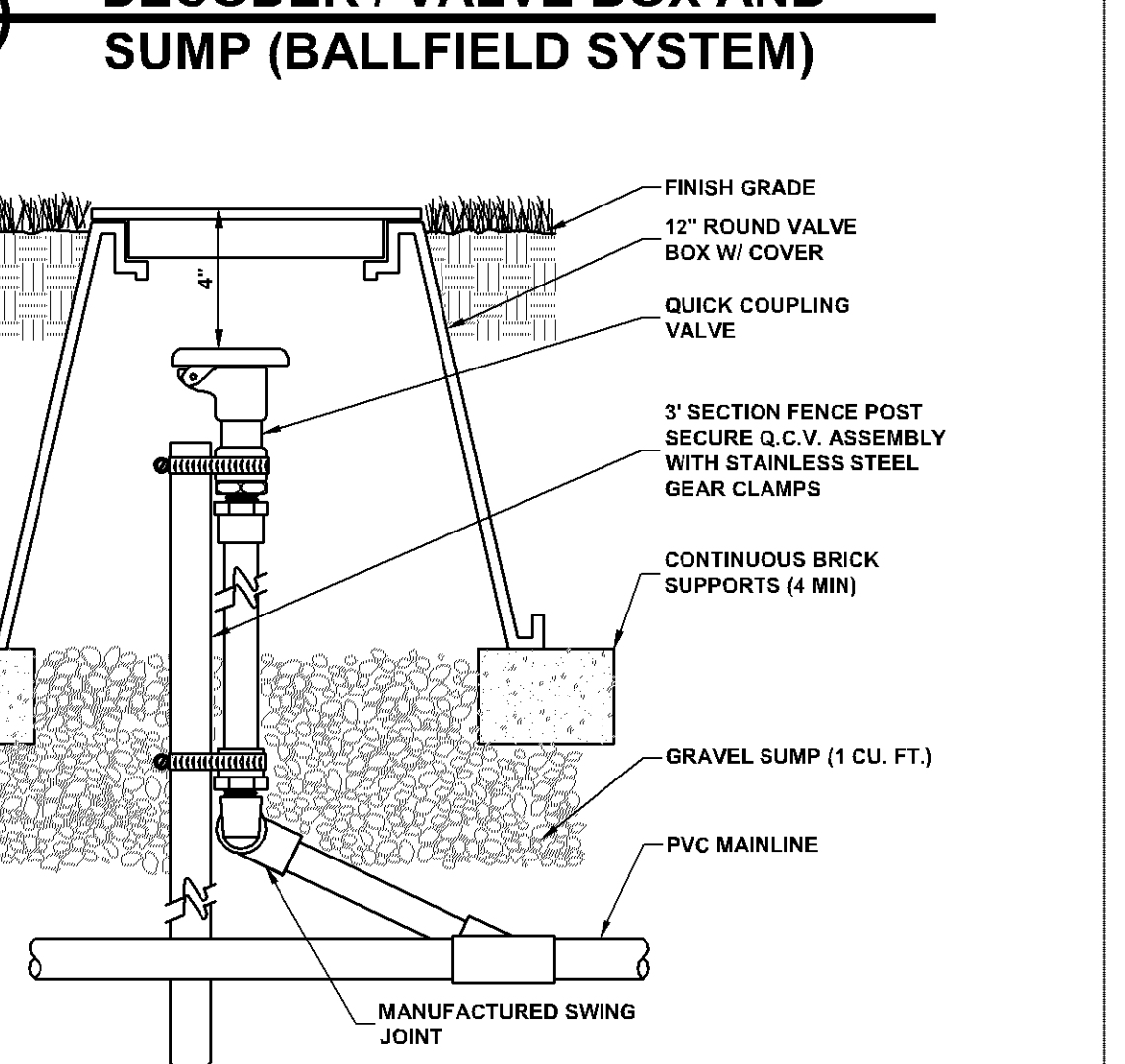
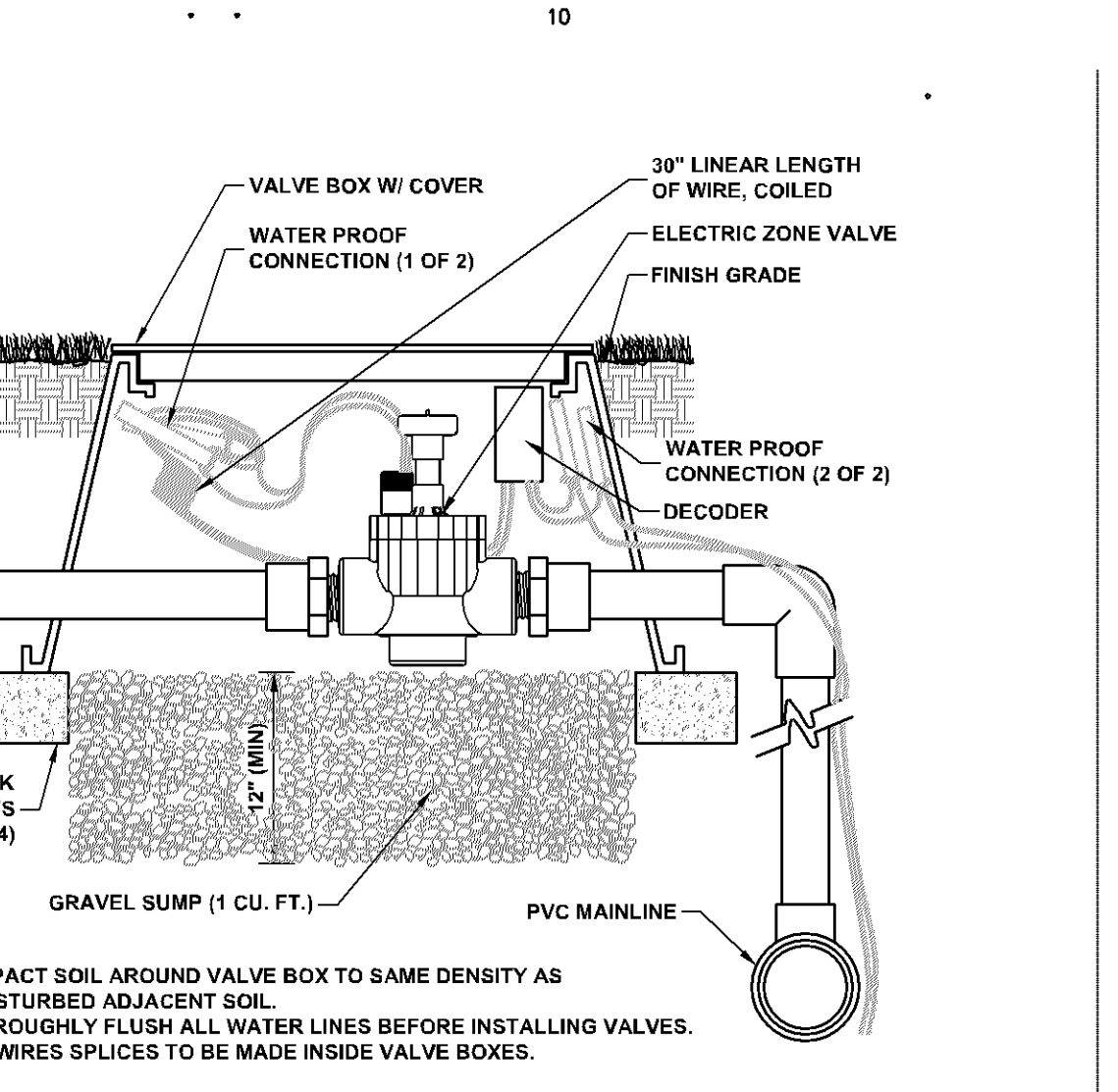
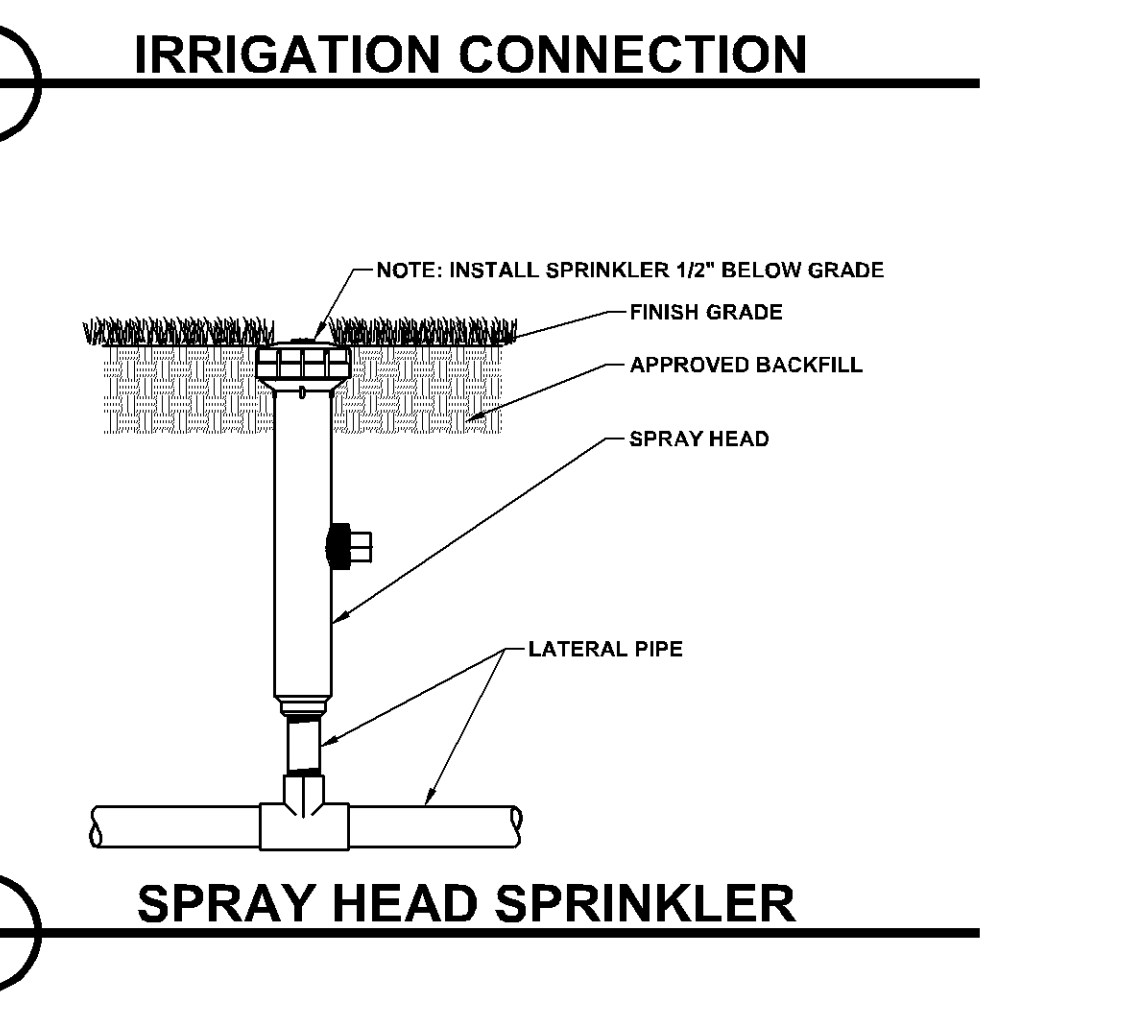
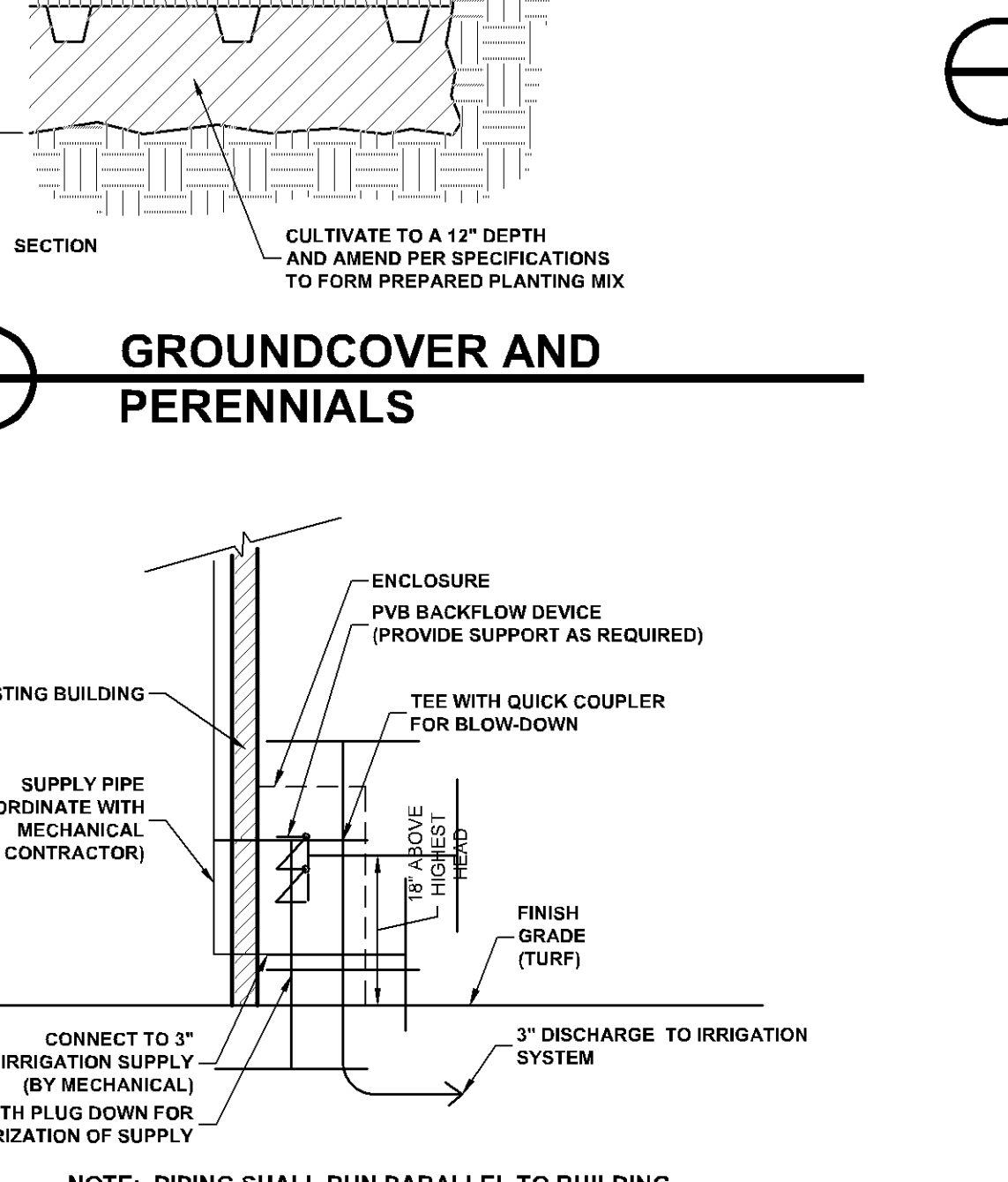
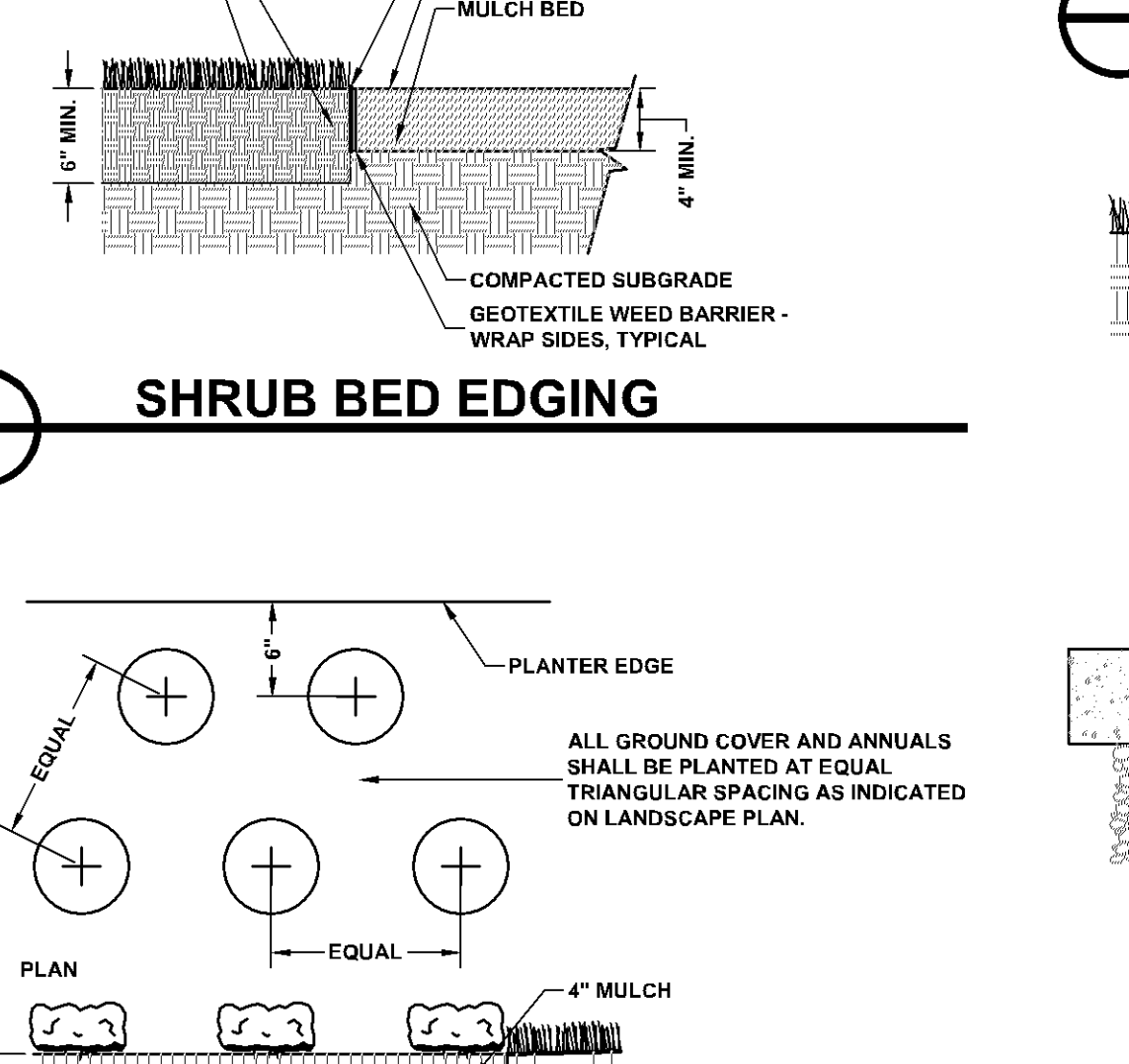
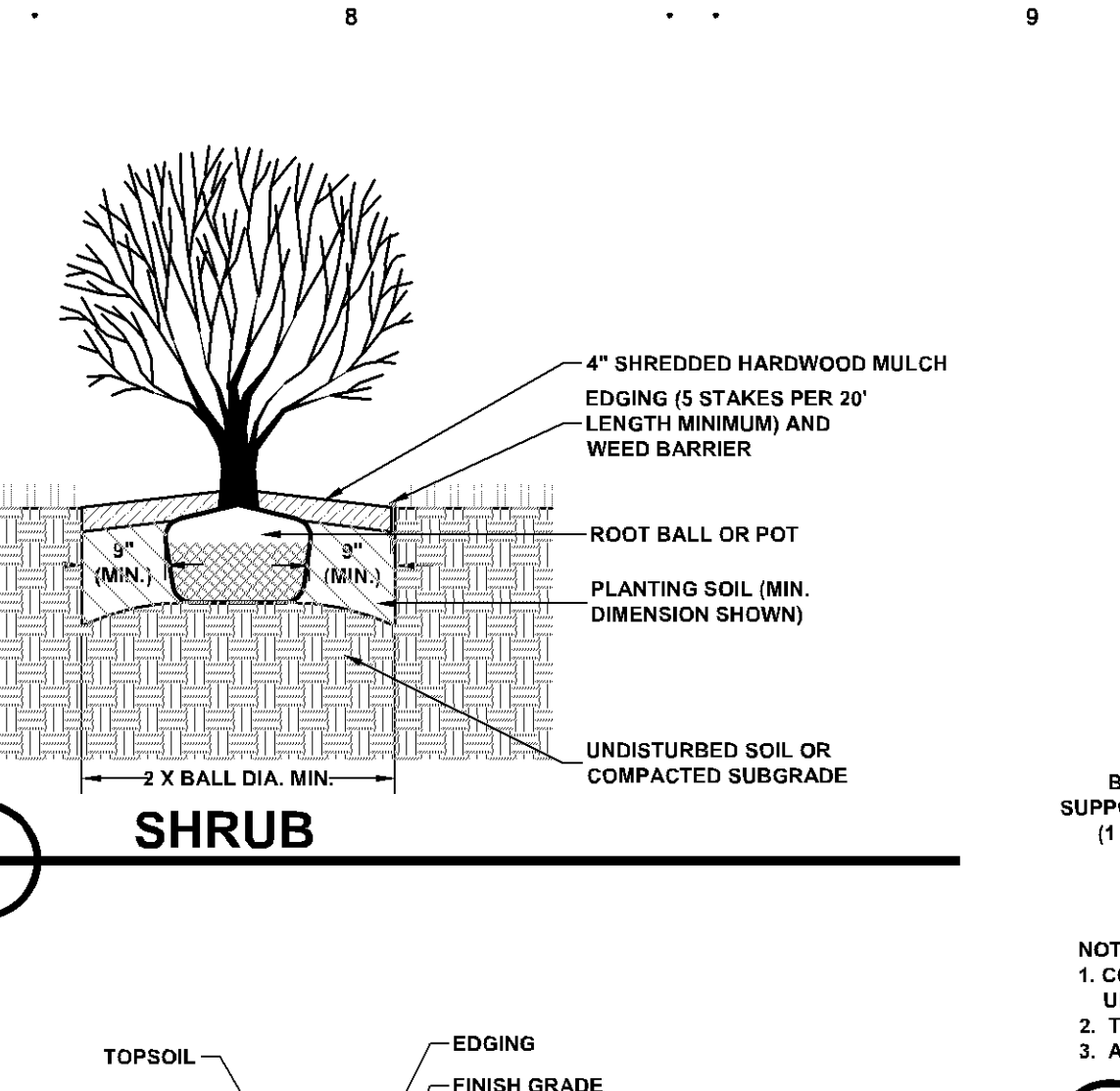
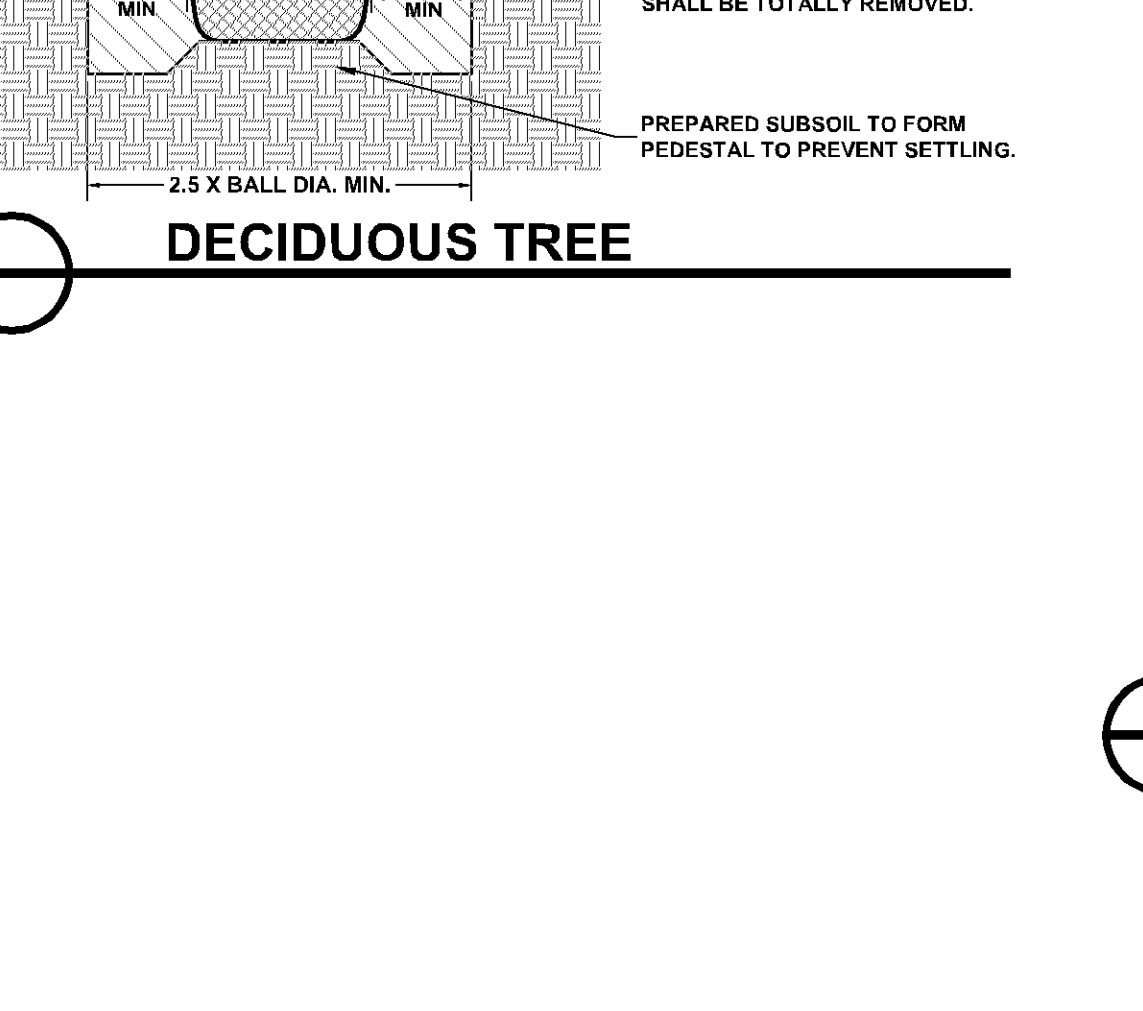
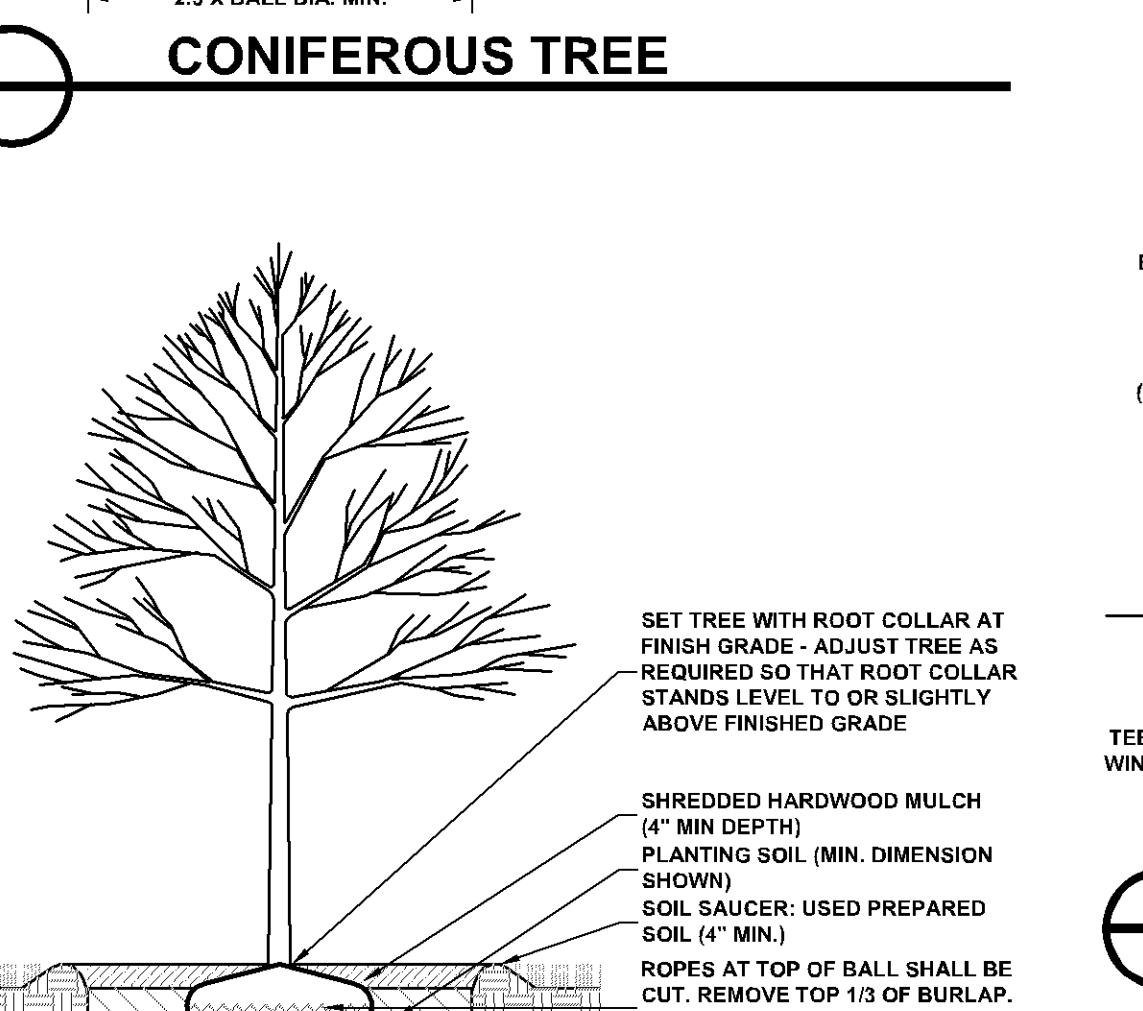
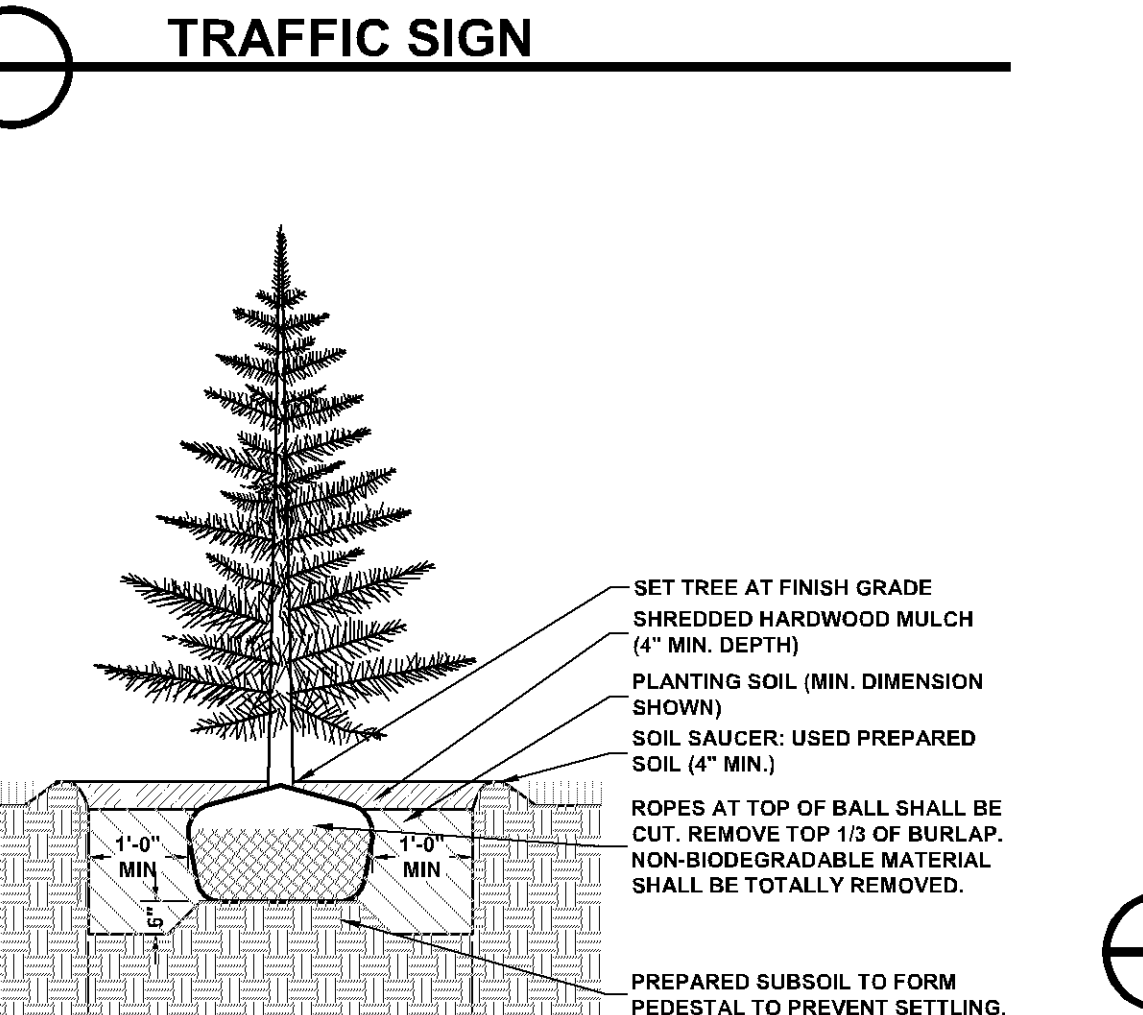
