

RESPONSES in red

KNOX AND AMERICAN II

**Knox &
American II**
1801 American Blvd W
Bloomington MN 55431



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Minneapolis, MN 55415
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KEY PLAN

Knox & American II

TITLE SHEET
DRC-Title



Address:
1801 American Blvd W
Bloomington MN 55431

PROJECT TEAM	
OWNER/DEVELOPER:	Stuart Development Corporation Ryan Dunlay, President 1000 West 80th Street Minneapolis, MN 55420 Ph: 952-948-9546
ARCHITECT:	Elness Swenson Graham Architects, Inc. 500 Washington Ave. South, Suite 1080 Minneapolis, MN 55415 Ph: 612-339-5508 Fx: 612-339-5382
CONTRACTOR:	T.B.D.
CIVIL ENGINEER:	CivilSite Group 5000 Glenwood Avenue Golden Valley, MN 55422 Ph: 612-615-0060
LANDSCAPE ARCHITECT:	CivilSite Group 5000 Glenwood Avenue Golden Valley, MN 55422 Ph: 612-615-0060
STRUCTURAL ENGINEER:	TBD
MECHANICAL ENGINEER:	TBD
PLUMBING ENGINEER:	TBD
ELECTRICAL ENGINEER:	TBD

DRAWING INDEX	
DRAWING NUMBER	DRAWING NAME
DRAWING INDEX DRC	
ARCHITECTURAL	
DRC-Title	TITLE SHEET
CIVIL	
C1.0	TITLE SHEET
C2.0	SITE PLAN
C2.1	SITE PLAN - TURNING MOVEMENT EXHIBIT
C2.2	SITE PLAN - EASEMENT EXHIBIT
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
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SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS
SW1.5	SWPPP - ATTACHMENTS
V1.0	SITE SURVEY
LANDSCAPE	
L1.0	LANDSCAPE PLAN
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ARCHITECTURAL	
DRC-0.0	EXISTING CONTEXT & SITE PHOTOS
DRC-0.1	ARCHITECTURAL SITE PLAN & PROJECT DATA
DRC-1.1	FLOOR PLANS
DRC-2.1	BUILDING ELEVATIONS
DRC-3.0	3D VIEWS

PROJECT LOCATION

Vicinity

Site Location

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EXISTING CONTEXT & SITE PHOTOS