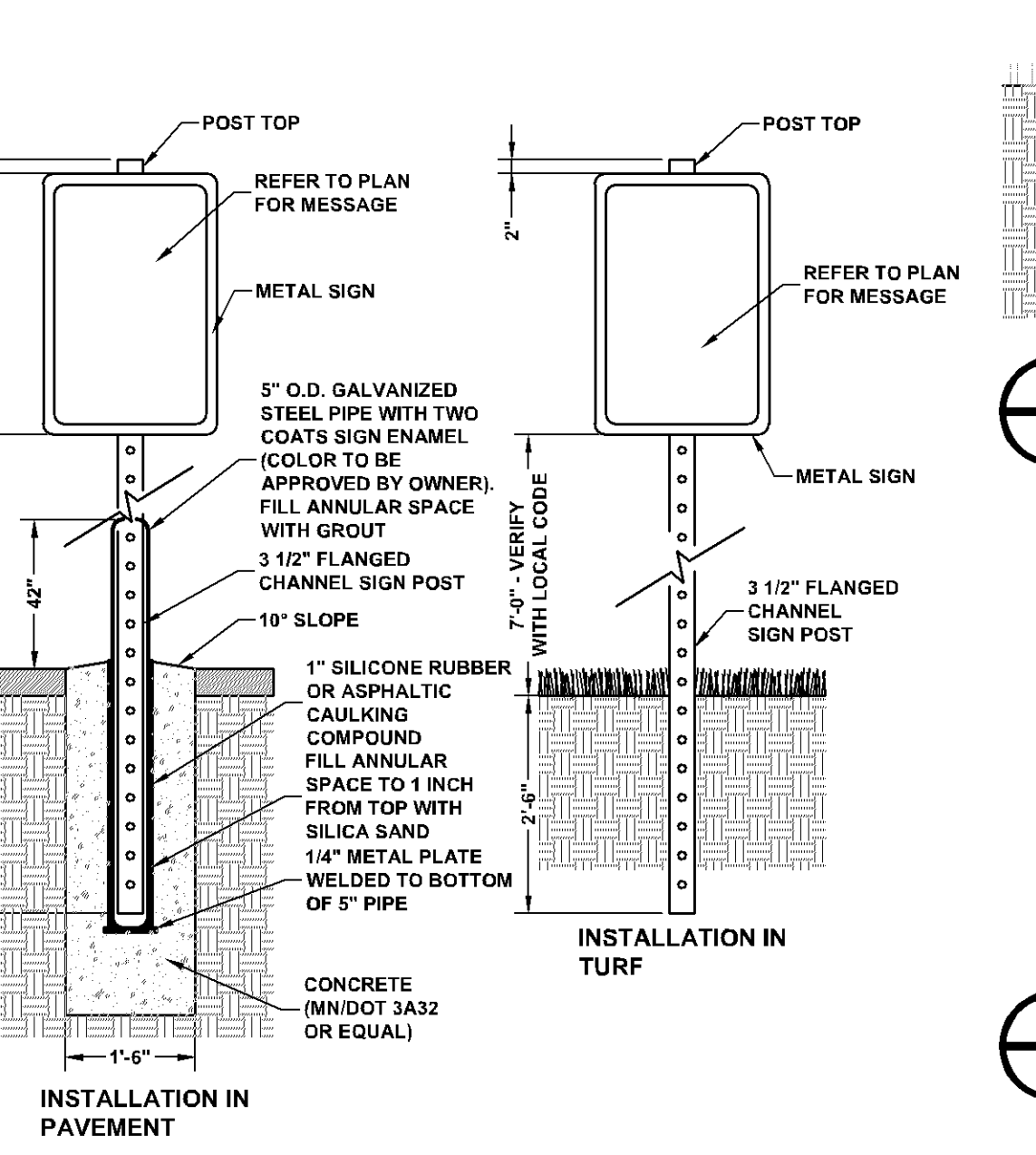
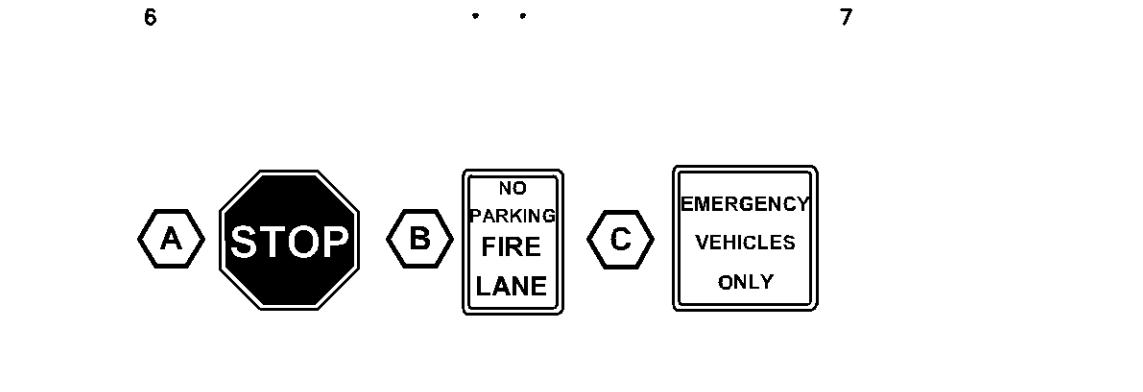
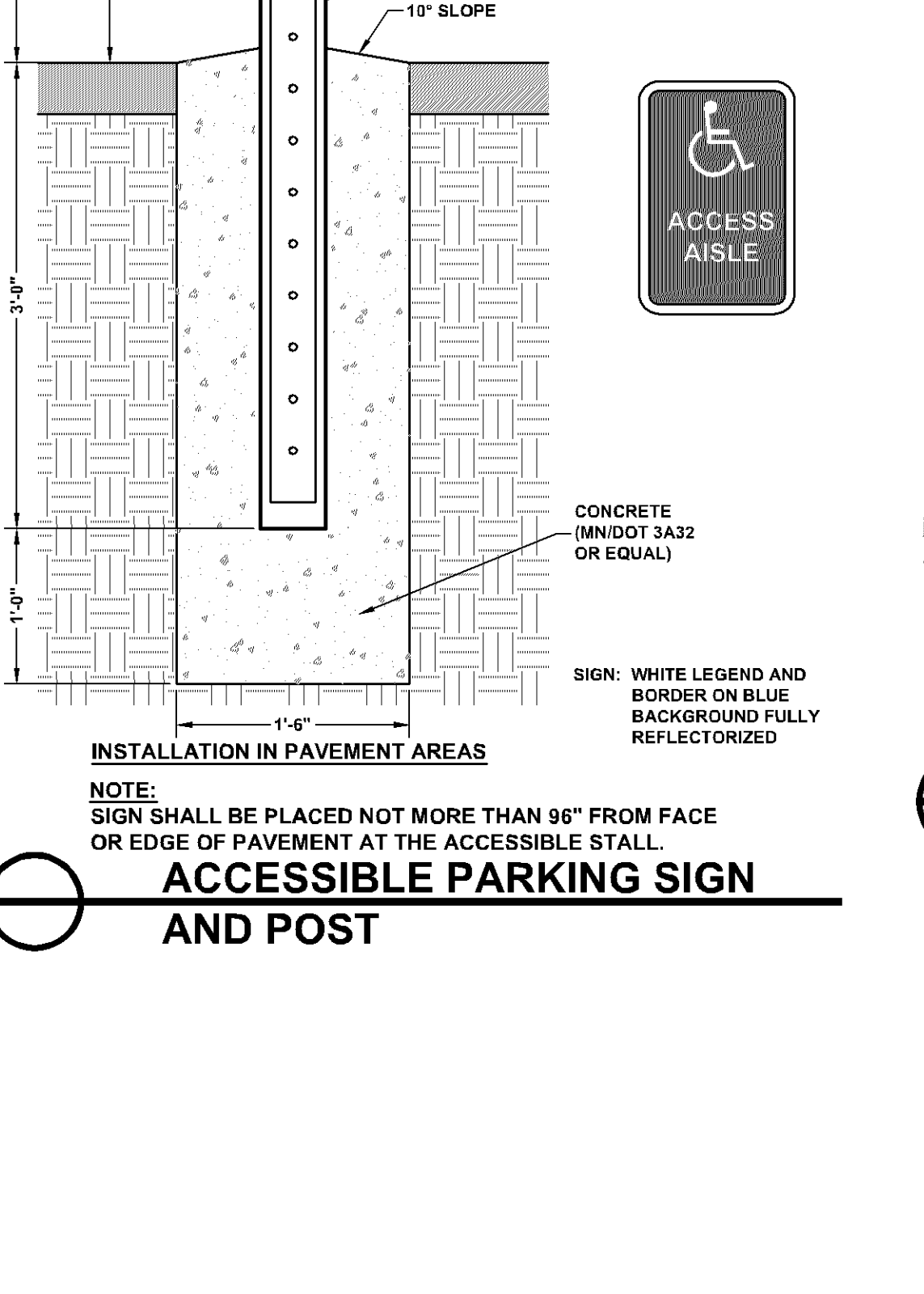
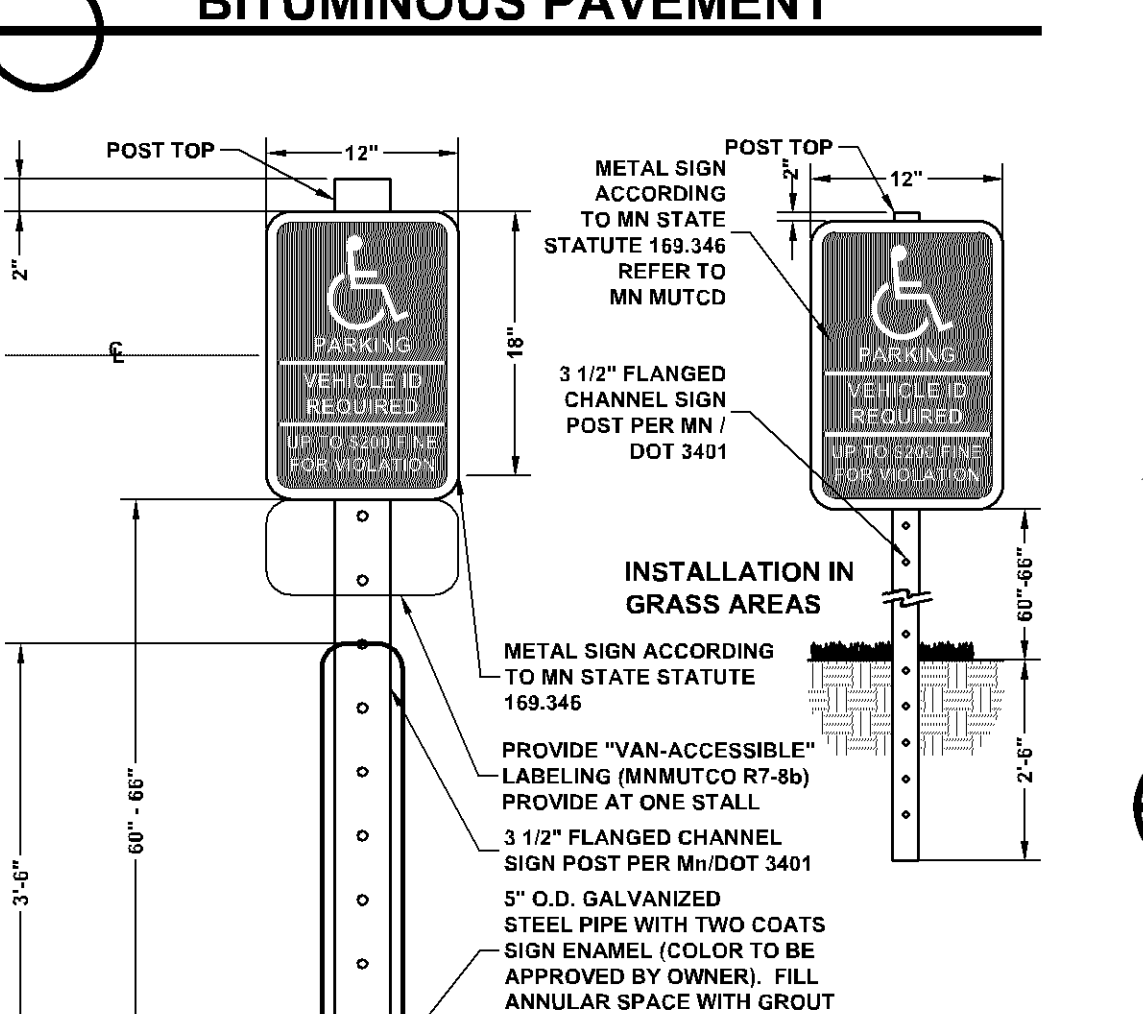
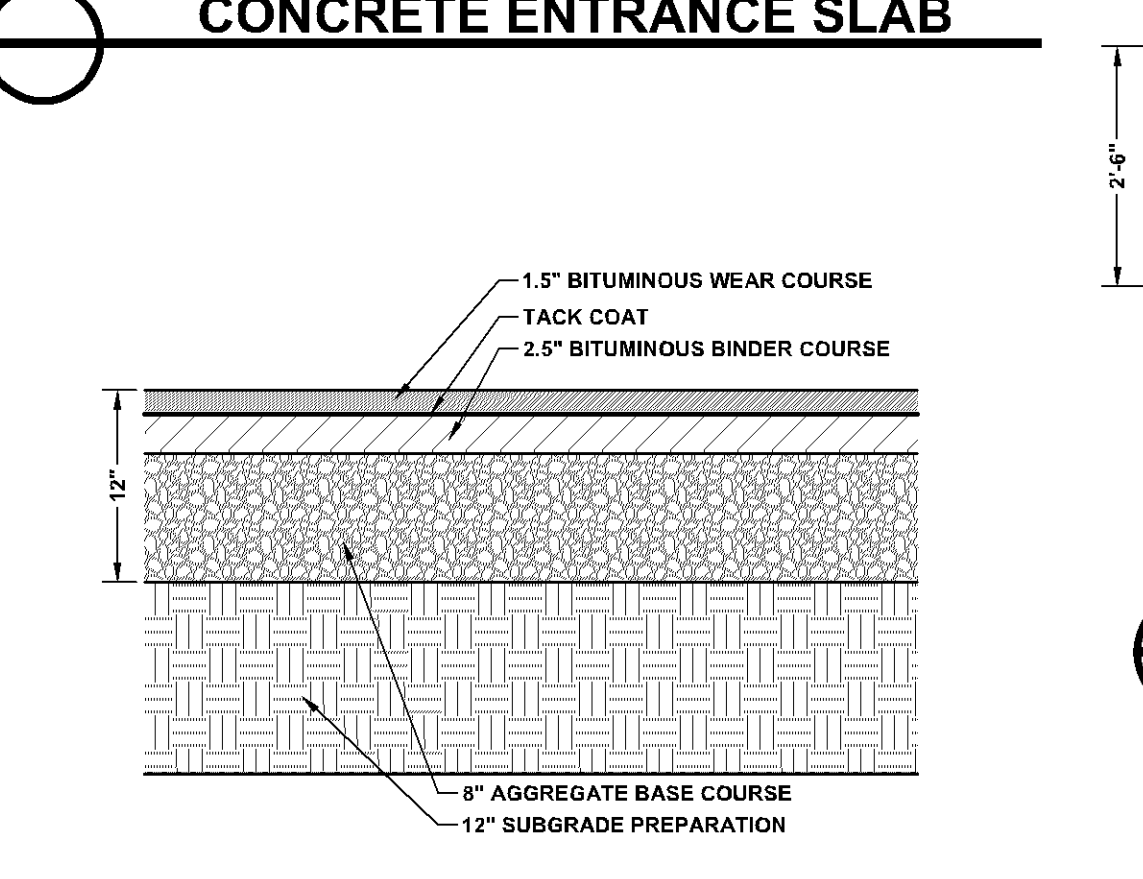
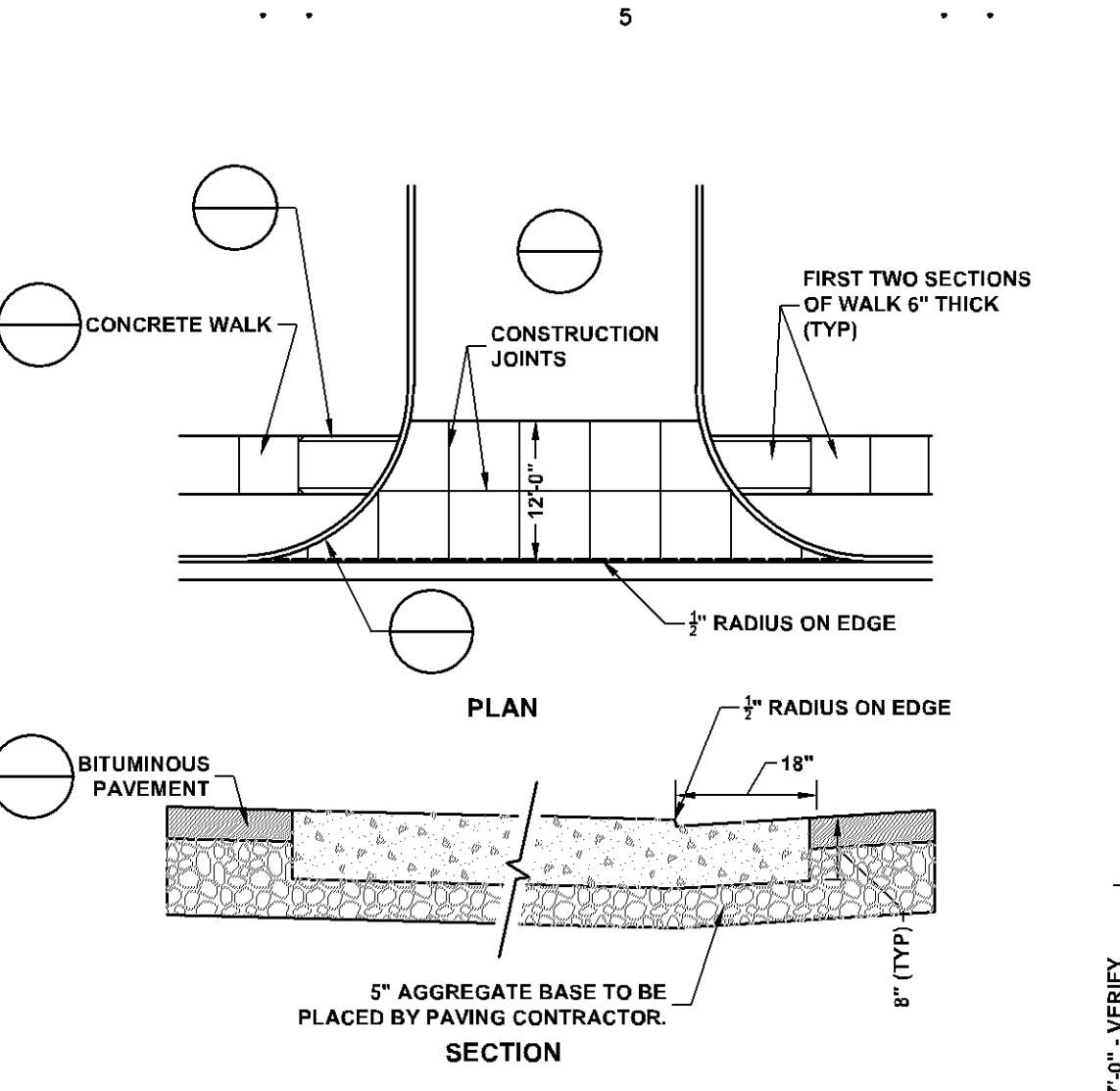
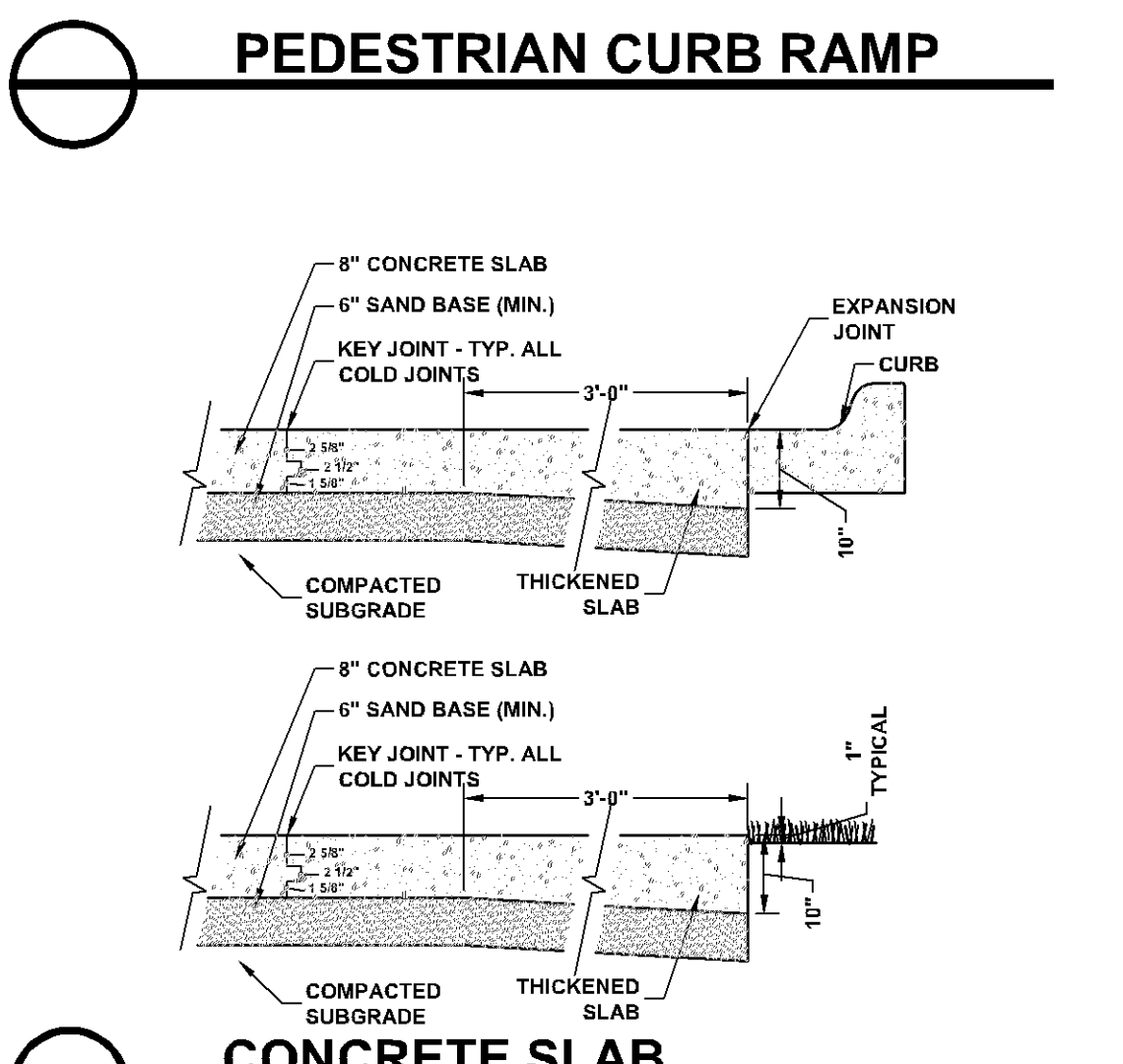
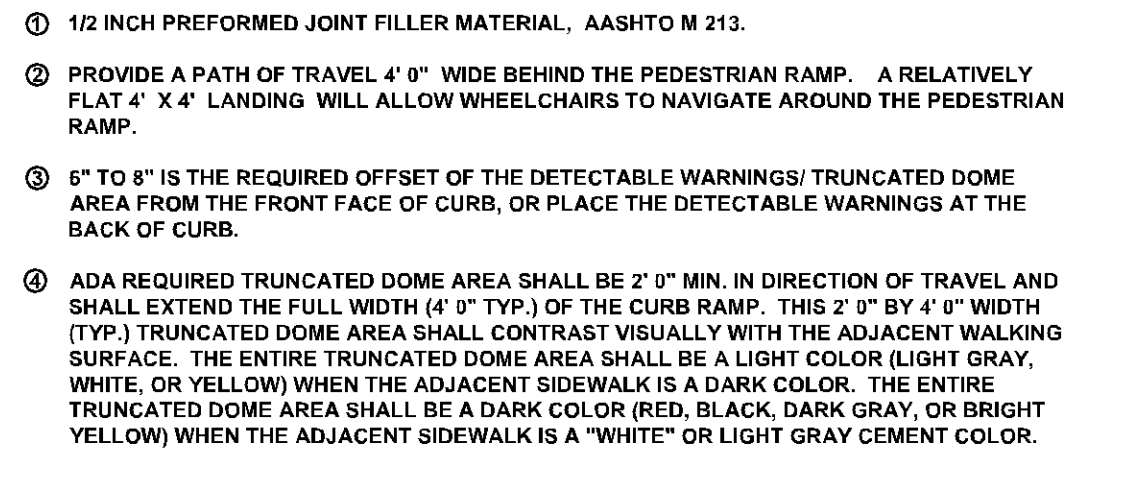
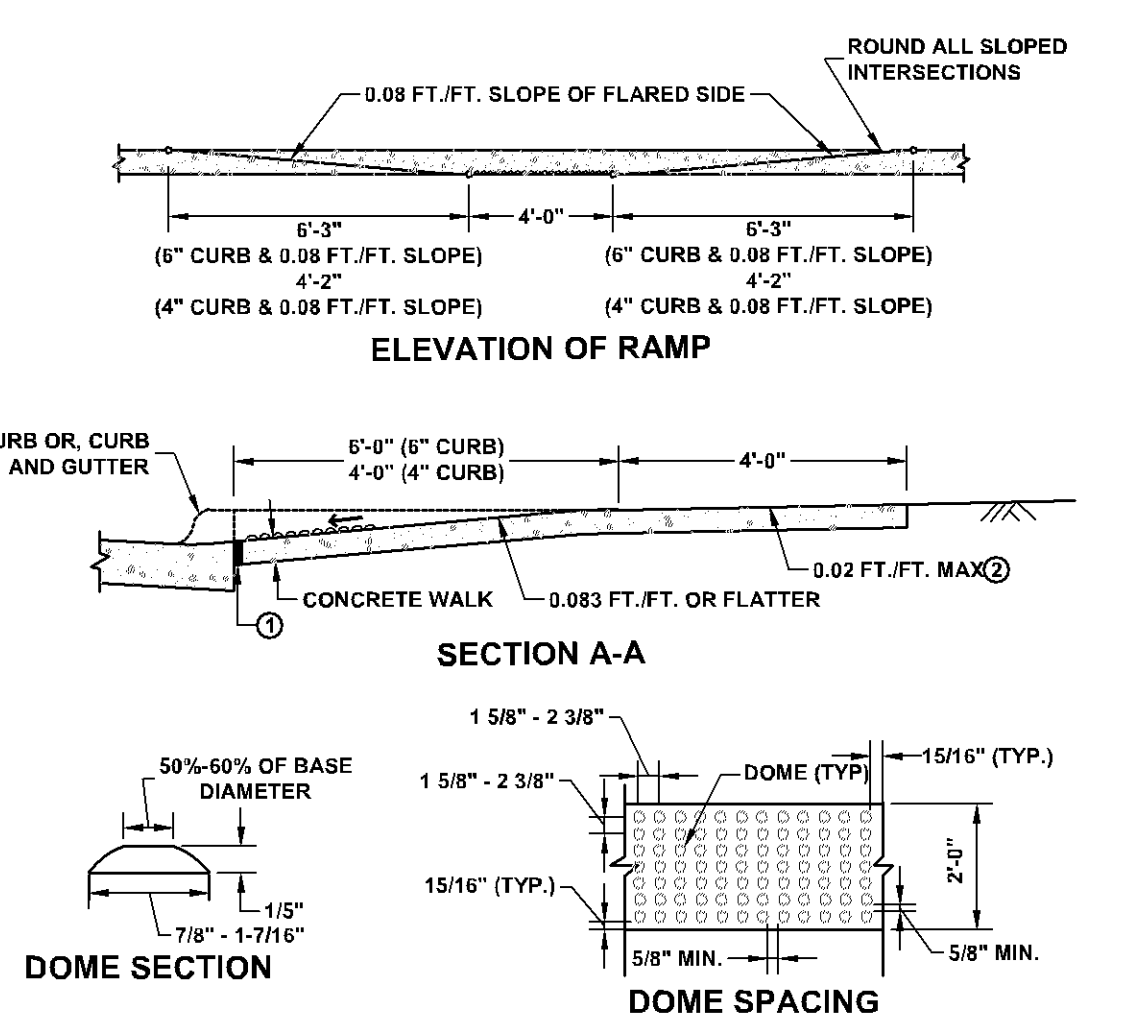
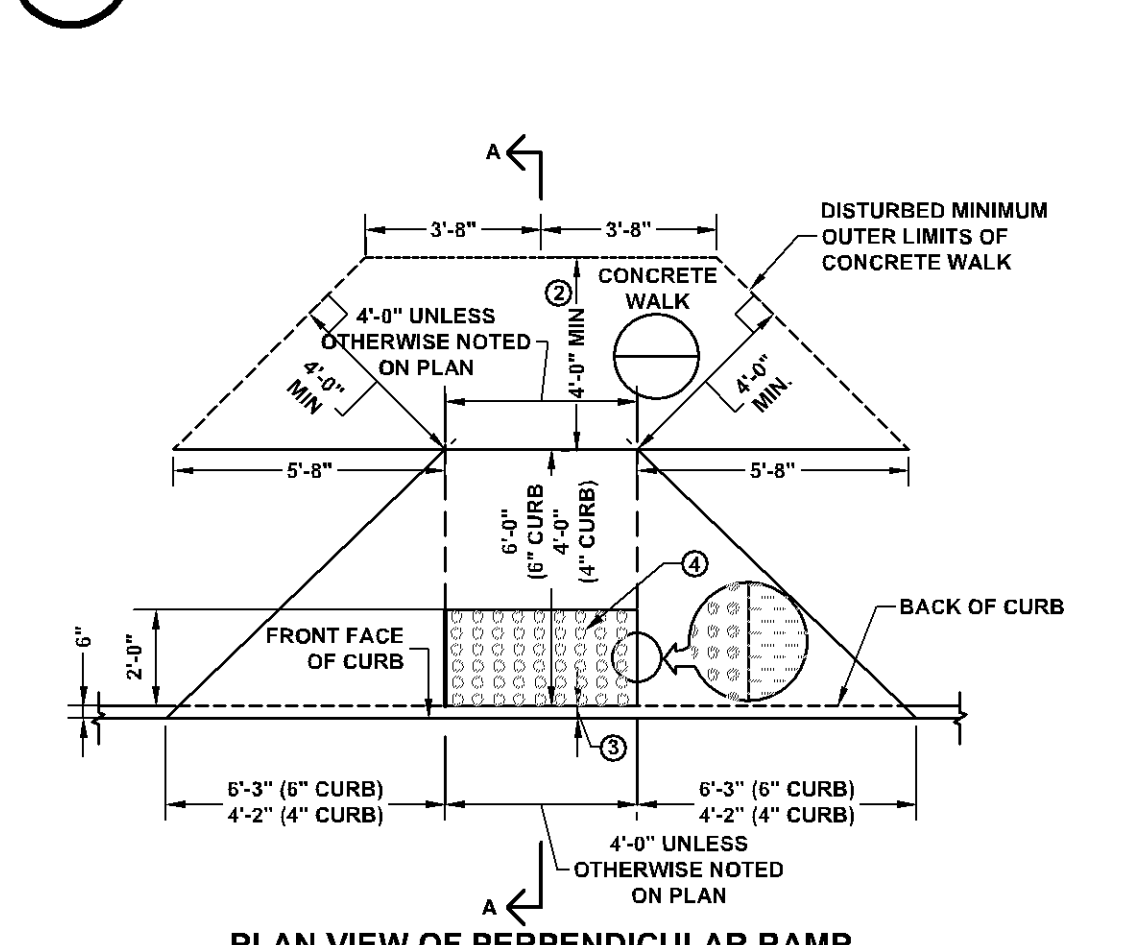
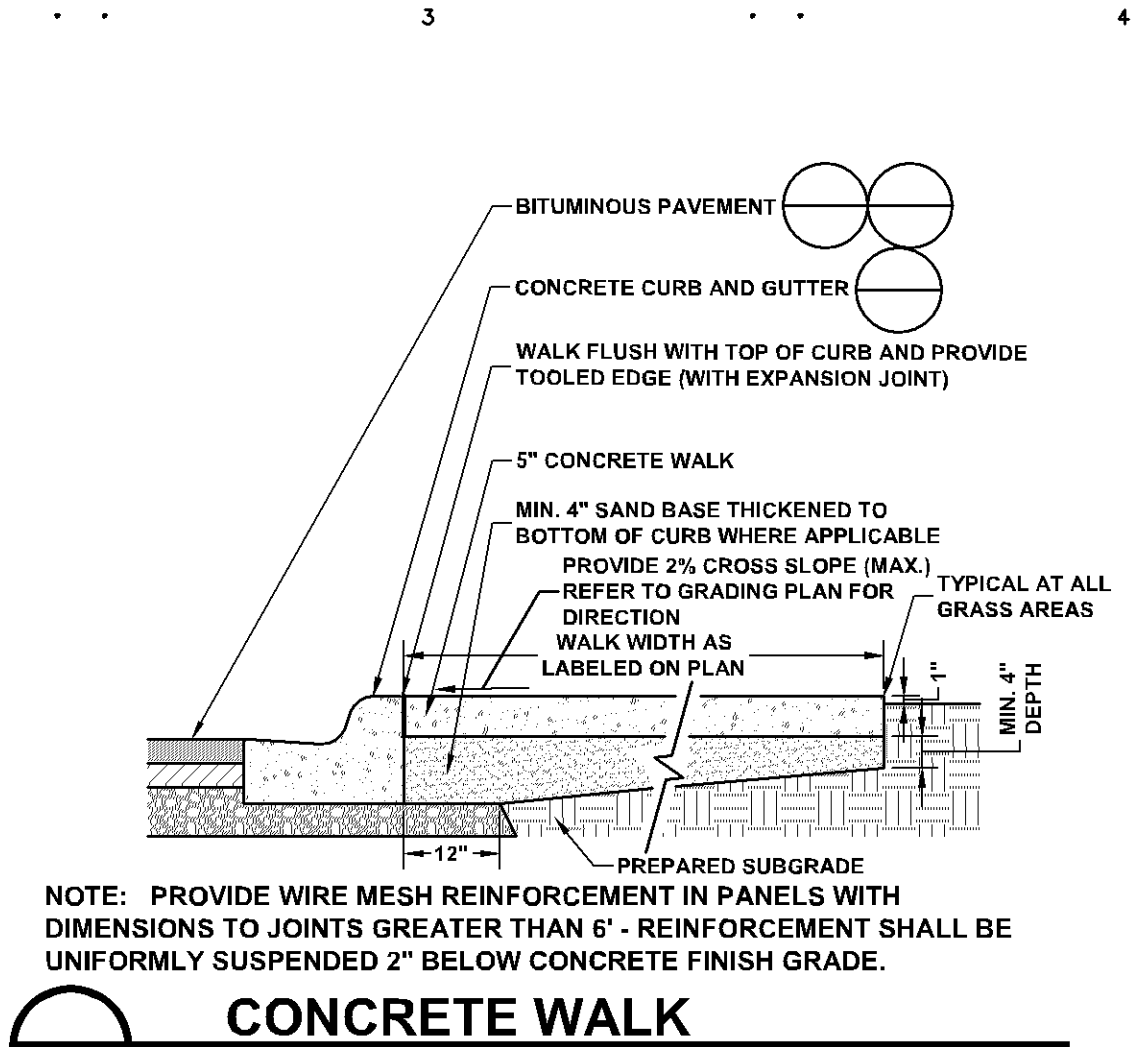
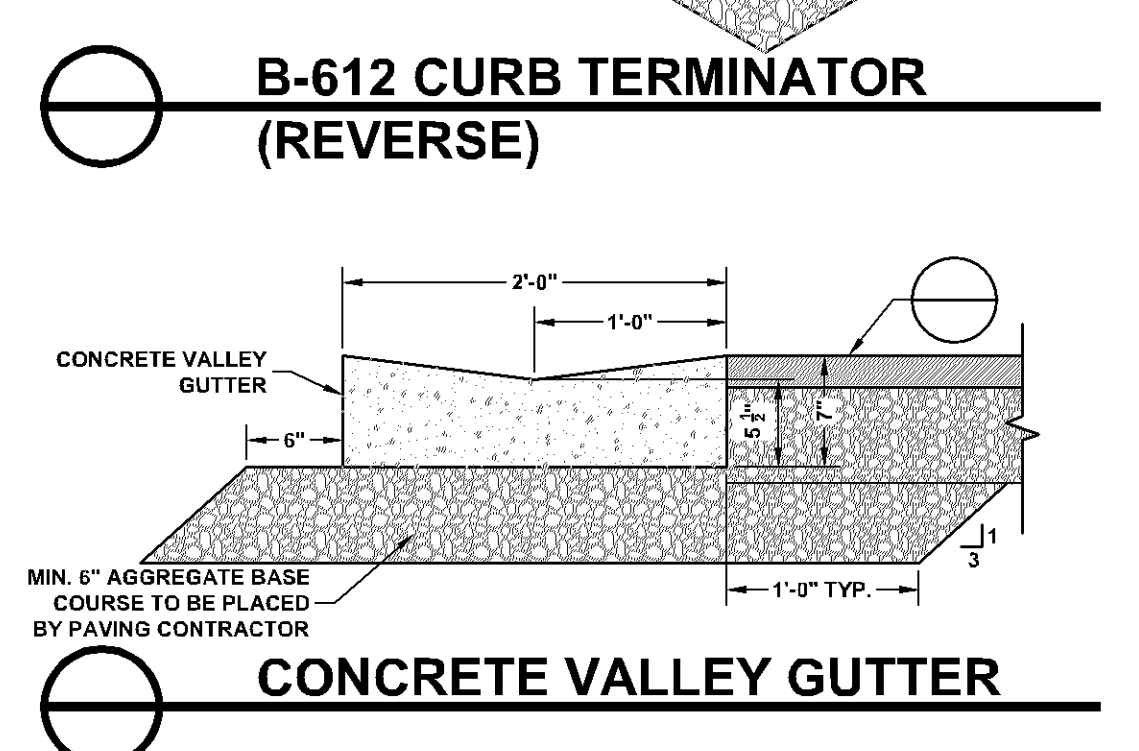
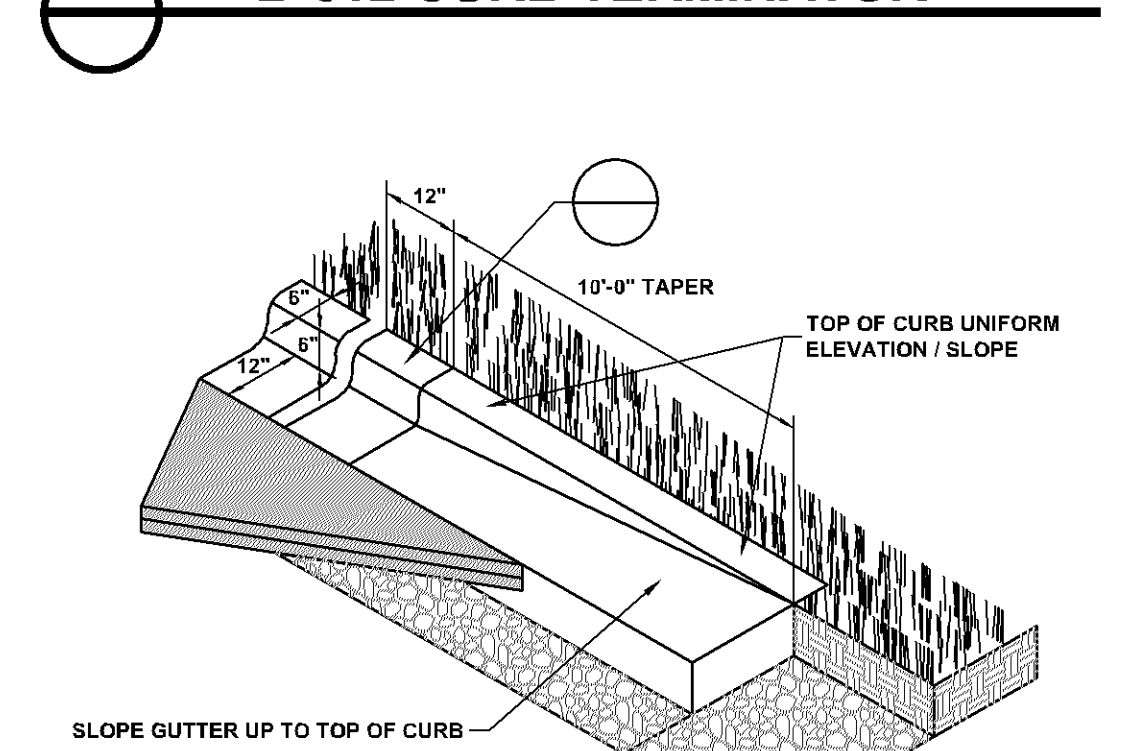
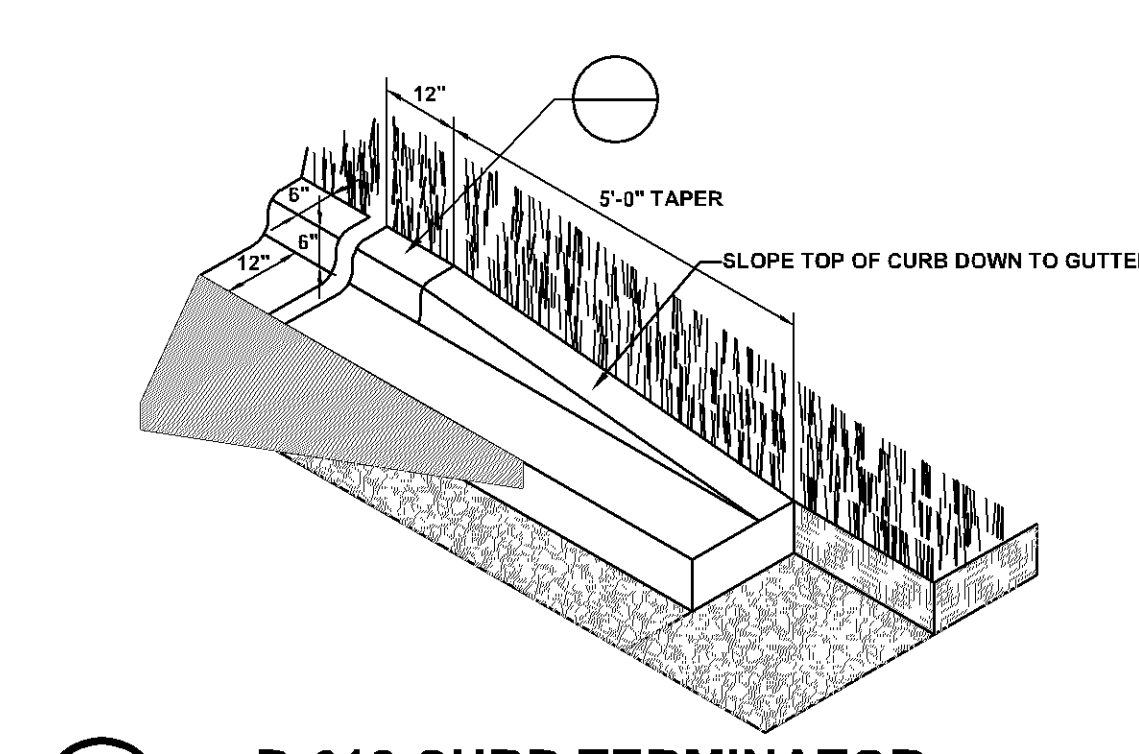
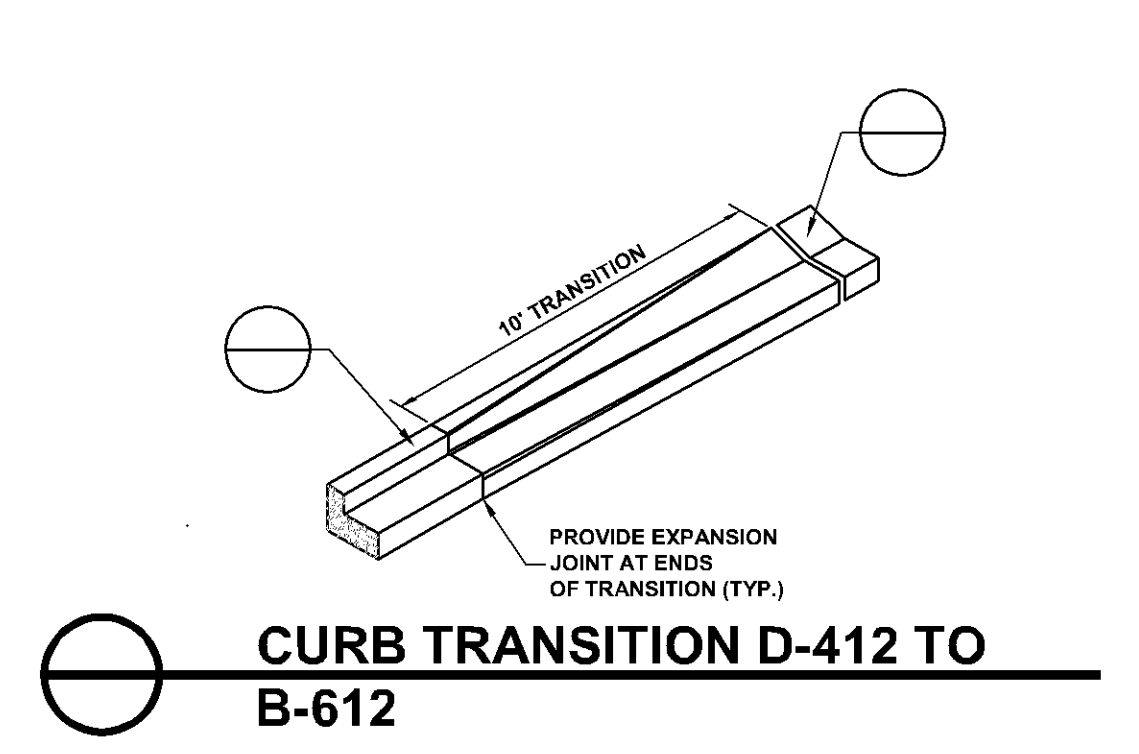
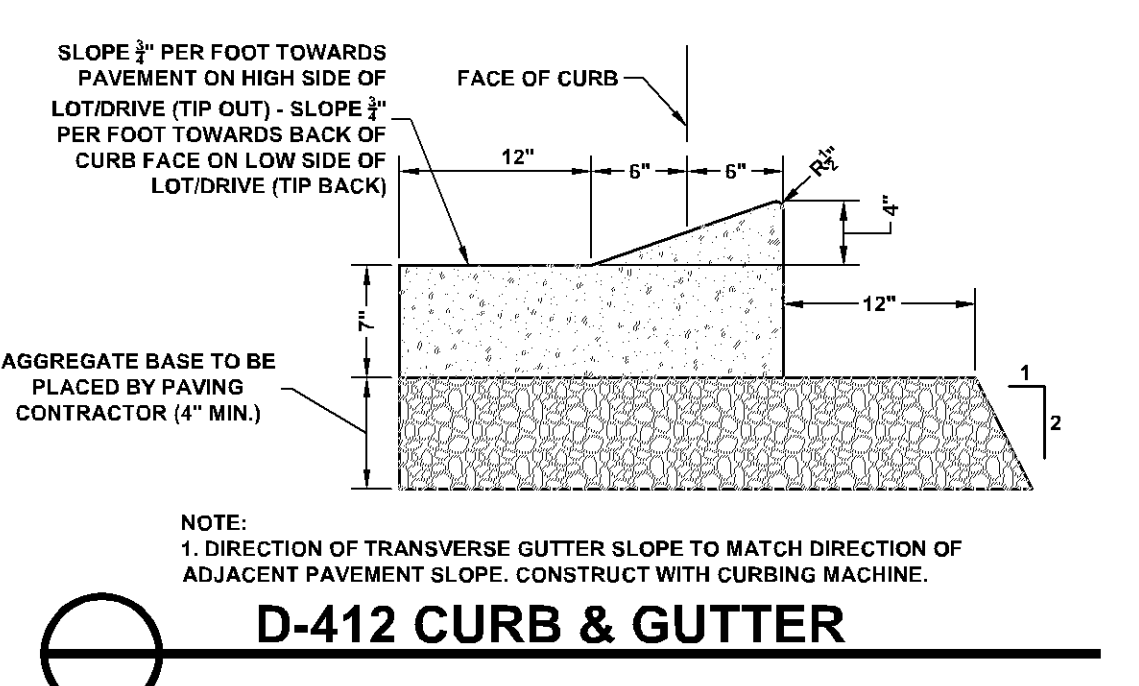
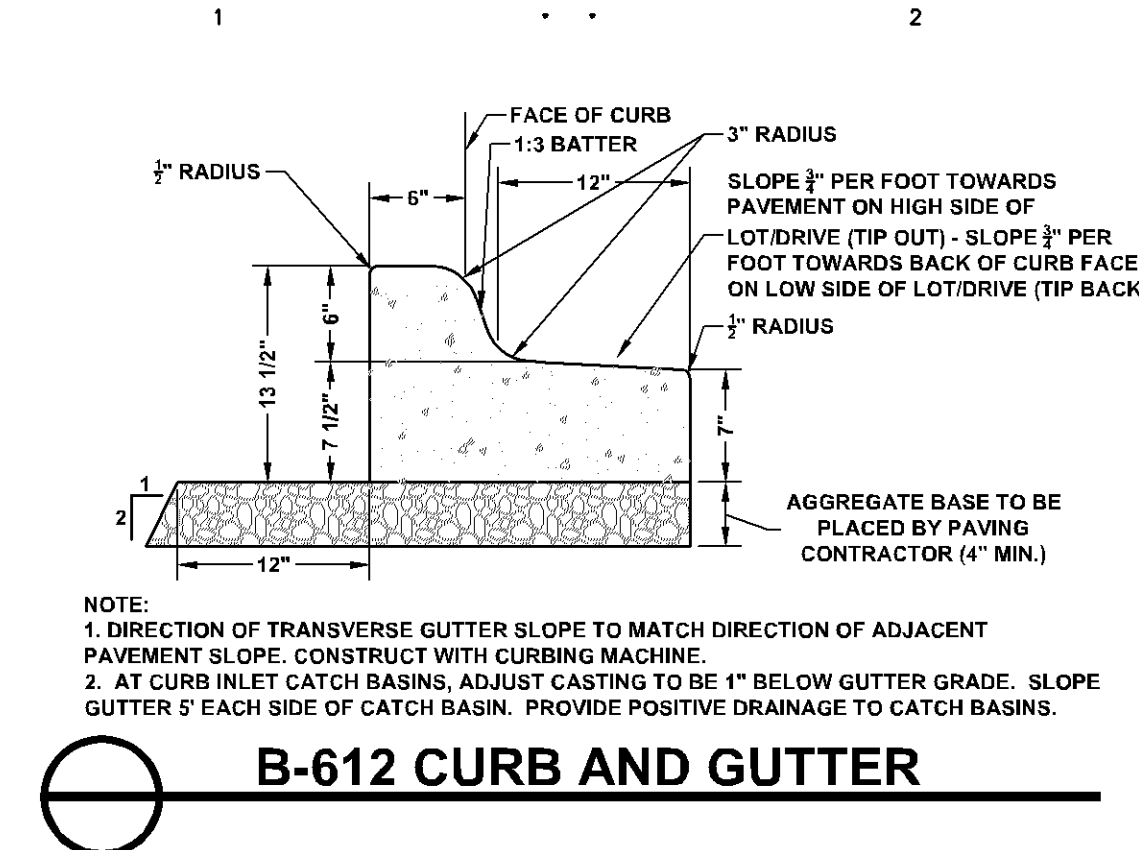
**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