DRC-0.0



SITE PHOTO: VIEW SOUTHWEST TOWARD SITE



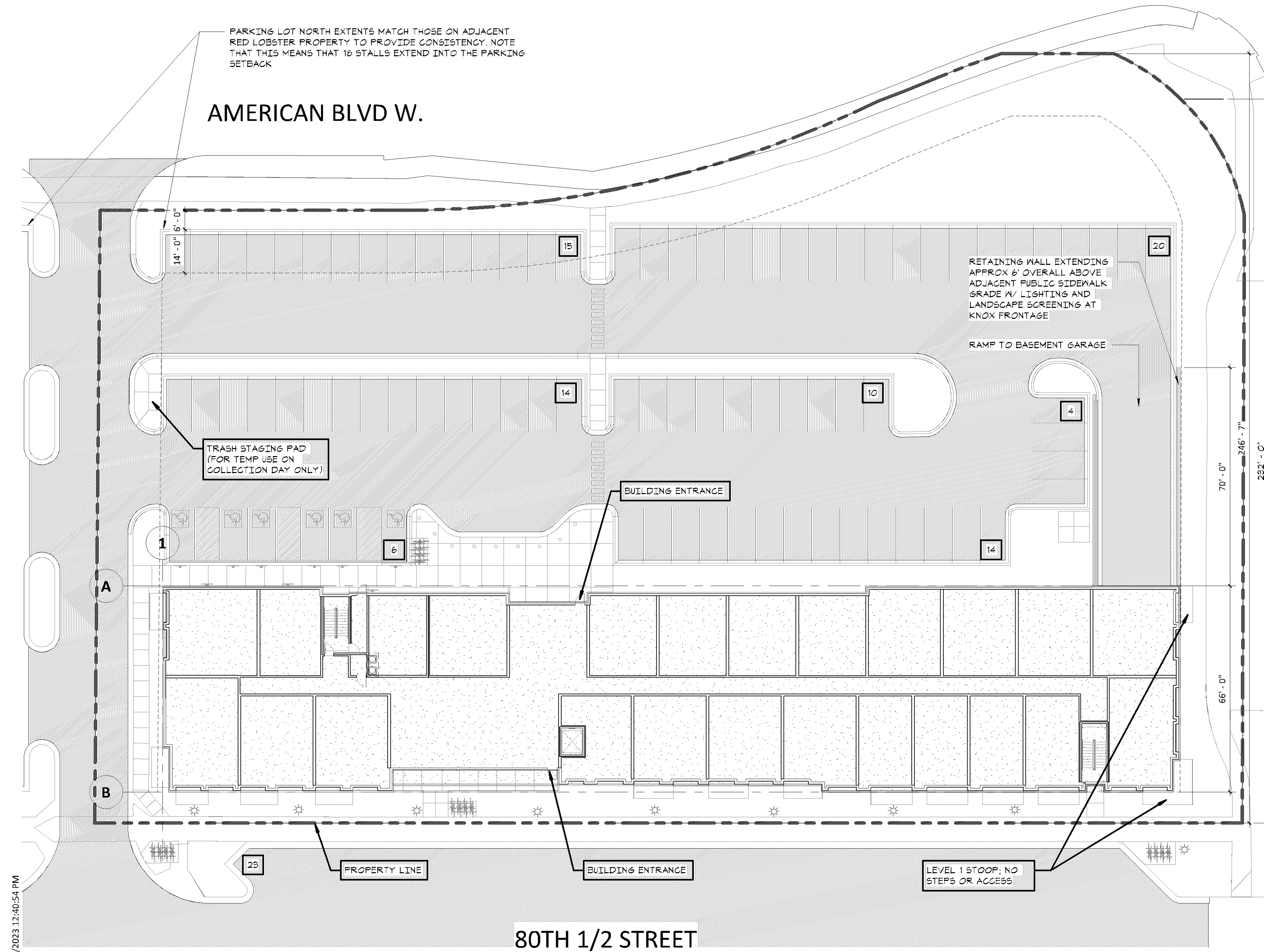
SITE PHOTO: VIEW SOUTHWEST AT NORTHERN EDGE



SITE PHOTO: VIEW SOUTH AT NORTHERN EDGE



1 EXISTING CONTEXT
DRC-0.0 1" = 30'-0"



5/17/2023 12:40:54 PM

2 ARCHITECTURAL SITE PLAN
DRC-0.1 3/64" = 1'-0"

PROJECT DATA SUMMARY

CASE NO: PL2023-00061 (Pre-Application)
 PROJECT ADDRESS: TBD - 1801 American Blvd W + 1851 American Blvd W + 8020 Knox Ave S (existing) Bloomington, MN 55431
 PARCEL IDS: 0402724240035 (1801), 0402724240036 (1851), 0402724240037 (8020 Knox)
 ZONING DISTRICT (EXISTING): C-5 (Commercial) with PD (Planned Development) Overlay
 ZONING DISTRICT (PROPOSED): RM-100 (Multi-Family Residential) with PD (Planned Development) Overlay

ZONING SUMMARY

COMPREHENSIVE PLAN LAND USE RE-GUIDING REQUESTED

- REQUESTING A RE-GUIDANCE OF THE COMPREHENSIVE PLAN'S FUTURE LAND USE FROM CC TO HIGH DENSITY RESIDENTIAL (HDR) TO CREATE CONSISTENCY IN LAND USE AND INCREASE HOUSING UNITS --- OF VARIOUS INCOME LEVELS --- TO MEET CURRENT HOUSING AND MARKET DEMANDS (A SIGNIFICANT GOAL WITHIN THE COMPREHENSIVE PLAN, SECTION 3).

ANTICIPATED DEVIATIONS

PARKING BETWEEN BUILDING AND STREET (§21.203.09 (d))

- REQUESTING EXEMPTION FOR MULTIPLE STREET FRONTAGES AND PROPOSING ALTERNATIVE COMPLIANCE (ENHANCED STREET WALL AND BUILDING FRONTAGE) USING C-5 FRONTAGE STANDARDS FOR PROPOSING PARKING BETWEEN BUILDING & STREET

PARKING SETBACKS (§21.301.06.1)

- PROPOSING DEVIATION: 19 SURFACE PARKING SPACES AT NORTHWEST CORNER OF SITE AT A 6 FT SETBACK (INSTEAD OF THE 20 FT MIN.-REQUIRED SETBACK)

OPPORTUNITY HOUSING REDUCTIONS/ALLOWANCES APPLIED

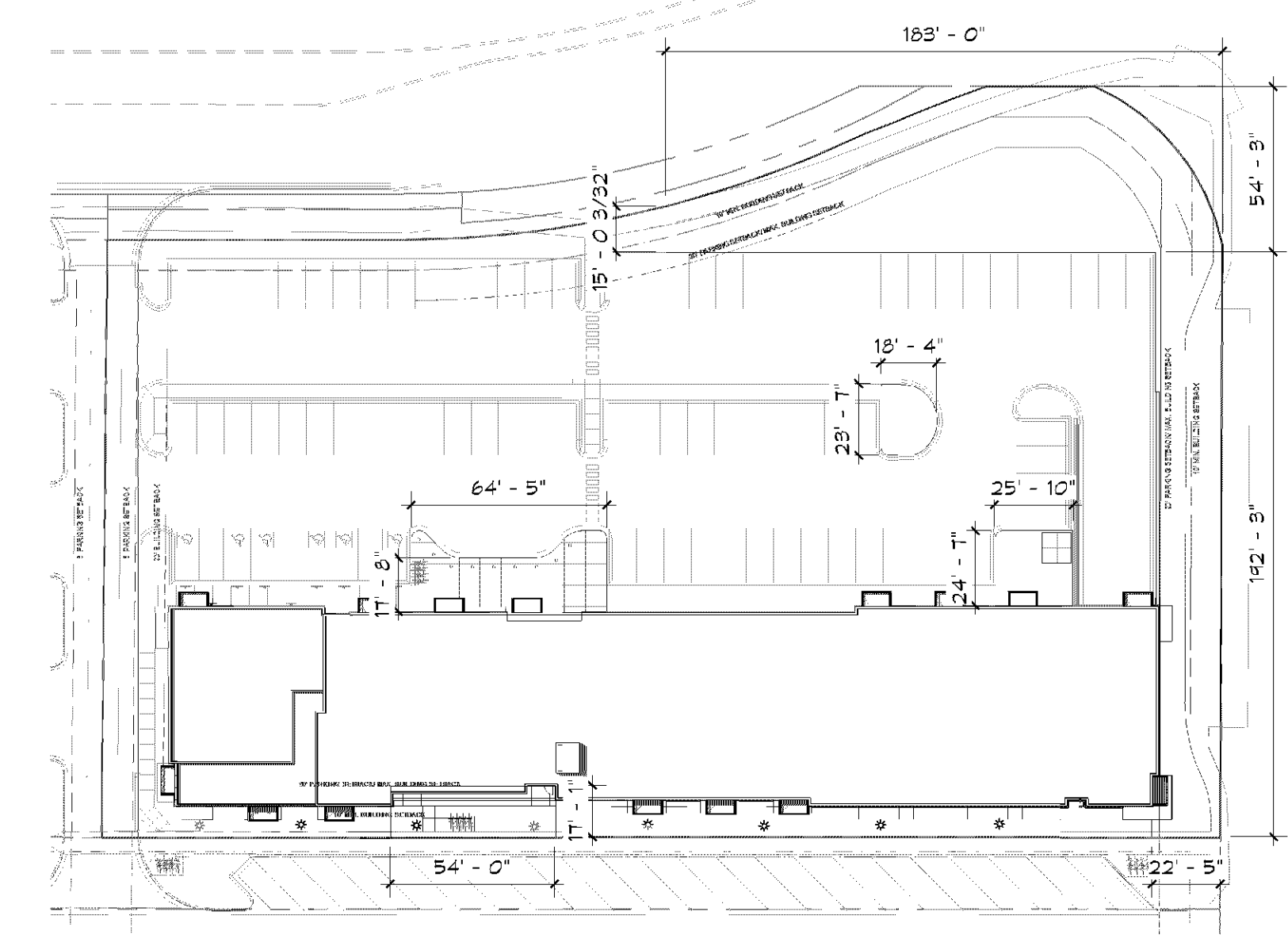
- SITE AREA** (§ 9.16.02) ---- REQUESTING REDUCTION (25% FOR 9% UNITS AT VERY LOW INCOME); PROPOSING 78,691 +/- SF (1.806 +/- acres (60,000 SF MODIFIED MIN.-REQUIRED))
- SITE WIDTH** (§ 9.16.03) ---- REQUESTING REDUCTION (25% FOR 9% UNITS AT VERY LOW INCOME); PROPOSING 196 FT 3 IN (150 FT MODIFIED MIN.-REQUIRED)
- USABLE OPEN SPACE** (§ 9.16.05) ---- REQUESTING REDUCTION (25% REDUCTION FOR 9% UNITS @ VERY LOW INCOME); PROPOSING 27,149 +/- SF (22,275 SF MODIFIED MIN.-REQUIRED)
- STORAGE SPACE** (§21.302.09, (d)(7); §9.23) ---- REQUESTING REDUCTION (50% REDUCTION FOR 9% UNITS AT OR BELOW 60% AMI); PROPOSING 50 STORAGE SPACES (49 STORAGE SPACES MODIFIED MIN.-REQUIRED)
- VEHICLE PARKING - OVERALL SPACES** (§ 9.19) ---- REQUESTING REDUCTION (TRANSIT TIER 1 = 15% FOR 9% UNITS @ VERY LOW INCOME); PROPOSING 156 PARKING SPACES (136 PARKING SPACES MODIFIED MIN.-REQUIRED)
- ENCLOSED VEHICLE PARKING** (§ 9.20) ---- REQUESTING REDUCTION (50% REDUCTION FOR 9% UNITS @ VERY LOW INCOME); PROPOSING 50 ENCLOSED PARKING SPACES (49 ENCLOSED PARKING SPACES MODIFIED MIN.-REQUIRED)
- EXTERIOR BUILDING MATERIALS** (§ 9.22) -- REQUESTING THE OPPORTUNITY HOUSING ALLOWANCE ON THE WEST FAÇADE FOR ALTERNATIVE, EXTERIOR BUILDING MATERIALS (20-YR WARRANTY METALS) WHICH MAY COVER UP TO 75% OF FACADES NOT FACING PUBLIC STREETS.