Facility Name (No.) & Address  
BLOOMINGTON CIVIC PLAZA  
1800 W. OLD SHAKOPEE RD  
BLOOMINGTON, MN 55431

**SITE DETAILS**

DATE	BY	FOR
162150	MLB	DAR

Drawing No.: **DD C2.12**  
Date: 03/17/17

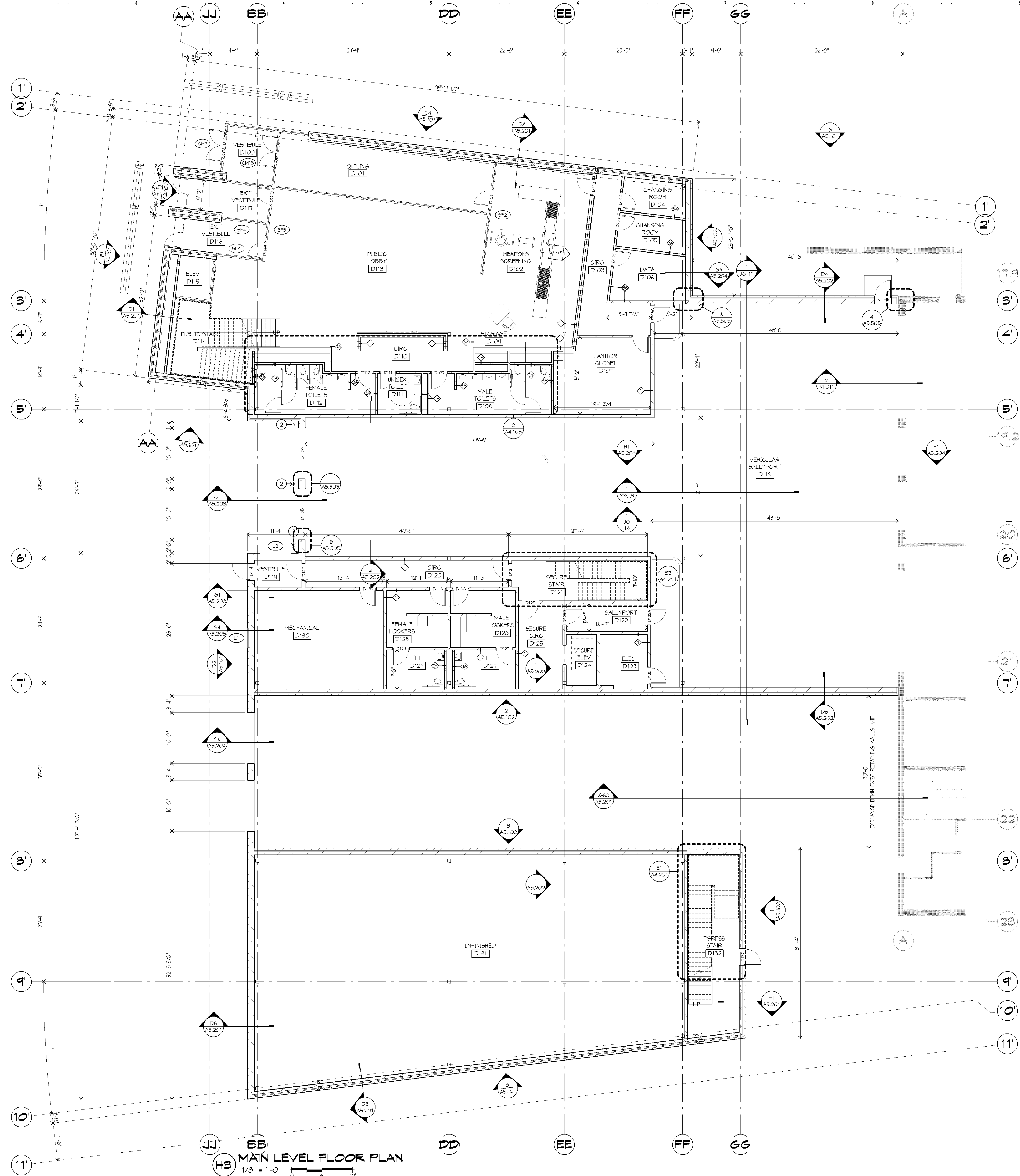


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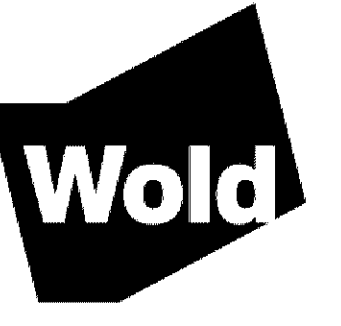
A



**BB**  
**HB** MAIN LEVEL FLOOR PLAN  
 1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- REFER TO DETAILS OF CONSTRUCTION FOR:  
 A. ABBREVIATIONS, MATERIAL SYMBOLS  
 B. MOUNTING HEIGHTS  
 C. LINTEL SCHEDULE  
 D. MATERIAL FINISH/COLOR SCHEDULE  
 E. WALL TYPES  
 F. MARKER BO TYPES AND MOUNTING HTS  
 THE ABOVE SECTIONS ARE LISTED FOR REFERENCE ONLY, AND ARE NOT EXCLUSIVE TO AREAS OF WORK. ALL DETAILS SHALL BE REVIEWED FOR SCOPE OF WORK.
  - ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESSES.
  - ALL GYP WALLS ARE TO BE 5 INCHES THICK UNLESS OTHERWISE NOTED.
  - ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
  - COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEC. PROVIDE ALL REQUIRED LITELS FOR OPENINGS. SEE LINTEL SCHEDULE.
  - FIELD VERIFY ALL MILLWORK OPENINGS. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE, MIN. 1/4" PER FOOT.
  - VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT PADS.
  - ALL DOOR/SIDELITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
  - ALL GYP WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
  - FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
  - HEAVY LINE THIS INDICATES BUILDING MATCH LINE

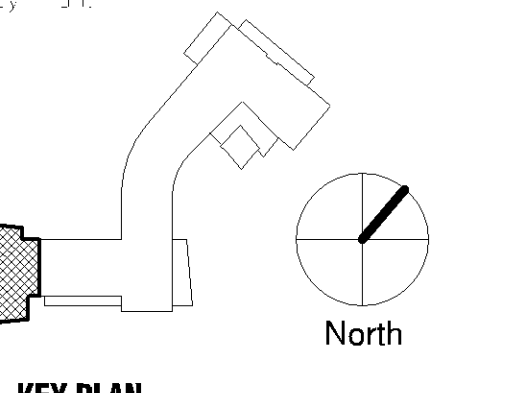
- FLOOR PLAN KEY NOTES:**
- DOOR ACTUATORS
  - BOLLARD - SEE CIVIL FOR MORE INFORMATION.
  - TUB SINK - SEE MECHANICAL.
  - CAN WASH - SEE DETAIL 43010.
  - EMERGENCY EYE WASH - SEE MECH.
  - CABINET UNIT HEATER - SEE DETAIL 43046. SEE MECH. FOR SPECIFICATIONS. COORDINATE LOCATION WITH MECH.
  - SALVAGED LOCKERS TO BE INSTALLED BY CONTRACTOR.
  - LOCATION OF SEMI-RECESSED DEBRILLATOR CABINET - SEE DETAIL B/43004
  - LOCATION OF STACKED WASHER AND DRYER (I.C.)
  - SQUARE BRICK ACCENT - SEE ELEVATIONS/SECTIONS FOR ADDITIONAL INFORMATION