ZONING SUMMARY: PARKING & OPEN SPACE DATA

Scheme: Current Plan 5.15.23		Parking Stalls	
Parking Stall Count	(Provided)	(Required)	
Garage	50	99	D.U.
Surface parking lot	83	14	Pkg required per Effc. 1-BR unit
On Street	23	159	158.4 Total Pkg required (base)
Totals	156	136	15% Reduction: 9% Aff., Very low / Transit Area Tier 1
			135.15 Total Pkg required (with allowed reduction)

Open Space (Required)	total open space required (unit count x 300s/unit)	99 D.U.	12,978 Open space credit from Building Elements
	29,700		
	% reduction based on afford.		
	25%		
Net open space required	22,275		

Open Space (Provided)	Balconies (@ 50sf)	42 # of balconies	
Bonus: 150sf for first 50 sf, 2.5sf for each additional sf	2,100		
Stoops (@ 72sf)	6,300	150 base bonus @ 50sf	
Bonus: 150sf for first 50 sf, 2.5sf for each additional sf	1,008	72 SF of stoop	
	2,870	14 # of stoops	
Amenity Roof Deck	700		
North and East sides of parking	14,171		
Totals	27,149		
Open Space requirement met?	YES		Open Space needed from Site factoring building 9,297 element contribution



1 OPEN SPACE DIAGRAM
DRC-0.1 1" = 50'-0"

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ARCHITECTURAL SITE PLAN & PROJECT DATA
DRC-0.1

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FLOOR PLANS
DRC-1.1

CODE COMPLIANCE INFORMATION:

Applicable codes and regulations:

- 2020 Minnesota Building Code (references the 2018 IBC)
- 2020 Minnesota Accessibility Code (Chapter 1341 references 2009 A117.1)
- 2020 Minnesota Energy Code (references 2012 IECC and 2010 ASHRAE 90.1)
- 2020 Minnesota State Fire Code
- 2015 MN Elevator and Related Devices Code

Federal Fair Housing Act Safe Harbor:

- International Building Code (IBC) 2018 and as referenced 2009 ICC A117.1 Accessible and Usable Buildings and Facilities Standard

Preliminary Assumptions:

- Levels P1: Construction type I-A
- Levels 1 - Level 4: Construction type V-A (4 stories)

Per MBC 510.4, Level 1 floor (separating type I-A and V-A construction types) to be 90 minute rated minimum as required for roof of type I-A building

Building will be fully sprinklered throughout. Based on these construction types and occupancy classes contained within, all bearing walls interior and exterior, structural frame, floors and roofs will be designed to meet required hourly ratings.

Total Building Area:

The chart below describes the gross square foot (GSF) area calculations for the building as currently proposed:

Level	Use	Total GSF	Parking GSF	Apartment GSF	Amenity GSF
Level P1	Parking	20758	20758	0	0
Level 1	Residential/Amenity	19964	0	16918	3046
Level 2	Residential	20372	0	20372	0
Level 3	Residential	20372	0	20372	0
Level 4	Residential/Amenity	17935	0	17187	748

PRELIMINARY UNIT METRICS:

Zoning Code	Level 1		Level 2		Level 3		Level 4		Totals:	
	Unit Type	Count	Unit Type	Count	Unit Type	Count	Unit Type	Count		
Studio	400 SF	538-601 SF	538-588 SF	5	551-601 SF	6	551-601 SF	6	6	
Alcove	400 SF	589-602 SF	589-601 SF	5	588-602 SF	7	601-602 SF	6	6	
1 bed	650 SF	678-809 SF	678-793 SF	10	694-809 SF	12	694-809 SF	11	11	
1 bed + den	650 SF	842-874 SF	842-856 SF	2	858-874 SF	2	858-874 SF	2	0	
Totals:				22		27		27	23	99 units



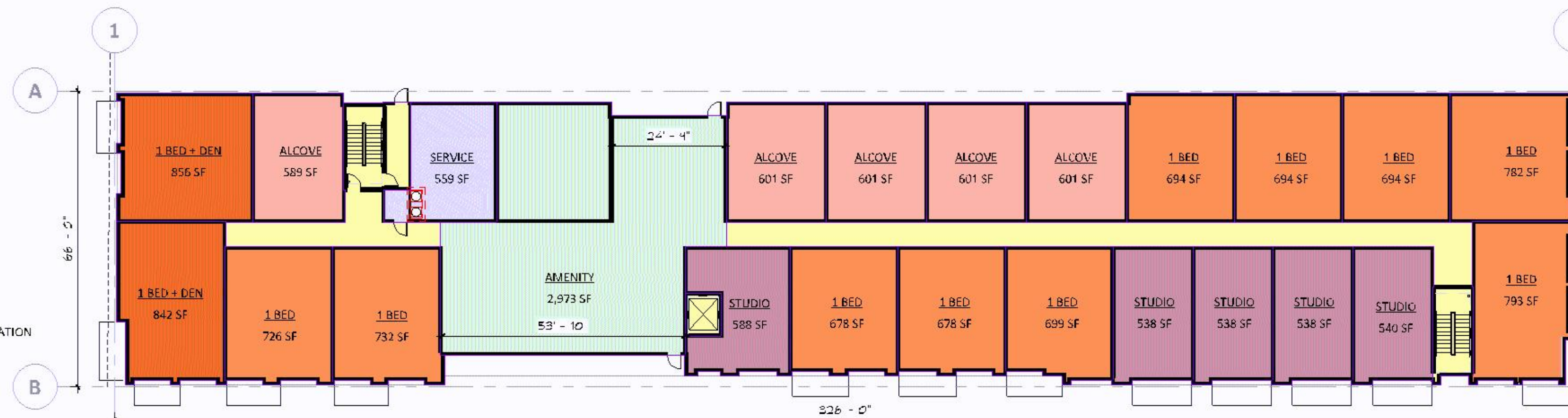
4 LEVEL 4 PLAN
 DRC-1.1 1" = 20'-0"



3 LEVEL 2 PLAN (LEVEL 3 SIM.)
 DRC-1.1 1" = 20'-0"

Area Legend

- 1 BED
- 1 BED + DEN
- ALCOVE
- AMENITY
- COMMON / CIRCULATION
- SERVICE
- STUDIO



2 LEVEL 1 PLAN
 DRC-1.1 1" = 20'-0"

Area Legend

- COMMON / CIRCULATION
- PARKING
- SERVICE



1 LEVEL P1 PLAN
 DRC-1.1 1" = 20'-0"

This can be discussed at the 80% plan review meeting.

RESPONSE:
 Acknowledged.

Must meet 2020 MN State Building Code

Building plans must be signed by a MN licensed architect.

SAC review by MET council will be required.

Provide a detailed code analysis with the plans.

Must meet 2020 MN Accessibility Code.