**WOLD ARCHITECTS AND ENGINEERS**  
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 Saint Paul, MN 55101  
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Project No. 18-001  
 Revision No. 1  
 Date: 08/14/2018

Rev.	Description	Date
1	Issue	08/14/2018



Rev.	Description	Date
1	Issue	08/14/2018

**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

**Bloomington Civic Plaza**  
 1800 W. Old Shakopee Rd  
 Bloomington, MN 55431

**MAIN LEVEL FLOOR PLAN**

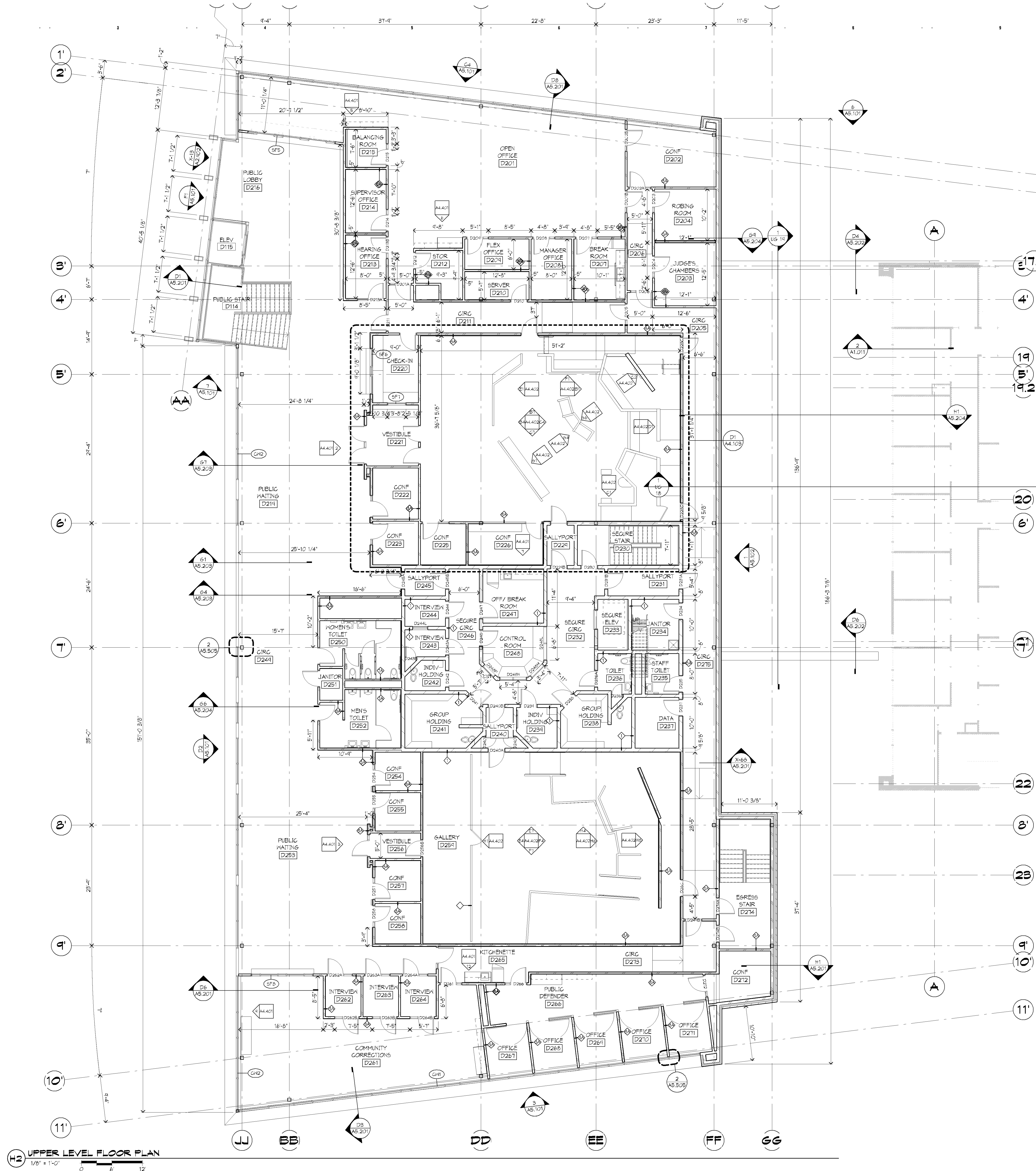
Rev.	Description	Date
1	Issue	08/14/2018

**PRE DRG SET**  
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**A2.011**

MN

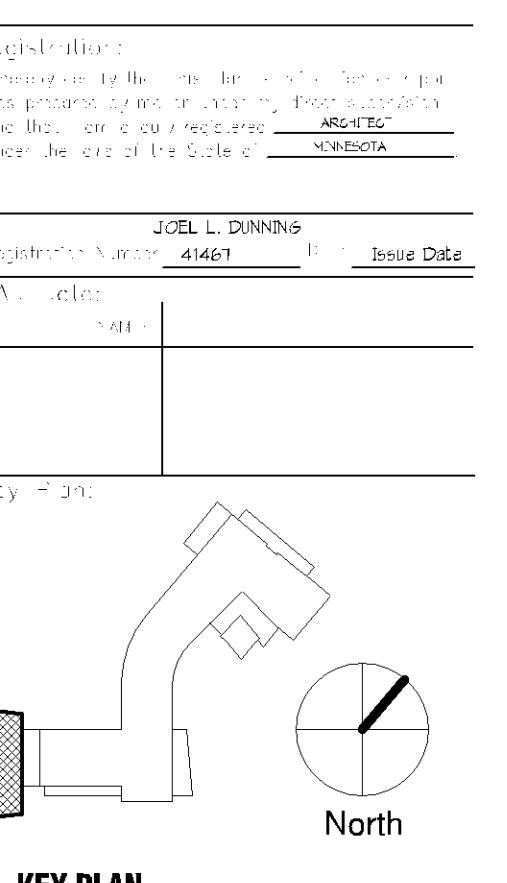
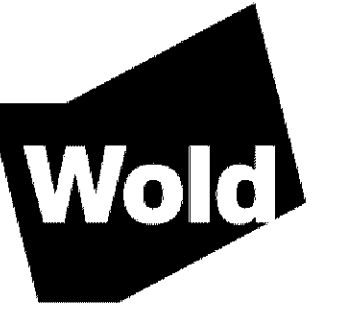
A



**H2 UPPER LEVEL FLOOR PLAN**  
 1/8" = 1'-0"  
 0 6 12

- FLOOR PLAN KEY NOTES:**
- 1 DOOR ACTUATORS
  - 2 BOLLARD. SEE CIVIL FOR MORE INFORMATION.
  - 3 TUB SINK - SEE MECHANICAL.
  - 4 CAN WASH - SEE DETAIL 43010.
  - 5 EMERGENCY EYE WASH. SEE MECH.
  - 6 CABINET UNIT HEATER. SEE DETAIL 43044. SEE MECH FOR SPECIFICATIONS, COORDINATE LOCATION WITH MECH.
  - 7 SALVAGED LOCKERS TO BE INSTALLED BY CONTRACTOR.
  - 8 LOCATION OF SEMI-RECESSED DEBRILLATOR CABINET - SEE DETAIL 5143004.
  - 9 LOCATION OF STACKED WASHER AND DRYER (N.I.C.)
  - 10 SQUARE BRICK ACCENT - SEE ELEVATIONS/ SECTIONS FOR ADDITIONAL INFORMATION

- FLOOR PLAN GENERAL NOTES:**
1. REFER TO DETAILS OF CONSTRUCTION FOR:
    - A. ABBREVIATIONS, MATERIAL SYMBOLS,
    - B. MOUNTING HEIGHTS
    - C. LINTEL SCHEDULE
    - D. MATERIAL FINISH/COLOR SCHEDULE
    - E. WALL TYPES
    - F. MARKER BD TYPES AND MOUNTING HTS
 THE ABOVE SECTIONS ARE LISTED FOR REFERENCE ONLY, AND ARE NOT EXCLUSIVE TO AREAS OF WORK. ALL DETAILS SHALL BE REVIEWED FOR SCOPE OF WORK.
  2. ALL PLAN DIMENSIONS ARE NOMINAL TO FACE OF WALL. WALL THICKNESSES ARE SHOWN NOMINAL. SEE WALL TYPES FOR ACTUAL THICKNESS.
  3. ALL GYP. WALLS ARE TO BE 5 INCHES THICK UNLESS OTHERWISE NOTED.
  4. ALL CONCRETE BLOCK WALLS ARE TO BE 8 INCHES THICK UNLESS OTHERWISE NOTED.
  5. COORDINATE SIZE AND LOCATION OF ALL DUCT AND SHAFT OPENINGS IN WALLS AND FLOORS W/ MECH. AND ELEG. PROVIDE ALL REQUIRED LINTELS FOR OPENINGS. SEE LINTEL SCHEDULE.
  6. FIELD VERIFY ALL MILLWORK OPENINGS.
  7. SET FLOOR DRAINS 3/4" BELOW FINISHED CONCRETE FLOORS UNLESS OTHERWISE NOTED. PROVIDE CONSISTENT SLOPE FROM WALL TO DRAIN BY SLOPING CONCRETE MIN. 1/4" PER FOOT.
  8. VERIFY LOCATION, SIZE AND QUANTITY OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT FRAMES.
  9. ALL DOOR/SIDE/LITE OPENINGS TO BEGIN 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
  10. ALL GYP. WALLS ARE CENTERED ON GRID UNLESS OTHERWISE NOTED.
  11. FIRE RATED WALLS ARE INDICATED ON CODE PLANS.
  12. HEAVY LINE THIS
- INDICATES BUILDING MATCH LINE



NO.	DESCRIPTION	DATE

**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

**Bloomington Civic Plaza**  
 1800 W. Old Shakopee Rd  
 Bloomington, MN 55431

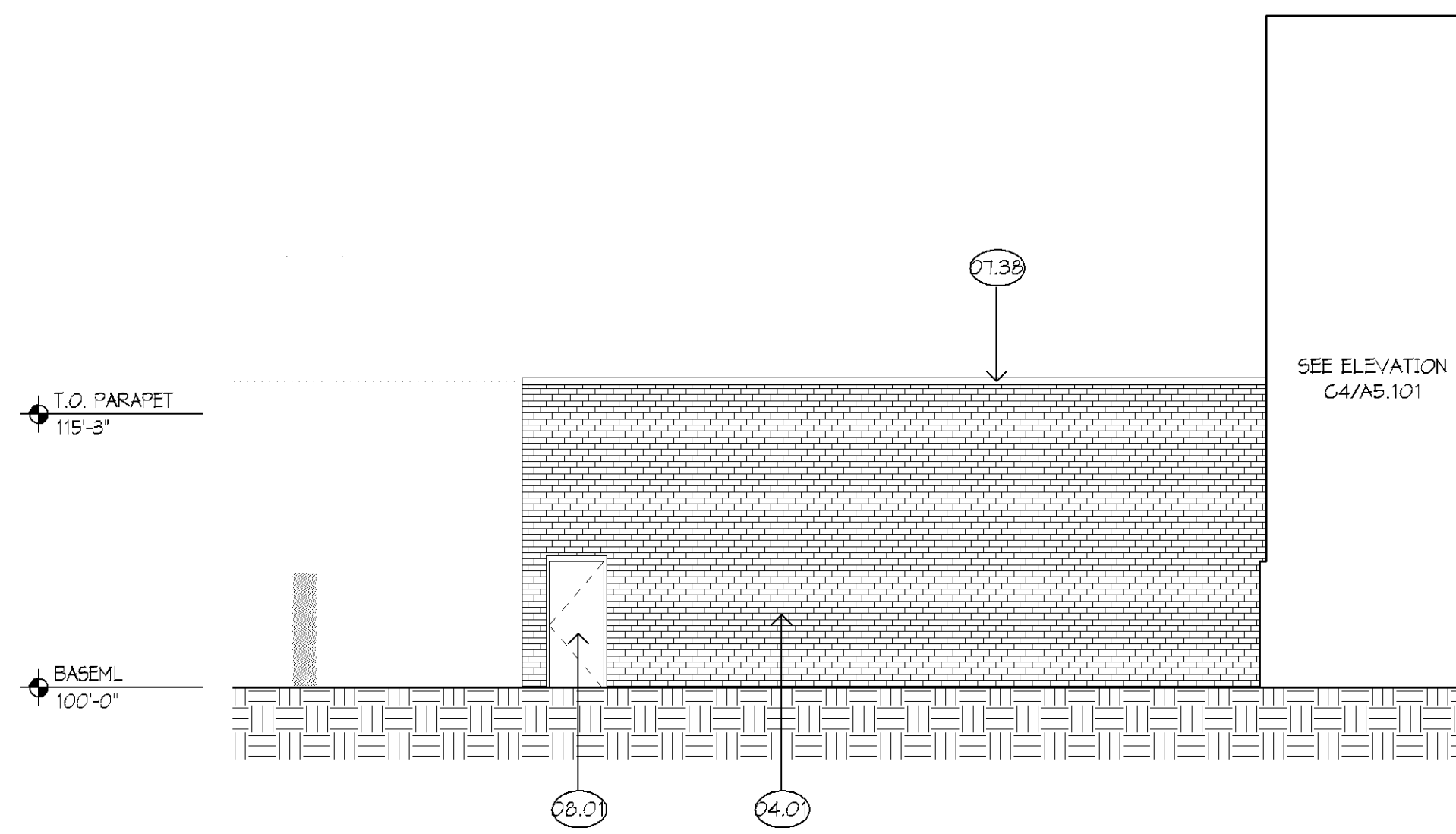
**UPPER LEVEL FLOOR PLAN**

NO.	DESCRIPTION	DATE

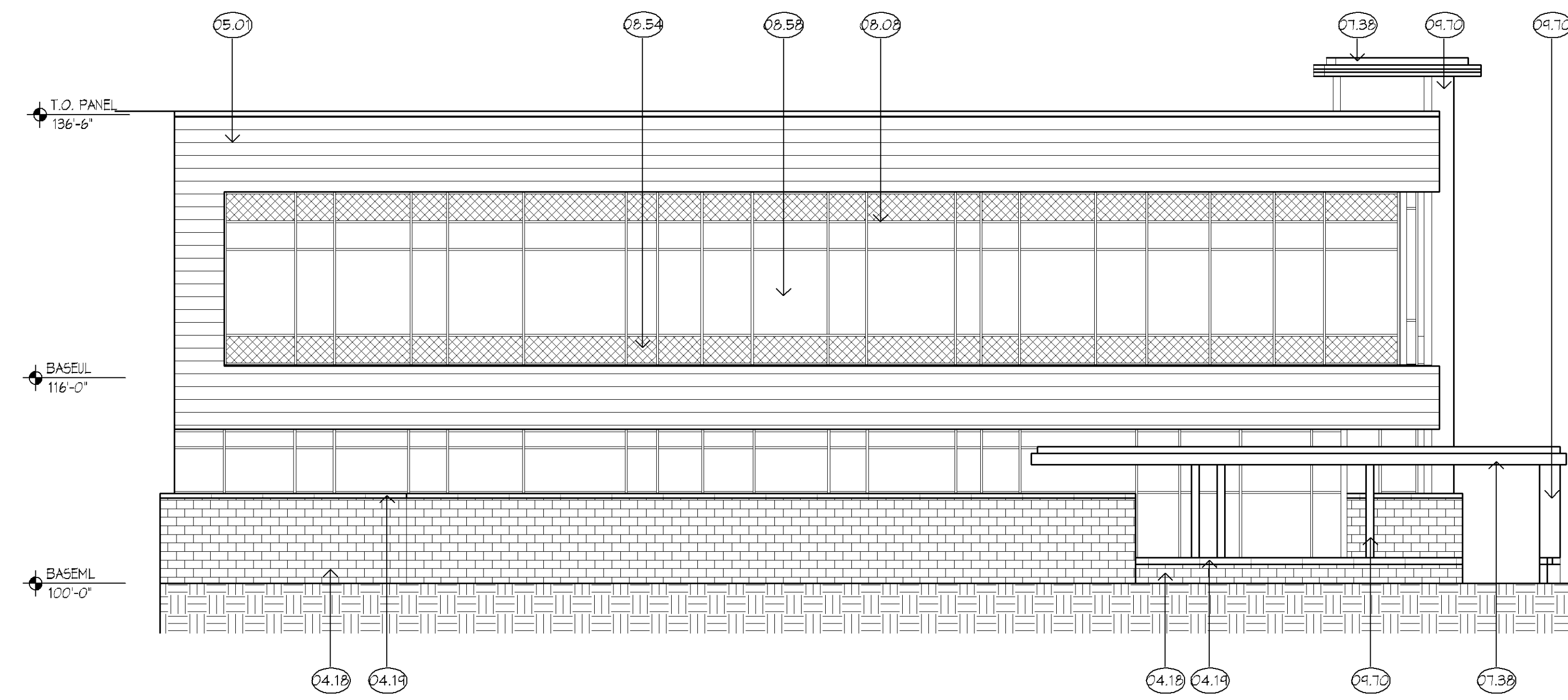
**PRE DRG SET**  
**NOT FOR CONSTRUCTION**

**A2.021**

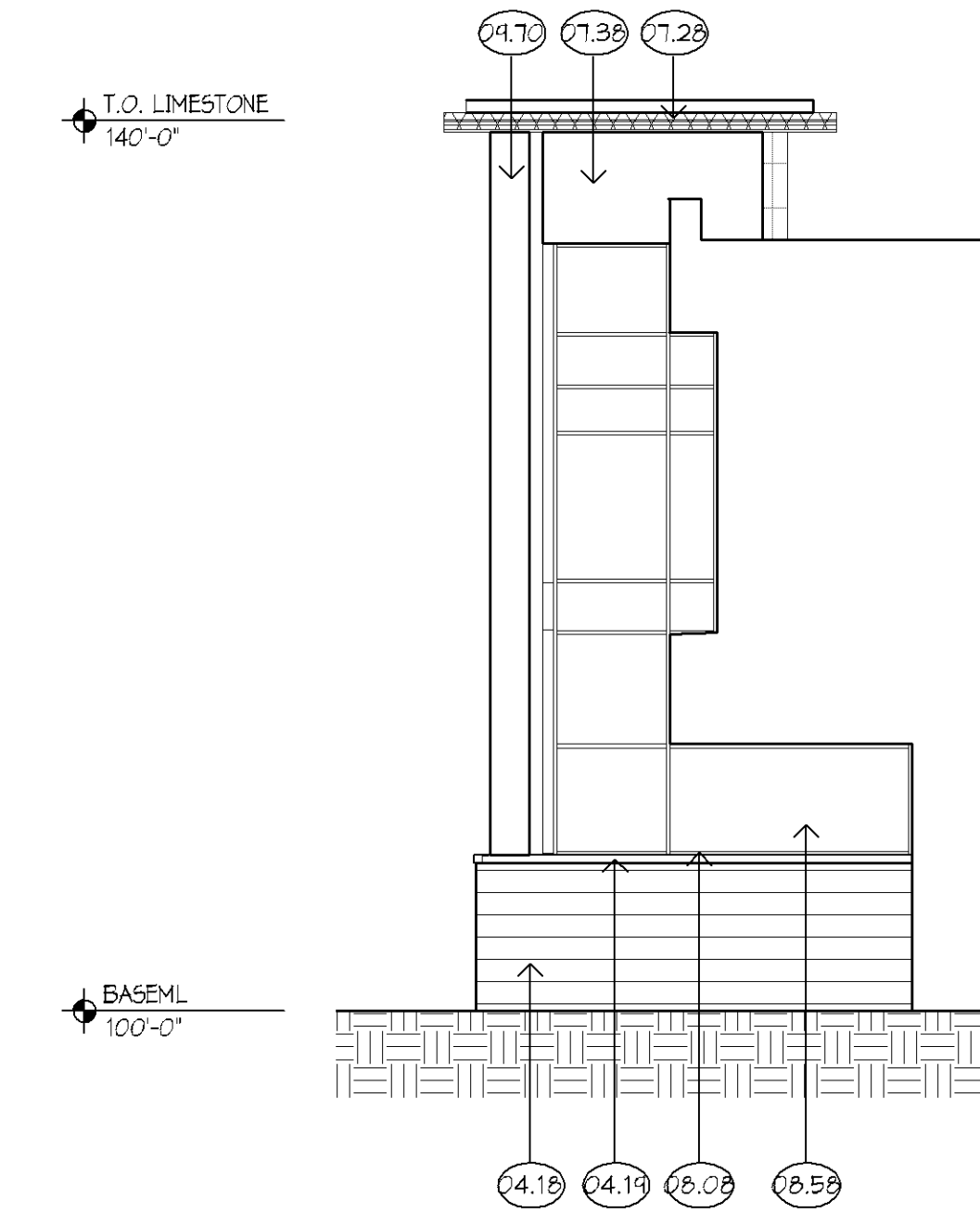
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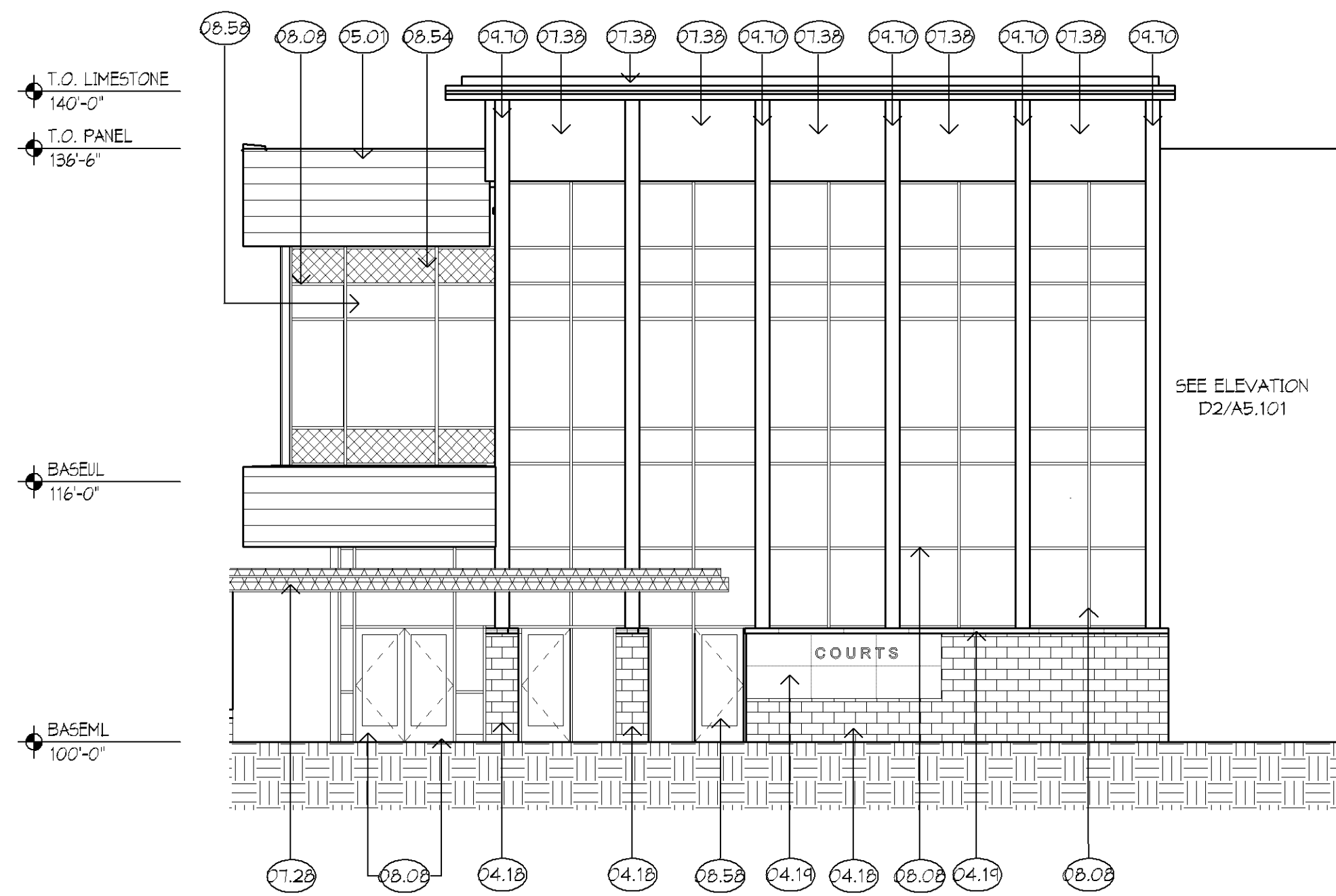
**6 NORTH ELEVATION - VEHICULAR SALLYPORT CONNECTION**  
1/8" = 1'-0"  
0 6 12



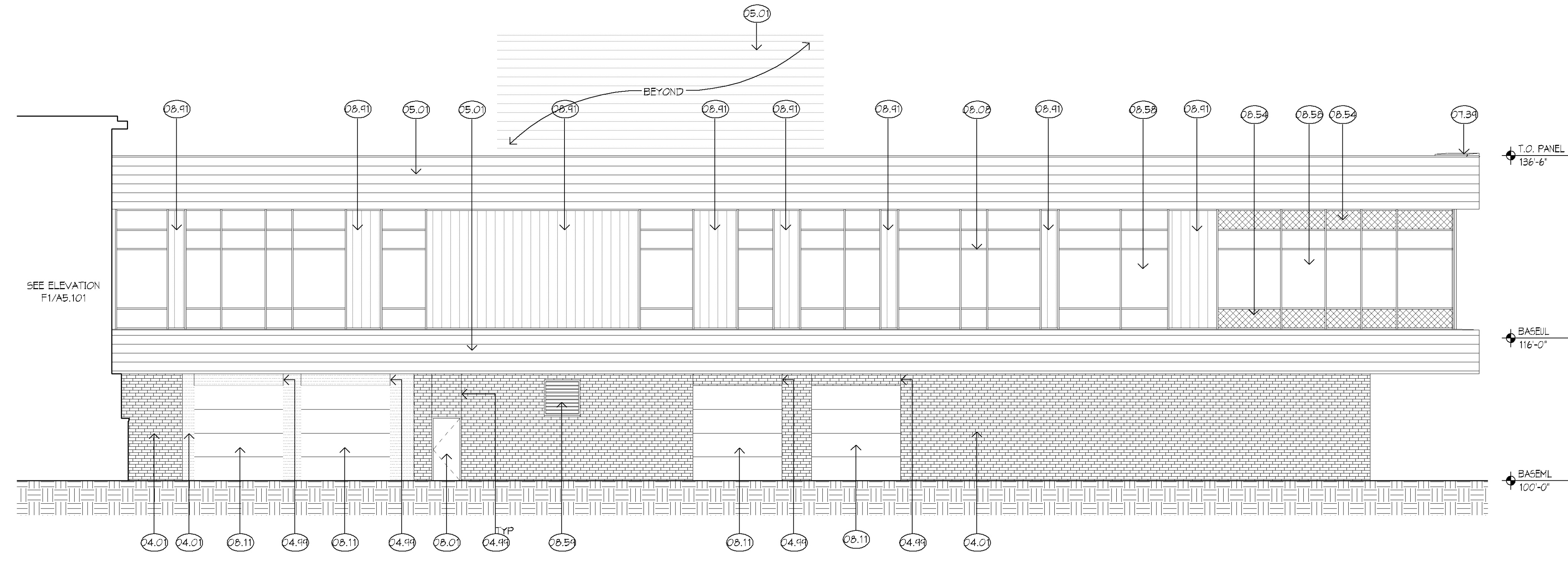
**C4 NORTH ELEVATION - MAIN ENTRANCE AND QUEUING**  
1/8" = 1'-0"  
0 6 12



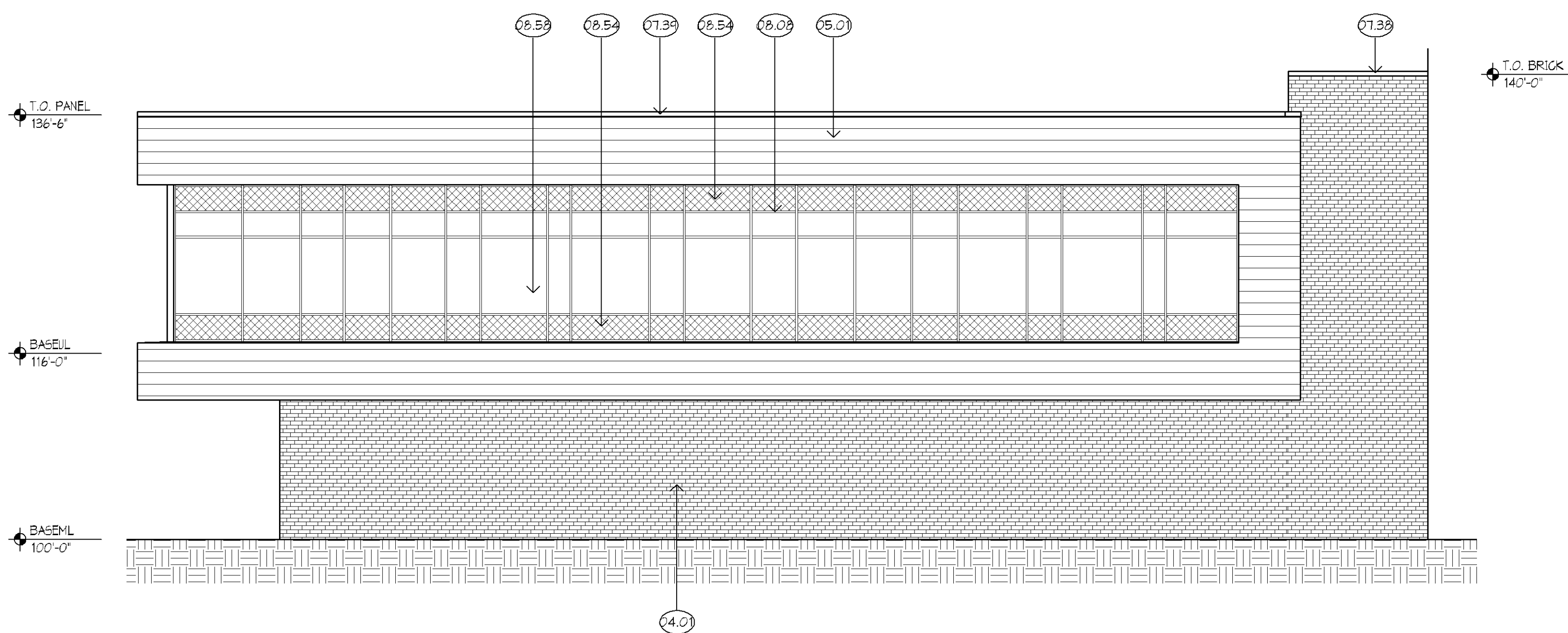
**7 SOUTH ELEVATION**  
1/8" = 1'-0"  
0 6 12



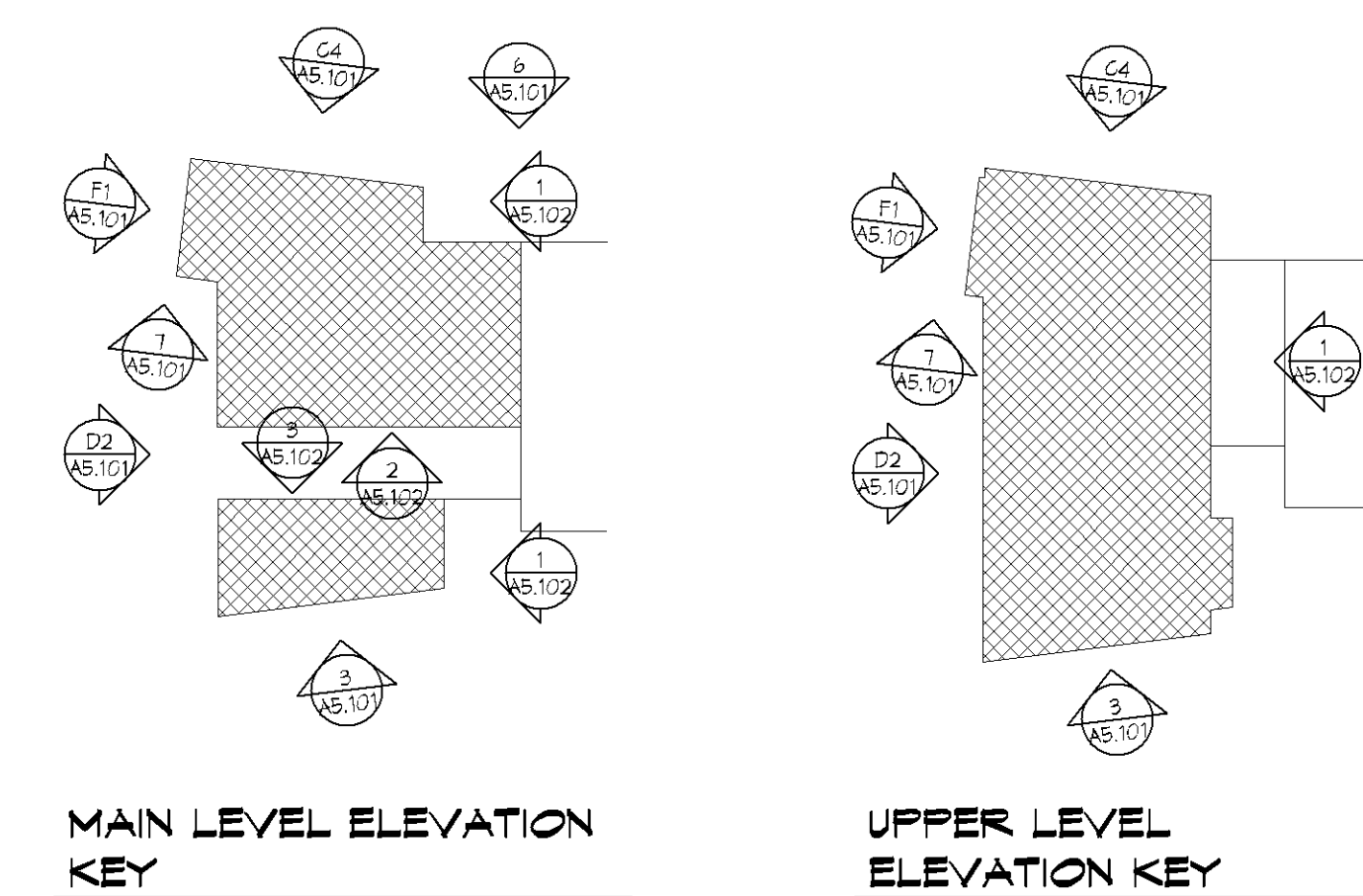
**F1 WEST ELEVATION - MAIN ENTRANCE**  
1/8" = 1'-0"  
0 6 12



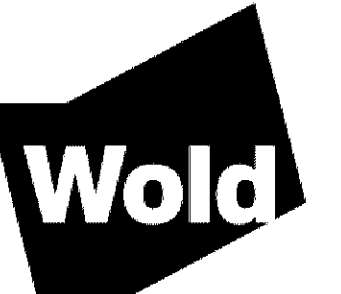
**D2 WEST ELEVATION - VEHICLE SALLYPORT AND PUBLIC LOBBY**  
1/8" = 1'-0"  
0 6 12



**3 SOUTH ELEVATION**  
1/8" = 1'-0"  
0 6 12

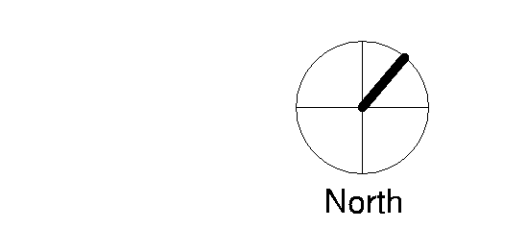


MATERIALS KEY	
KEY	MATERIAL
04.01	BRICK 1
04.16	GILTON LIMESTONE MASONRY VENEER
04.18	KASPOLA LIMESTONE MASONRY VENEER
04.19	BRICK EXPANSION JOINT
05.01	PREFINISHED PATINA COPPER PANEL
07.28	RIGID INSULATION
07.38	METAL COPING
07.39	COPPER COPING
08.01	HOLLOW METAL DOOR AND FRAME
08.02	ANODIZED ALUMINUM FRAME
08.11	SECTIONAL METAL OVERHEAD DOOR
08.34	SPANDREL GLASS
08.50	EXTERIOR GLAZING
08.54	PREFINISHED METAL COVER
08.61	COMPOSITE BRICK-ZE PANEL
08.70	STAIN 18



**WOLD ARCHITECTS AND ENGINEERS**  
332 Minnesota Street, Suite W-2000  
St. Paul, MN 55101  
woldae.com | 651.227.7773

Project No. \_\_\_\_\_  
Revision No. \_\_\_\_\_  
Issue Date \_\_\_\_\_



No.	Description	Date

**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

**Bloomington Civic Plaza**  
1800 W. Old Shakopee Rd  
Bloomington, MN 55431

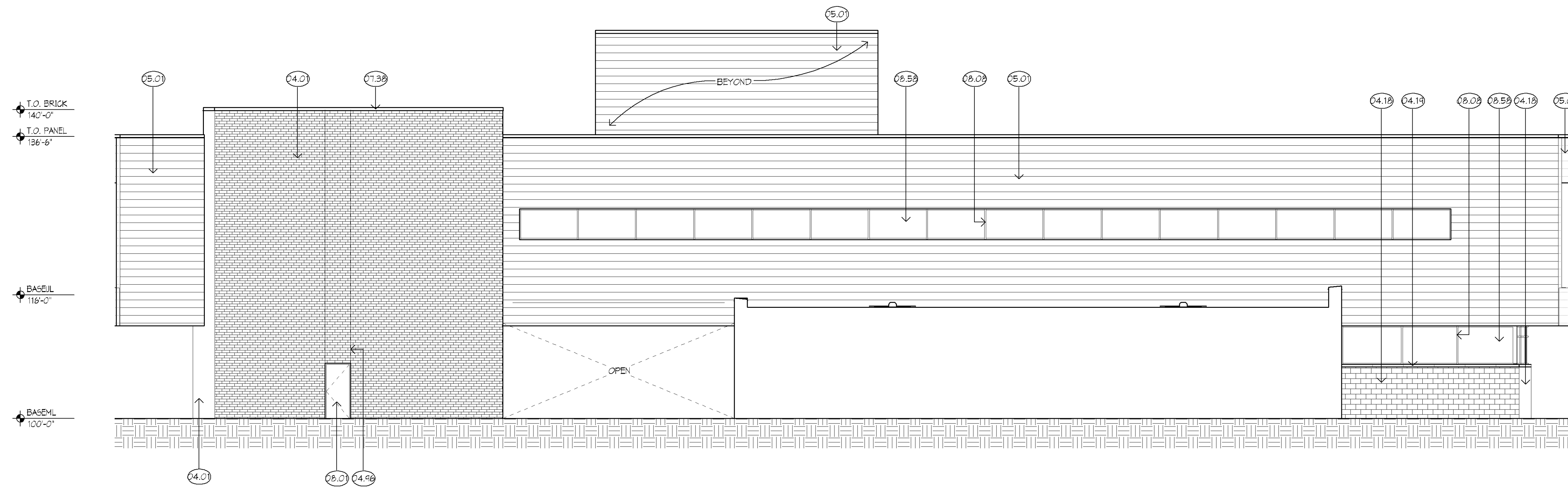
**EXTERIOR ELEVATIONS**

Project No.	Sheet No.	Total Sheets
162150	45	48

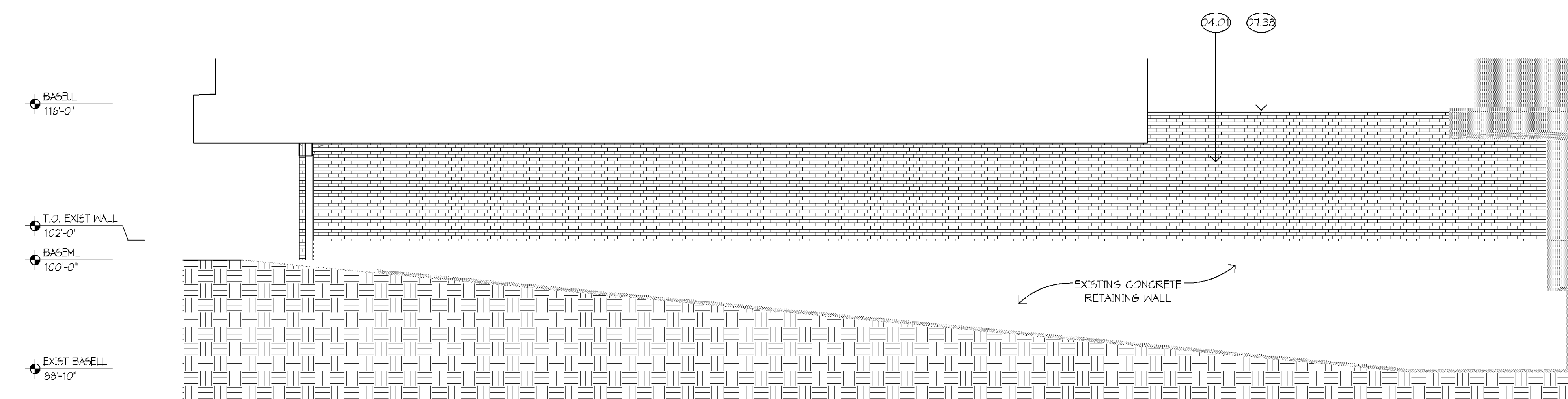
**PRE DRG SET  
NOT FOR CONSTRUCTION**

**A5.101**

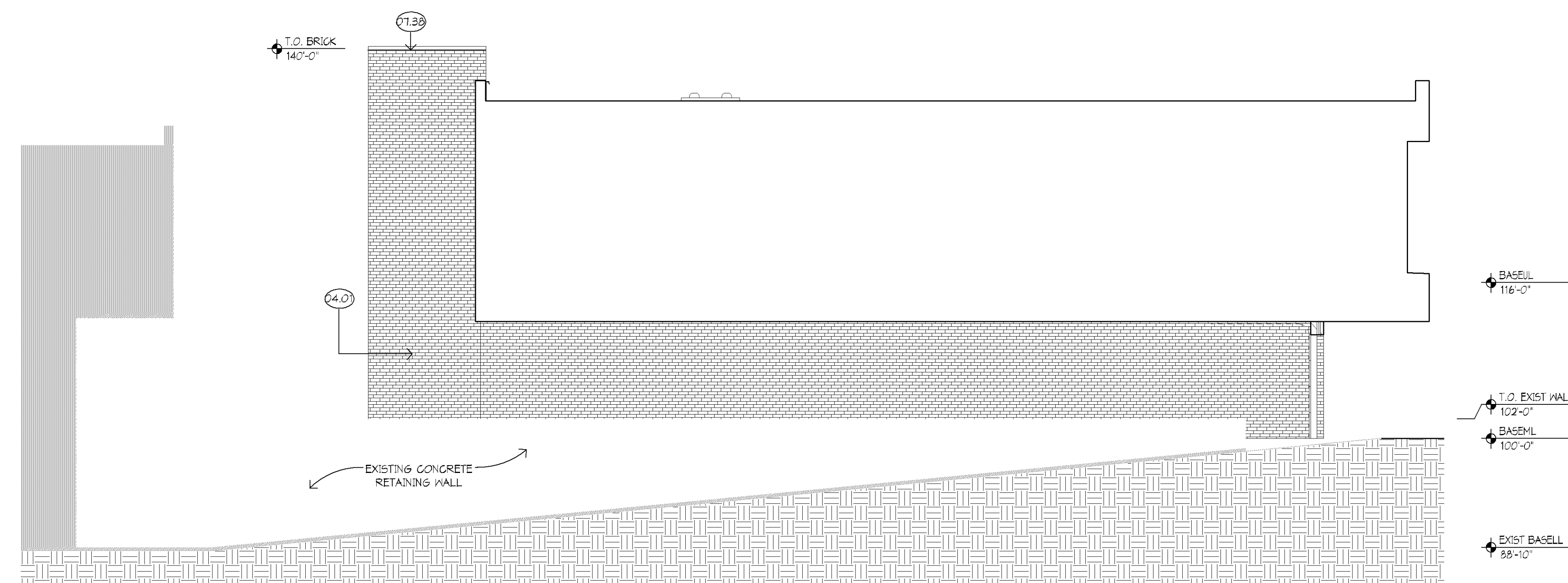
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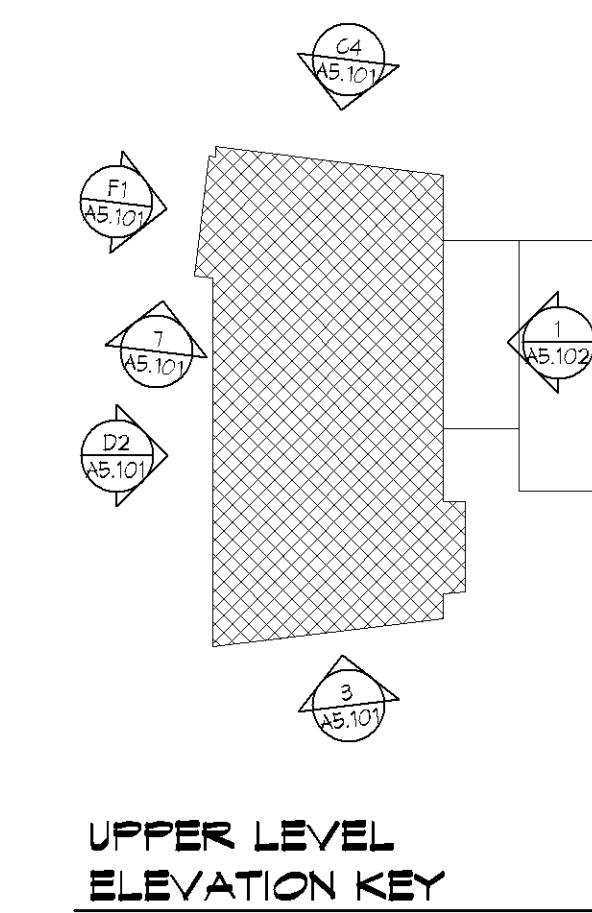
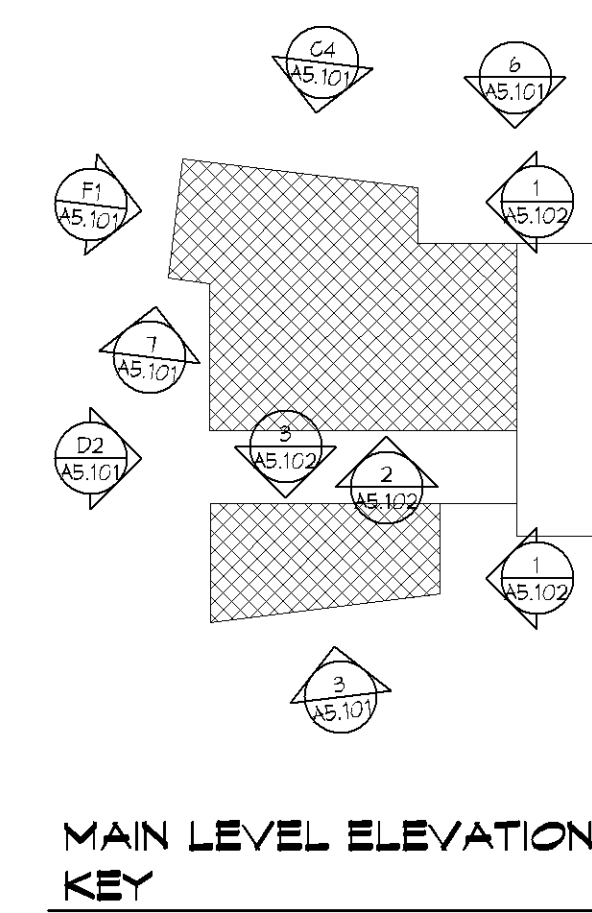
1 EAST ELEVATION - COURTROOM CIRC AND EGRESS STAIR  
1/8" = 1'-0"