RESPONSE:
 Acknowledged to all.

The combination of 34 storage lockers and 22 stall storage boxes meets the City Code storage unit requirement when taking the OHO incentive into account.

RESPONSE:
 Acknowledged.

STORAGE LOCKER PROVISION:

(34) STORAGE LOCKERS (FULL, 3'-3" X 4'-2" X 8' T = 93 CU FT)

(22) OVER-STALL STORAGE BOXES (3' X 8' X 4' T = 96 CU FT)

(56) TOTAL INDIVIDUAL STORAGE UNITS PROVIDED

BIKE STORAGE PROVISION:

(22) OVER-STALL BIKE RACKS

ADDITIONAL 346 SF SECURE AREA IN GARAGE FOR MASS BIKE STORAGE

NOTE ALL UNIT AND BIKE STORAGE FOR PROJECT PROVIDED AT LEVEL P1

Two level II or better EV chargers are required. This can be in the parking garage or on the surface lot.

RESPONSE:
 Acknowledged.

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METRICS

DRC-1.2

ZONING: UNIT-SPECIFIC REQUIREMENTS

§21.301.01(c)

(3) Building floor area minimum:

Unit	Floor Area
	Minimum*
Single-family (except R-1A)	1,040 sq. ft.
Single-family (R-1A)	1,700 sq. ft.
Two-family	950 sq. ft. per unit (21,302.04)
Apartments and condominiums	
Efficiency units	400 sq. ft.
1 bedroom	650 sq. ft.
2 bedrooms	800 sq. ft.
3 or more bedrooms	950 sq. ft.
Accessibility and senior citizen housing	
Efficiency units	400 sq. ft.
1 bedroom	525 sq. ft.
2 or more bedrooms	700 sq. ft.
Rowhouses, townhouses and other attached dwelling units of a similar nature	
1 bedroom	750 sq. ft.
2 bedrooms	900 sq. ft.
3 bedrooms	1,040 sq. ft.

Note:
* Garages, breezeway, and porch floor area do not count towards the required floor area.



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BUILDING ELEVATIONS
DRC-2.1

ZONING: EXTERIOR BUILDING MATERIAL & FINISH REQUIREMENTS

§29.03.08(1)
(1) Exterior wall finish. Exterior wall surfaces of all buildings, excluding those portions of foundation walls extending normally above finished grade, shall be faced with glass, exterior cement plaster (stucco), natural stone, brick, architectural concrete (excluding lift-up panel construction unless faced with code compliant material), metal in accordance with adopted policies and procedures set forth in the adopted resolution, or an equivalent or better. Except for glass or metal, all color shall be integral to the exterior wall finish material unless a colored and opaque coating for all or some part of the exterior wall finish material is specifically approved by the City Council as part of a development approval process and where the application has included:
(A) Certification by the coating manufacturer that the coating is appropriate for the intended purpose and will not damage the exterior wall finish material to which it is to be applied; and
(B) Certification by the exterior wall finish material manufacturer that the coating to be applied is one that is appropriate for the exterior wall finish material and that its use will not reduce or void the exterior wall finish material warranty.
(2) Coating of exterior walls. No existing uncoated exterior wall finish material regulated by this section shall be coated after the effective date of this section except for the following:
(A) As approved in subsections (f), (g), and (h) below;
(B) Those portions of foundation walls above finished grade may be coated or sealed;
(C) Secondary materials as listed in subsection (c)(3) below may be coated or sealed;
(D) All exterior wall surfaces and secondary materials that were coated prior to the effective date of this section or allowed to be coated after that date by reason of the granting of development approval, administrative approval or a variance may be maintained, to include sealing and recoating, in a manner appropriate to that wall finish material or trim and consistent with that existing surface treatment or any prior approval by the issuing authority; and
(E) Murals are counted as a secondary material. To protect the integrity and durability of exterior building materials, murals may not be applied directly to the surface of a building elevation. Murals may be applied to separate materials and attached to the building elevation.
(3) Secondary materials. Up to 10% of the exterior wall surface of a building elevation may be secondary materials, such as, wood, metal, exterior insulation finish system (EIFS) or other equivalent material as approved by the issuing authority.
(4) Canopies and awnings. Up to 5% of the exterior wall surface of a building elevation may be covered by canopies and/or awnings intended to provide aesthetic embellishment, shade or weather protection. Exterior wall surface materials covered by canopies or awnings must meet the applicable requirements of this section and, depending on the wall surface material, count