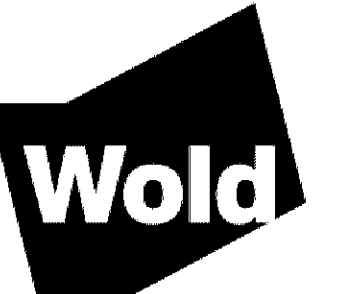
2 SOUTH ELEVATION - POLICE DRIVE  
1/8" = 1'-0"



3 NORTH ELEVATION - POLICE DRIVE  
1/8" = 1'-0"



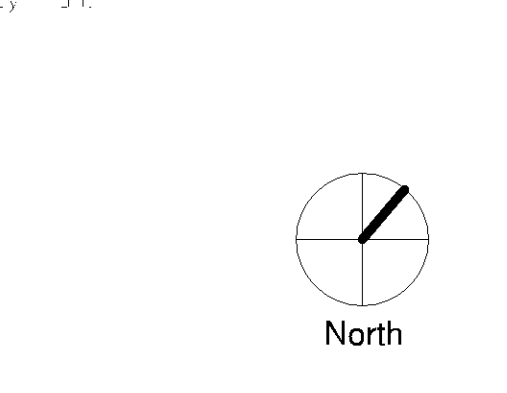
MATERIALS KEY	
KEY	MATERIAL
04.01	BRICK 1
04.18	CANTON LIMESTONE MASONRY VENEER
04.19	KANSOTA LIMESTONE MASONRY VENEER
04.96	BUILDING CONTROL JOINT
06.01	PRE-FINISHED PLYMOUTH COPPER PANEL
01.38	METAL COPING
08.01	HOLLOW METAL DOOR AND FRAME
08.09	ANGUZZED ALUMINUM FRAME
08.50	EXTERIOR GLAZING



WOLD ARCHITECTS AND ENGINEERS  
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St. Paul, MN 55101  
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Project No. 4463  
Issue Date

Rev.	Description	Date



Rev.	Description	Date

Project No.

**HENNEPIN COUNTY SOUTH SUBURBAN COURT RELOCATION**

Bloomington Civic Plaza  
1800 W. Old Shakopee Rd  
Bloomington, MN 55431

Author: [Name] Checker: [Name]

**EXTERIOR ELEVATIONS**

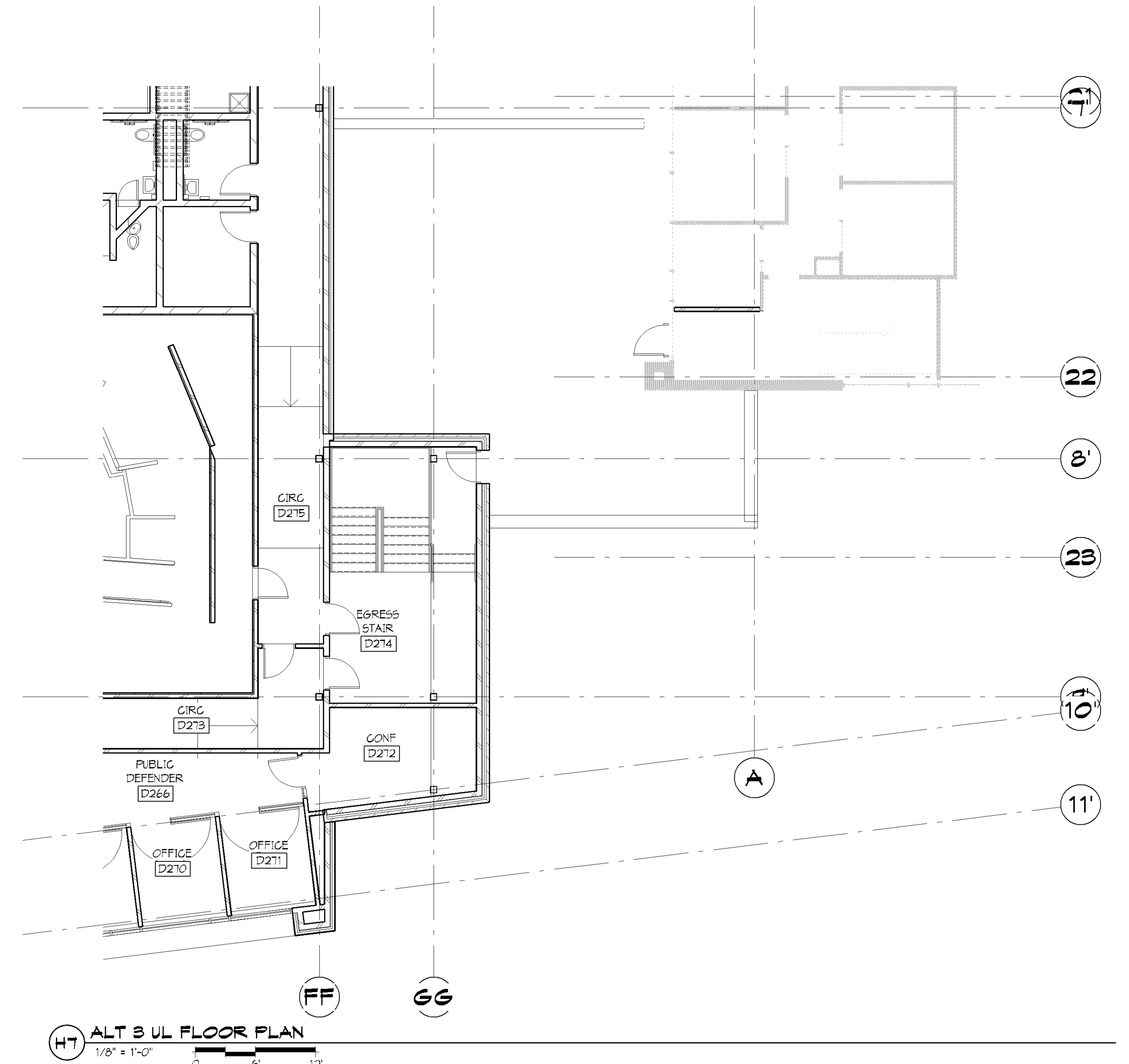
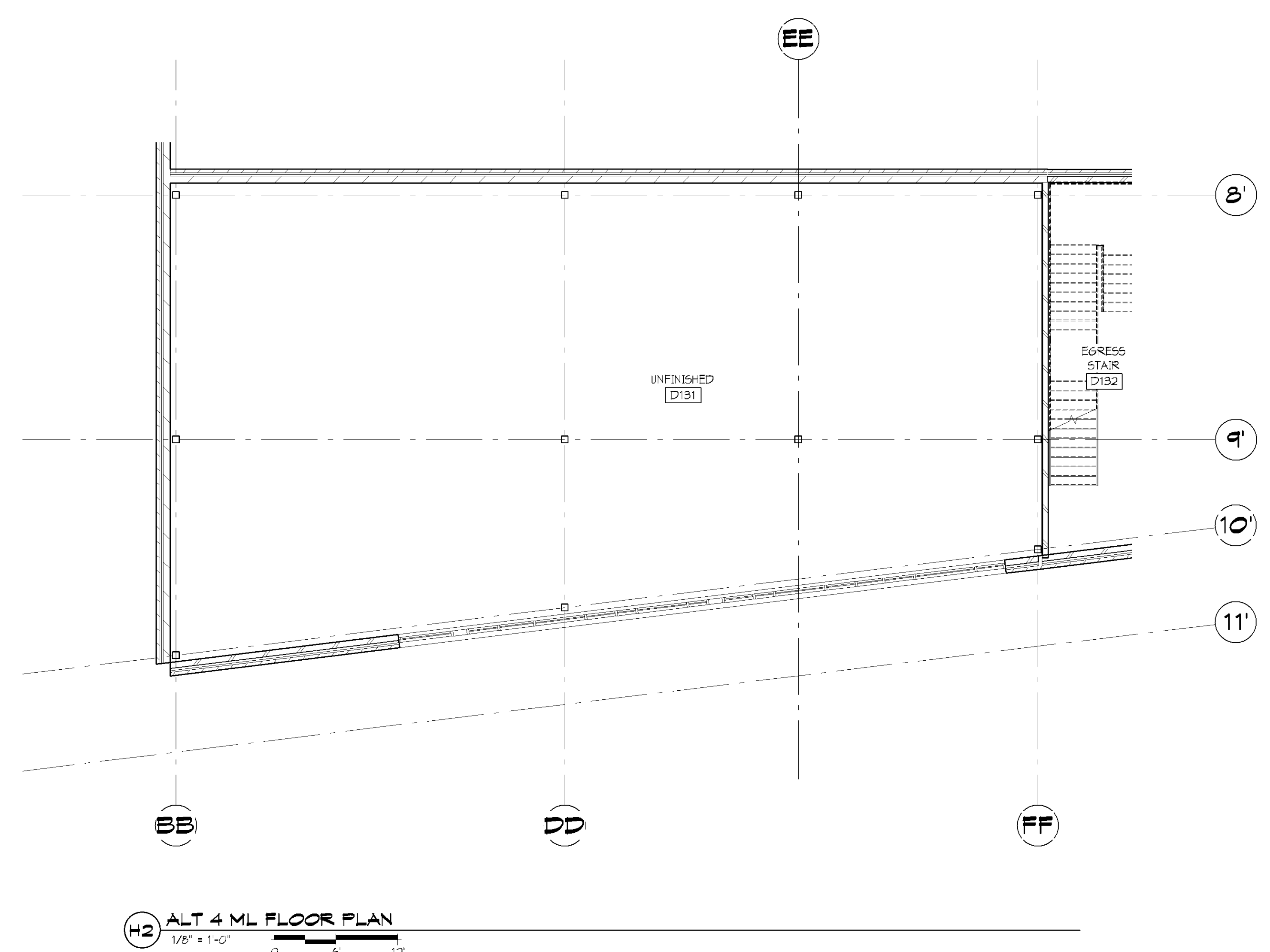
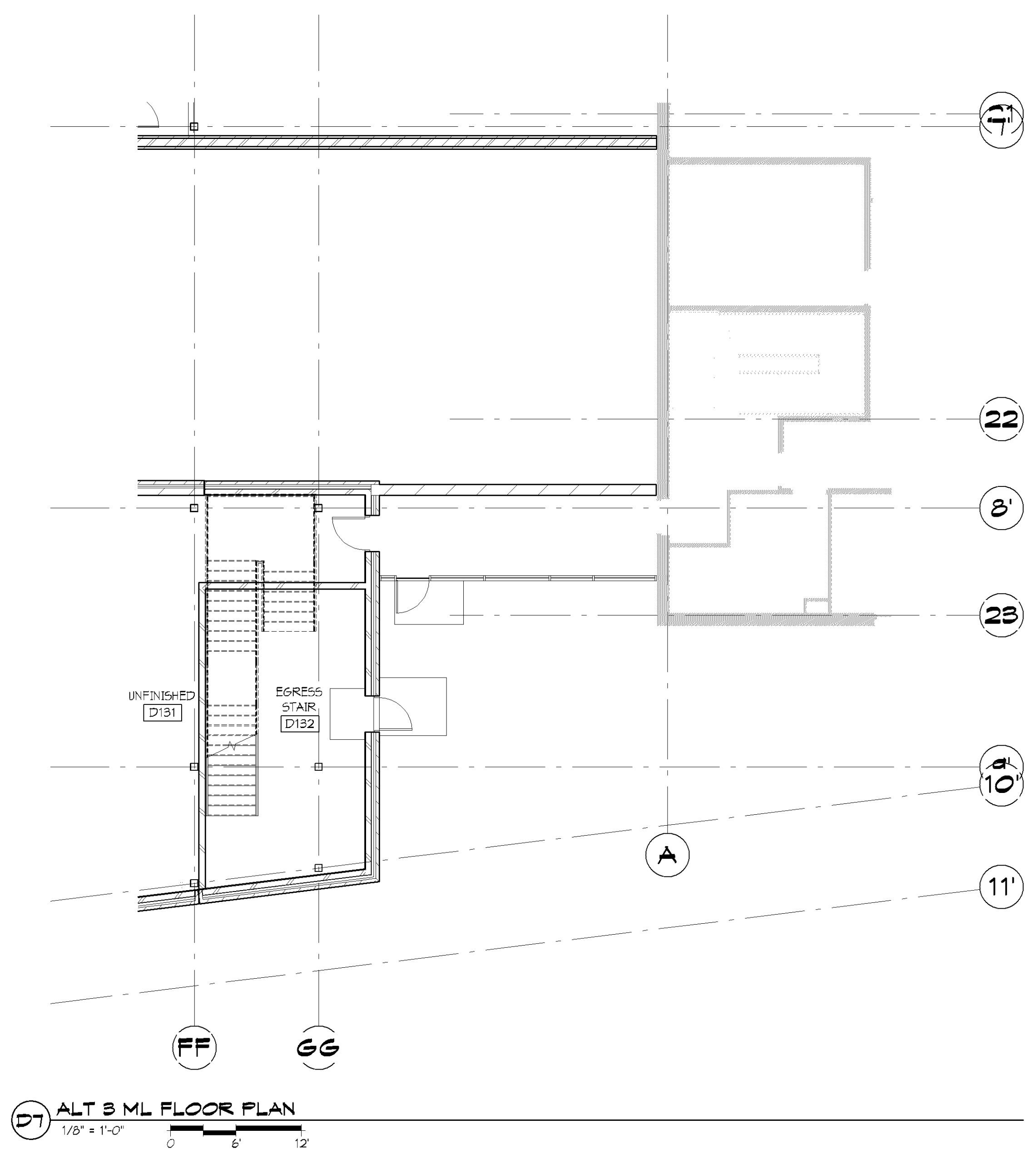
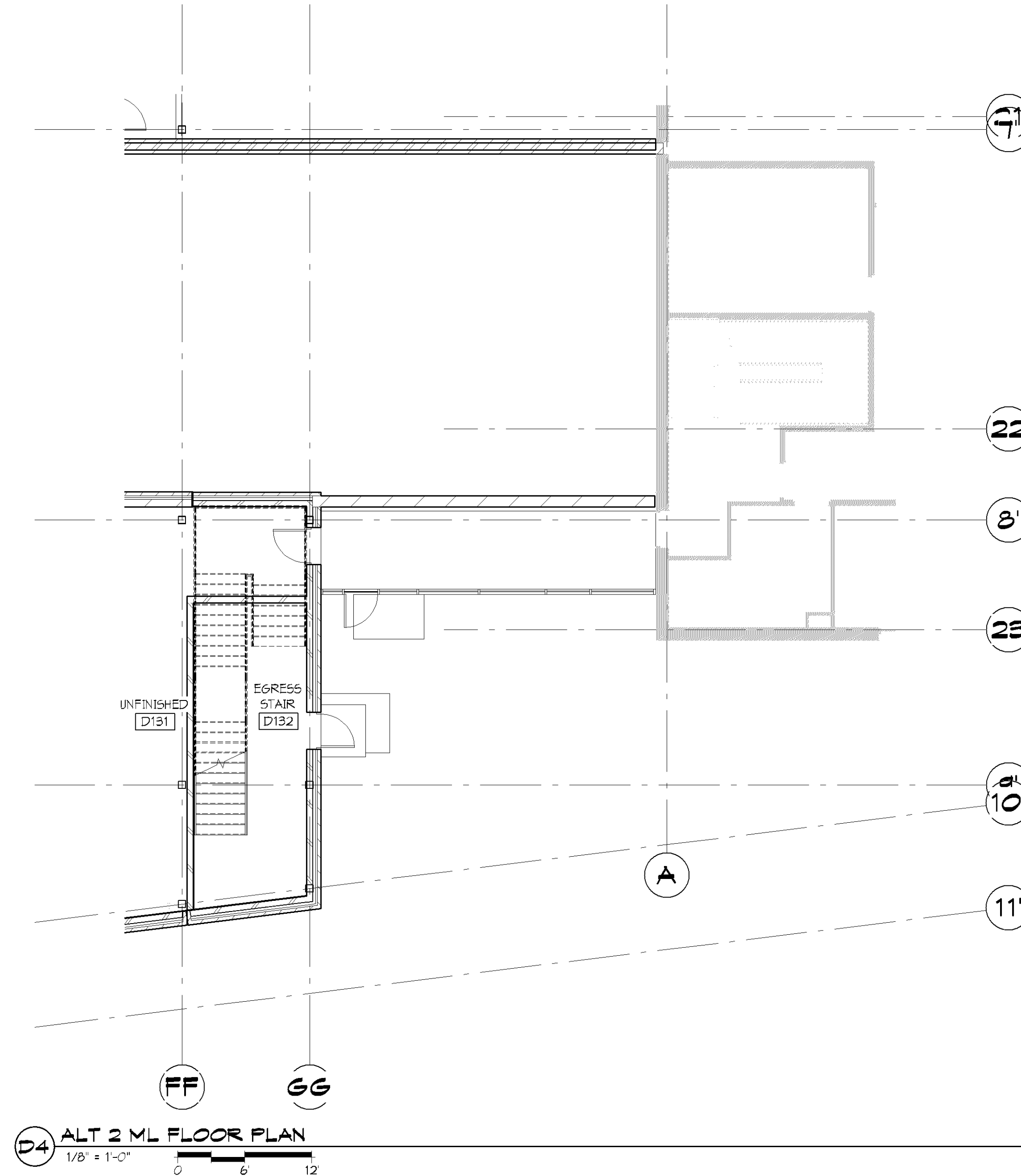
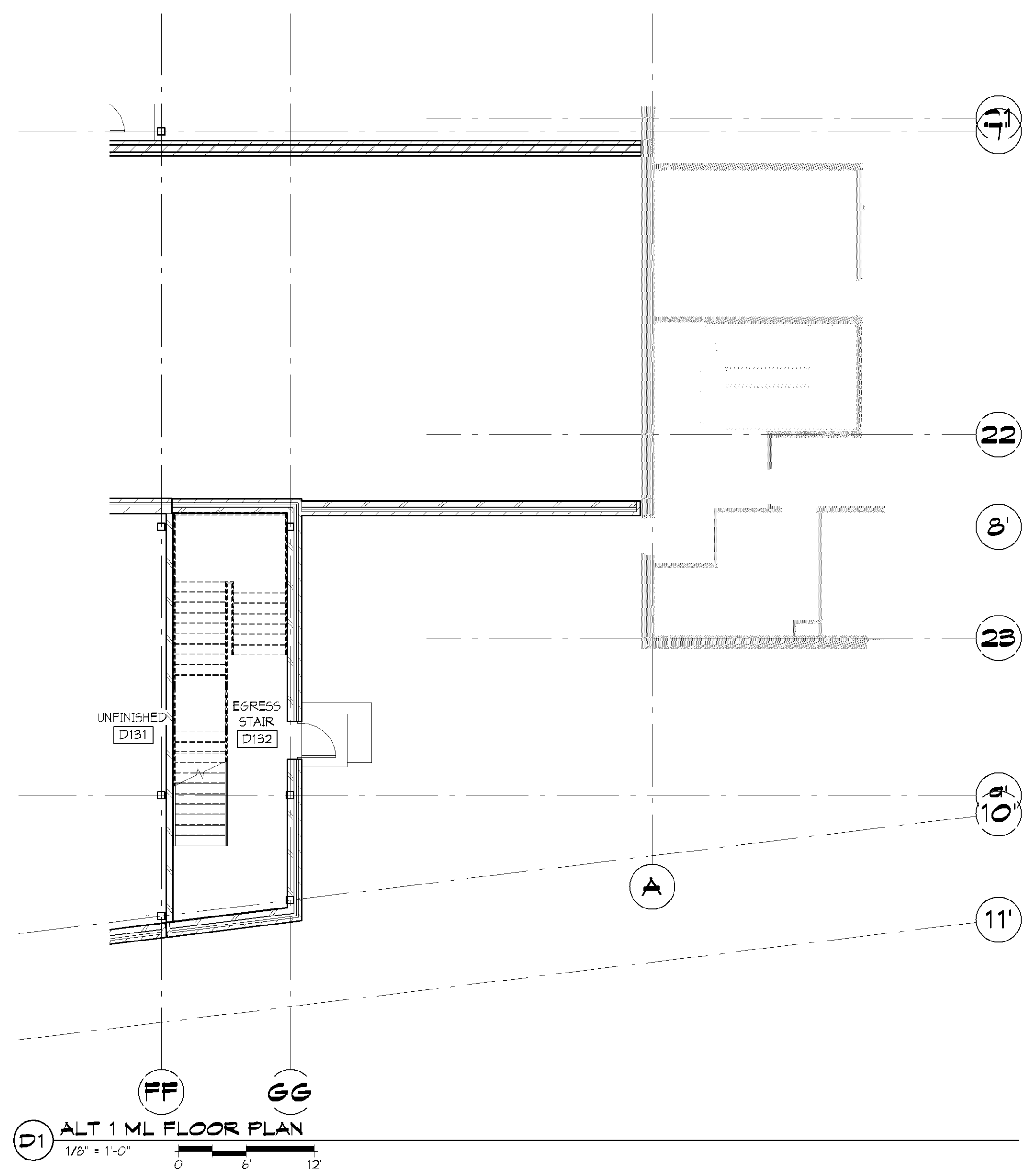
162150 Author Checker

Issue Date

**A5.102**

**PRE DRG SET  
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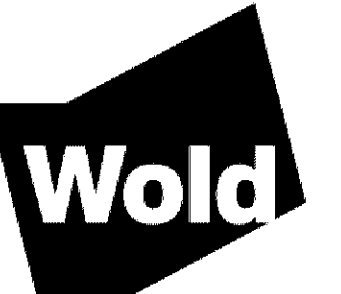
MN



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A

**PRE DRG SET  
NOT FOR CONSTRUCTION**



Project No. 15-001  
Revision No. 1  
Issue Date 08/11/15

Rev.	Description	Date
1	Issue	08/11/15

Key: \_\_\_\_\_

**HENNEPIN COUNTY  
SOUTH SUBURBAN  
COURT RELOCATION**

**KEY PLAN**  
Bloomington Civic Plaza  
1800 W. Old Shakopee Rd  
Bloomington, MN 55431

Author	Checker
162/50	

**A9.100**



**EXTERIOR** | View from West



**EXTERIOR** | View from Southeast



**EXTERIOR** | View from Southwest





**EXTERIOR** | View from Entry Drive



**EXTERIOR** | Southwest Elevation

## OPTIONS

It will be confusing to submit a plan that has several, optional elements. While not a zoning consideration, it should be made as clear as possible what is being proposed and what are additional, optional elements.