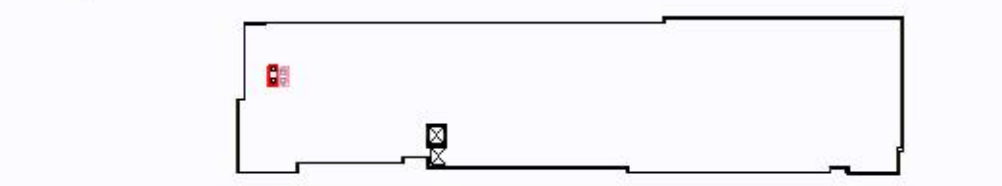
ZONING: ALTERNATIVE EXTERIOR MATERIALS ALLOWANCE (West Facade Eligible)

§ 9.22 ALTERNATIVE EXTERIOR MATERIALS ALLOWANCE.
(a) To incentivize the construction of opportunity housing units affordable to households at or below 60% of AMI, a residential development that includes at least 9% of its total dwelling units affordable to households at or below 60% of AMI may use the alternative exterior materials of fiber cement, engineered wood, exterior insulation finishing system (EIFS), and 20 year warranty metals on facades not facing public streets where otherwise not allowed by the city code as follows:
(1) A development with 9% of its units qualifying as very low income affordable housing may cover up to 75% of qualifying facades with the listed alternative exterior materials.
(b) The alternative exterior material allowances provided in this section are not cumulative. Each qualifying development is eligible for only one alternative construction material allowance of 50%, 75%, or 100% depending on the level of affordability provided.
(Ord. 2019-16, passed 2-25-2019; Ord. 2021-1, passed 3-8-2021)

EXTERIOR MATERIAL KEYNOTES

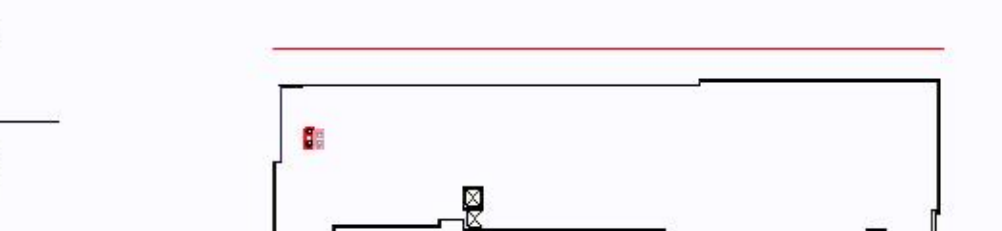
1A	BRICK VENEER
1B	CONCRETE MASONRY VENEER
5A	PREFINISHED METAL WALL PANEL
5B	COMPOSITE METAL PANEL
5C	PREFINISHED METAL WALL PANEL
6A	PAINTED FIBER CEMENT PANEL
7A	3-COAT CEMENTITIOUS PLASTER FINISH
8A	ALUMINUM STOREFRONT SYSTEM
8C	VINYL WINDOW & DOOR UNITS
9A	PREFINISHED SHEET METAL FLASHING
10A	OVERHEAD DOOR
11A	MODULAR WIRE MESH PANEL SYSTEM
12A	PREFABRICATED ALUMINUM BALCONY
12B	PREFINISHED METAL RAILING SYSTEM
13A	MAGIC-PAK LOUVER EXTERNAL GRILLE
13B	DECORATIVE PTAC LOUVER EXTERNAL GRILLE

Exterior Material	Percentage
Brick 1A	4%
Glazing	24%
Metal Panel 5A	6%
3-Coat Cementitious Plaster Finish 7A	49%
Concrete Masonry Veneer 1B (Secondary Material)	1%
Composite Metal 5B (Secondary Material)	0%
Fiber Cement Panel 6A (Secondary Material)	8%
	100%



KEYPLAN - SOUTH

Exterior Material	Percentage
Brick 1A	7%
Glazing	22%
Metal Panel 5A	15%
3-Coat Cementitious Plaster Finish 7A	41%
Concrete Masonry Veneer 1B (Secondary Material)	4%
Composite Metal 5B (Secondary Material)	1%
Fiber Cement Panel 6A (Secondary Material)	9%
Overhead Door	1%
	100%