Four options were introduced to the project during Design Development. These options are located plan south on the addition and include:

### **Option 1: Enclosed Ramp**

This option stretches the new roof over the vehicular sallyport plan south to bear on a new masonry wall built on the southern existing retaining wall. The brick cladding the walls facing the ramp in base bid would no longer be applied as the ramp would now be an interior space.

### **Option 2: Breezeway Connection**

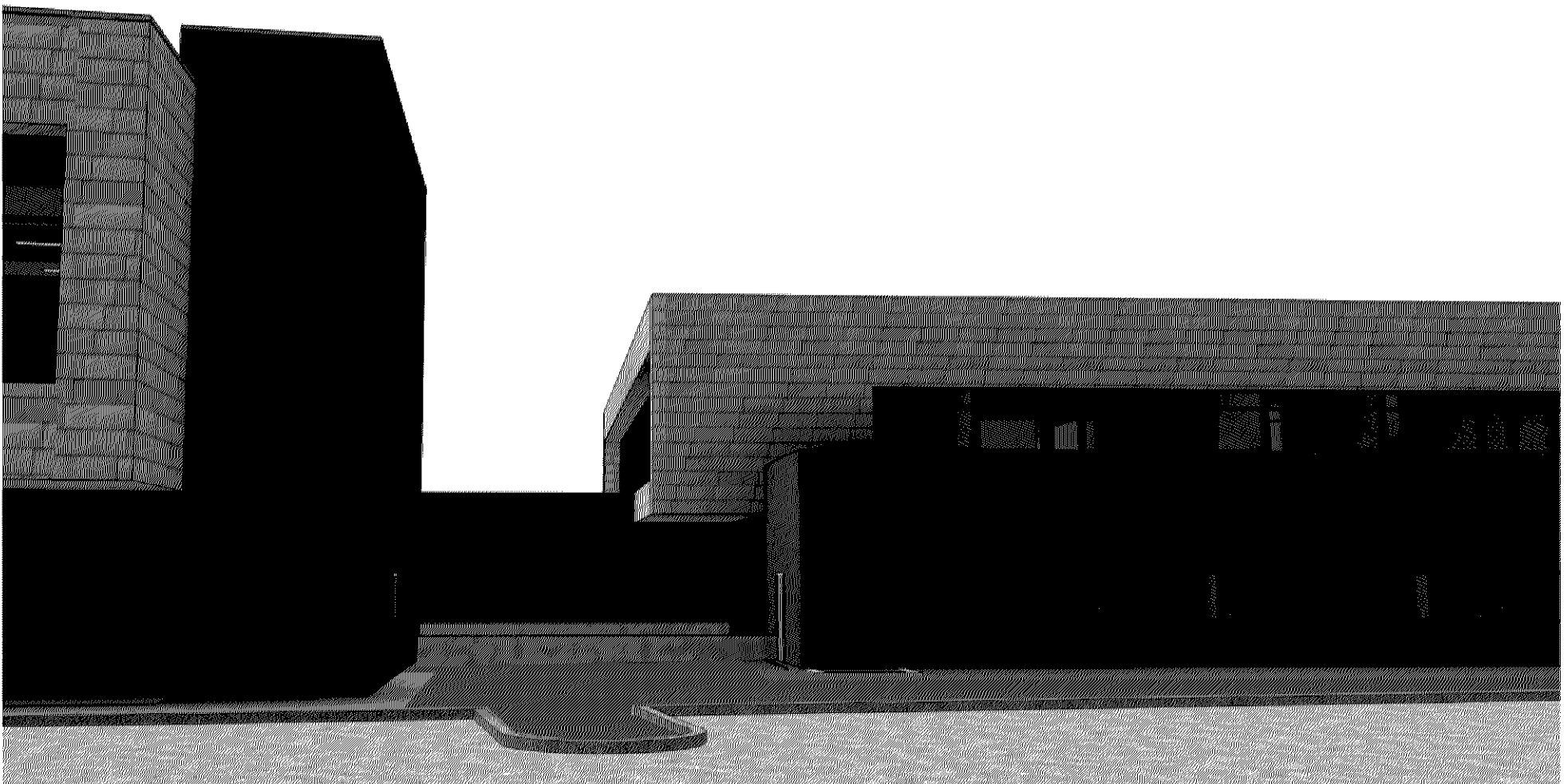
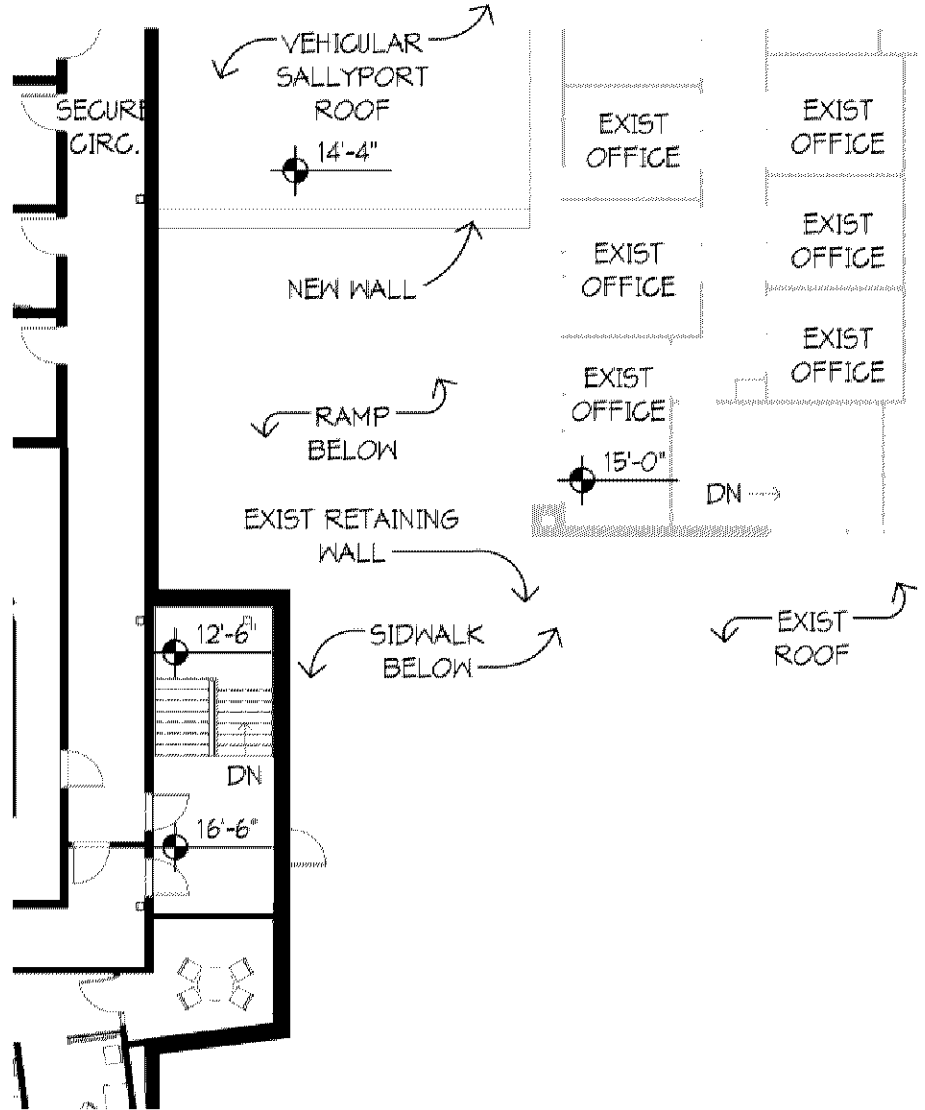
The second option adds to the first by proposing a breezeway connection between the existing building and the addition plan south of the enclosed ramp. This breezeway makes use of an existing door to the east and proposes a new door into the shelled space under the proposed egress stair. The breezeway will have one door facing the police parking lot and will be constructed of glass and brick to match existing.

### **Option 3: Occupiable Roof**

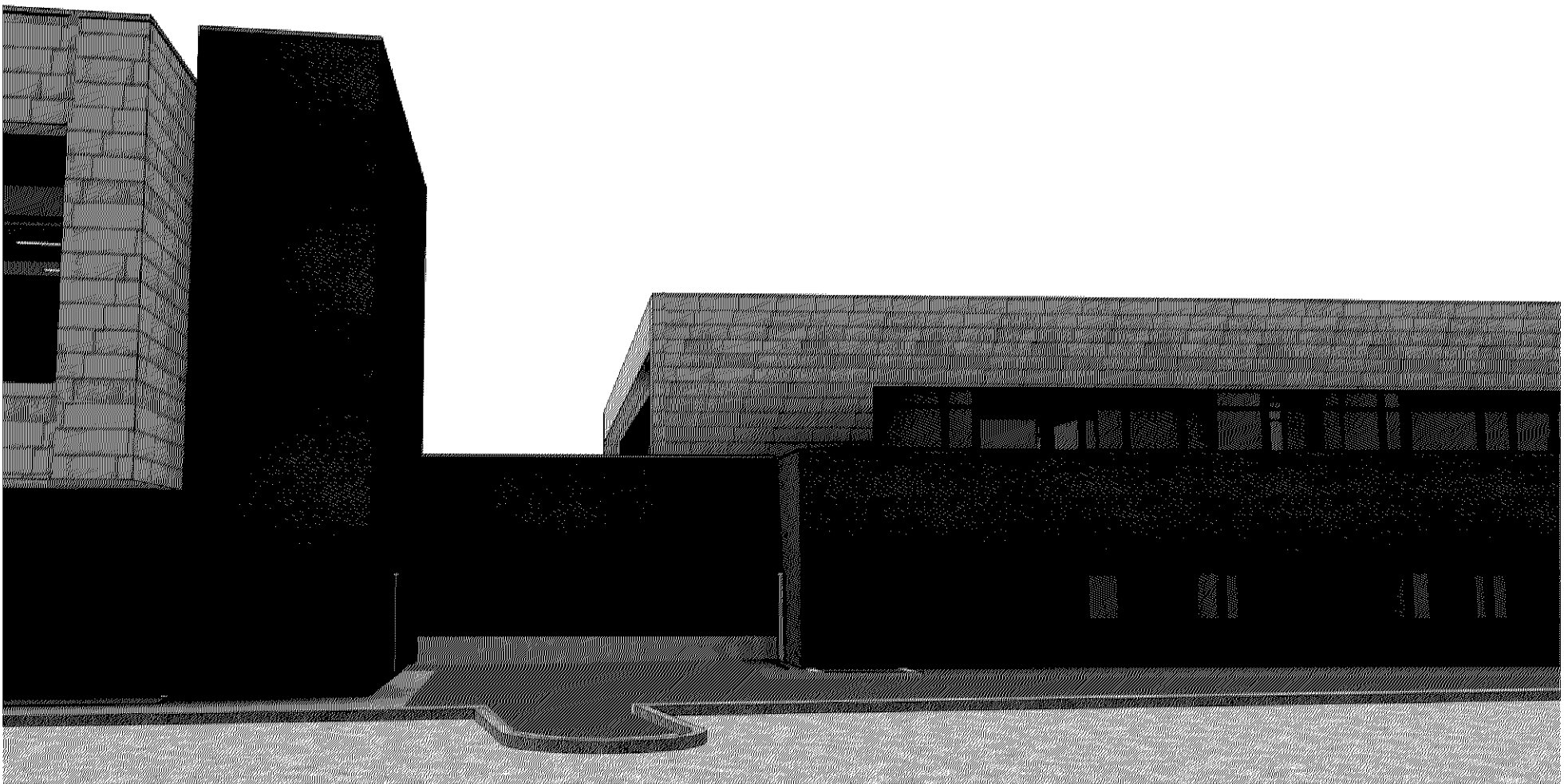
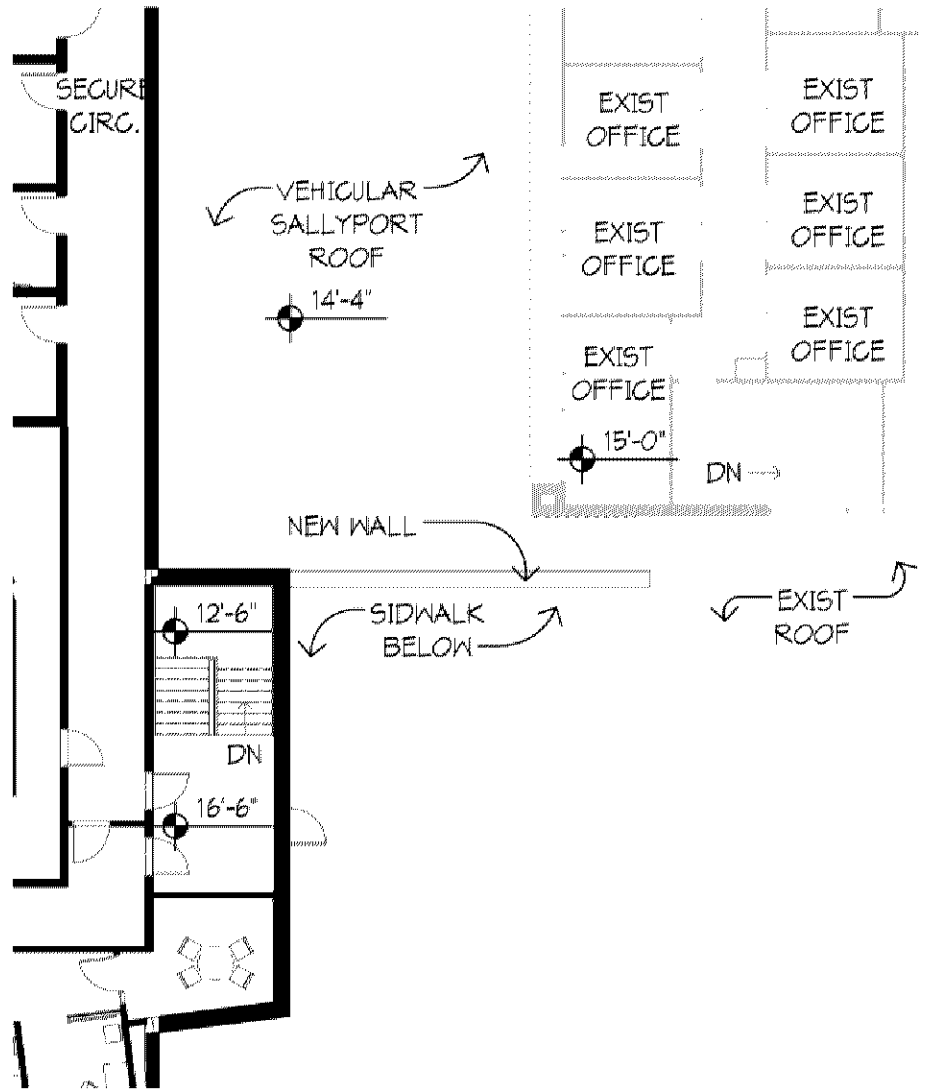
The third option proposes an occupiable space on the roof proposed in options 1 and 2. This space will be accessed by a connection to Police through an existing office in the upper level of the Civic Plaza. A second, code-required egress from the roof is proposed through the new egress stair tower.

### **Option 4: Window in Shelled Space**

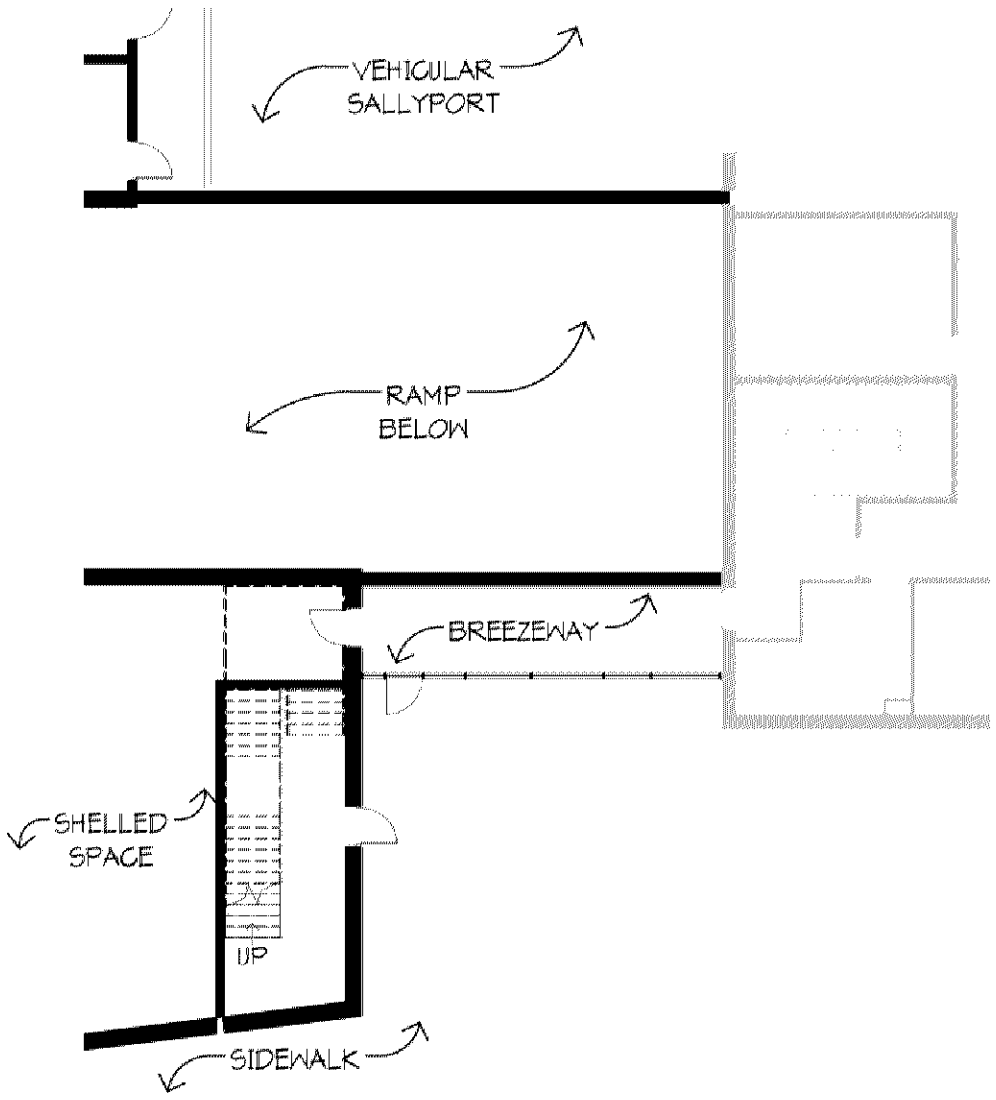
The final option is independent of the previous three. Option 4 proposes a ribbon window in the southern facade of the shelled space. The design of the proposed window is taken directly from the Civic Plaza to maintain a cohesive architectural language.



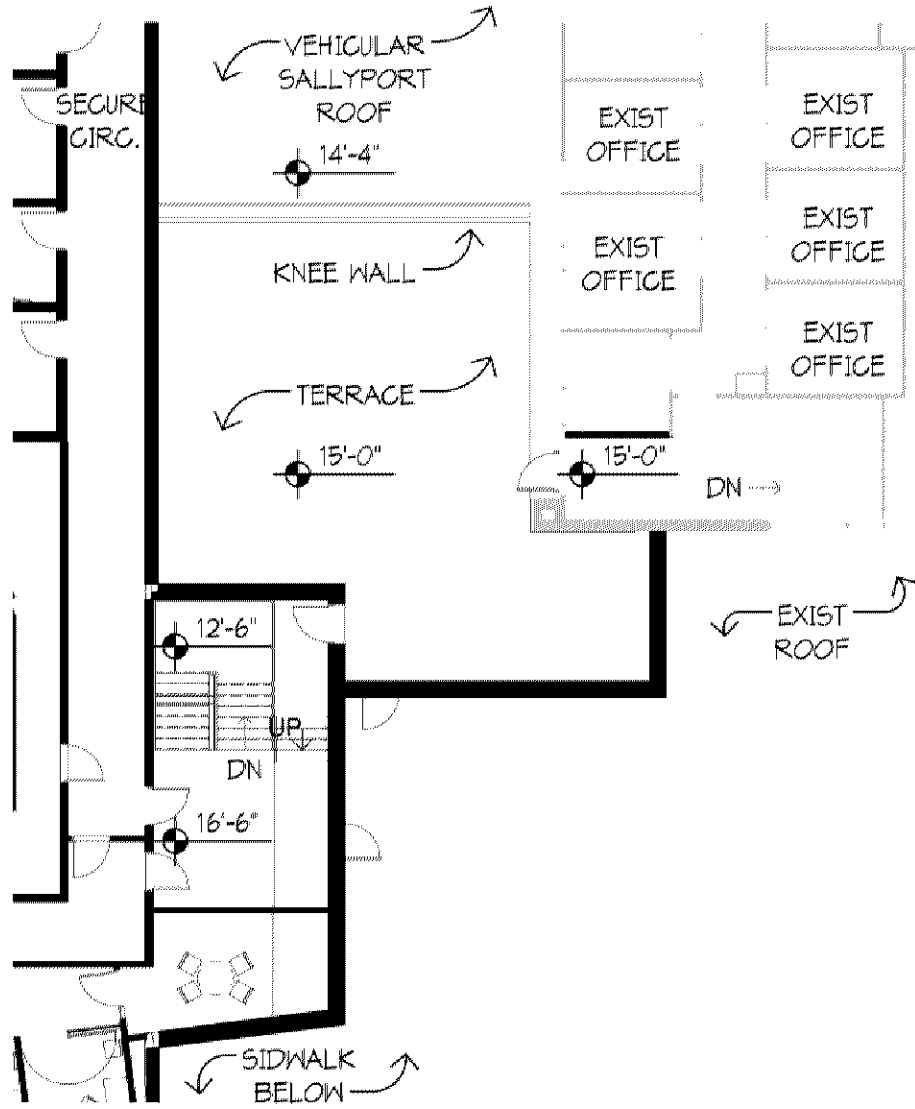
**BASE BID: RAMP OPEN TO ABOVE**



**OPTION 1: ENCLOSED RAMP**



**OPTION 2: BREEZEWAY CONNECTION**



**OPTION 3: OCCUPIABLE ROOF**



**OPTION 4: WINDOW IN SHELL SPACE**