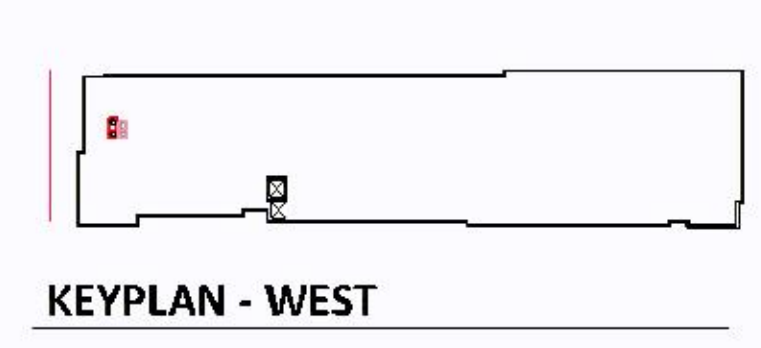


KEYPLAN - NORTH

West Elevation

Exterior Material	Percentage
Brick 1A	7%
Glazing	18%
3-Coat Cementitious Plaster Finish 7A	44%
Metal Panel 5C (Secondary Material)	24%
Fiber Cement Panel 6A (Secondary Material)	7%
	100%

WEST ELEVATION - DOES NOT FACE A PUBLIC STREET, PROPOSED DESIGN INCORPORATES ALTERNATIVE EXTERIOR MATERIAL ALLOWANCES PER SECTION 9.22

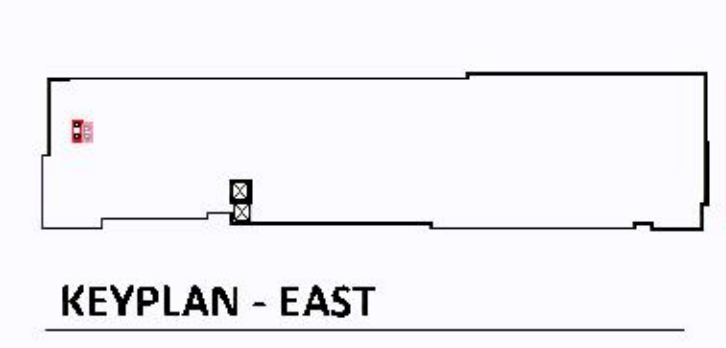


KEYPLAN - WEST

East Elevation

Exterior Material	Percentage
Brick 1A	6%
Glazing	19%
3-Coat Cementitious Plaster Finish 7A	43%
Metal Panel 5A	19%
Concrete Masonry Veneer 1B (Secondary Material)	8%
Fiber Cement Panel 6A (Secondary Material)	5%
	100%

KEYPLAN - EAST



KEYPLAN - EAST

Provided the stucco and metal panel 5A meet City requirements the north, south, and east building elevations meet City Code requirements. The west building elevation would take advantage of the OHO exterior material incentive.

For the metal panel please ensure the panels have a minimum 30-year finish warranty. For steel panels, a minimum 22 gauge panel is required to be considered a "primary" material. The finish and gauge requirement does not apply to secondary panels.

RESPONSE: See provided document "Metal Panel 5A BOD..." - this document includes the base specification we will use for this product.

Provide specification information for Prefinished Metal Wall Panel 5A, City staff is primarily concerned with metal panel finish warranty and panel gauge.

RESPONSE: See provided document "Metal Panel 5A BOD..." - this document includes the base specification we will use for this product.



4 EAST ELEVATION
DRC-2.1 1/16" = 1'-0"



3 WEST ELEVATION
DRC-2.1 1/16" = 1'-0"



2 SOUTH ELEVATION
DRC-2.1 1/16" = 1'-0"



1 NORTH ELEVATION
DRC-2.1 1/16" = 1'-0"

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VIEW OF KNOX STREETSCAPE LOOKING NORTHWEST



VIEW OF 80-1/2 STREETSCAPE LOOKING EAST



VIEW OF LANDSCAPE WALL ALONG KNOX AVENUE AND BUILDING RELATIONSHIP WITH EXISTING BUS STOP



AERIAL VIEW OF 80-1/2 STREET FRONTAGE LOOKING NORTH



VIEW ALONG NORTH SIDE OF BUILDING SHOWING DROP-OFF AREA



VIEW OF NORTH ELEVATION LOOKING SOUTHEAST

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3D VIEWS

DRC-3.0