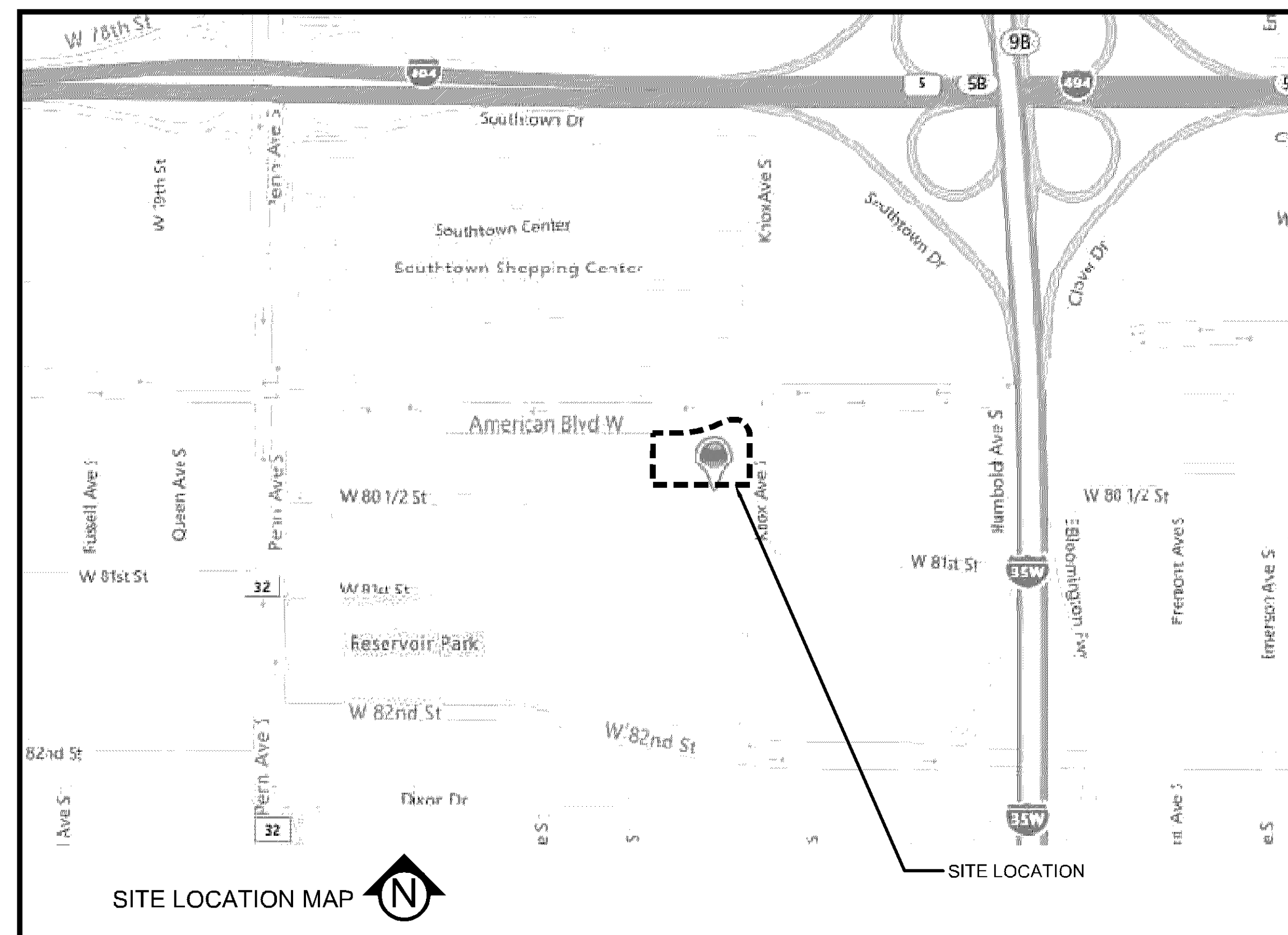


KNOX & AMERICAN II

BLOOMINGTON, MINNESOTA
ISSUED FOR: CITY SUBMITTAL



ARCHITECT:

ESG ARCHITECTURE & DESIGN
500 WASHINGTON AVE S, SUITE 1080
MINNEAPOLIS, MN 55415
CONTACT: ARON THOMAS
612-268-2440

DEVELOPER / PROPERTY OWNER:

STUART DEVELOPMENT CORPORATION
1000 W 80TH STREET
MINNEAPOLIS, MN 55420
CONTACT: RYAN DUNLAY
952-948-9546

ENGINEER / LANDSCAPE ARCHITECT:

CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422 CIVIL ENGINEER CONTACT: MATT PAVEK 612-615-0060 EXT 701	CIVIL SITE GROUP 5000 GLENWOOD AVE GOLDEN VALLEY, MN 55422 LANDSCAPE ARCHITECT CONTACT: BILL BROHMAN 612-615-0060 EXT 710
--	---

SURVEYOR:

CIVIL SITE GROUP
5000 GLENWOOD AVE
GOLDEN VALLEY, MN 55422
CONTACT: RORY SYNSTELIEN
RORY@CIVILSITEGROUP.COM
612-615-0060

GEOTECHNICAL ENGINEER:

BRAUN INTERTEC CORPORATION
11001 HAMPSHIRE AVE S
MINNEAPOLIS, MN 55438
CONTACT: JOSEPH L. WESTPHAL
952-995-2000

ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



Know what's **below**.
Call before you dig.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
V1.0	SITE SURVEY
C1.0	REMOVALS PLAN
C1.1	TREE PRESERVATION PLAN
C2.0	SITE PLAN
C2.1	SITE PLAN - TURNING MOVEMENT EXHIBIT
C2.2	SITE PLAN - EASEMENT EXHIBIT
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	CIVIL DETAILS
C5.1	CIVIL DETAILS
C5.2	CIVIL DETAILS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN NOTES & DETAILS
SW1.0	SWPPP - EXISTING CONDITIONS
SW1.1	SWPPP - PROPOSED CONDITIONS
SW1.2	SWPPP - DETAILS
SW1.3	SWPPP - NARRATIVE
SW1.4	SWPPP - ATTACHMENTS
SW1.5	SWPPP - ATTACHMENTS


PRELIMINARY:
NOT FOR
CONSTRUCTION

KNOX & AMERICAN II

8000 KNOX AVE S, BLOOMINGTON, MN 55431

SIUARI DEVELOPMENI CORPORATION
1000 W 80TH STREET, MINNEAPOLIS, MN 55420

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.


Matthew R. Pavlek
DATE 4-26-23 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
3/9/2023	SKETCH PLAN
4/28/2023	FRE-APP DRG SUBMISSION

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

REVISION SUMMARY

DATE	DESCRIPTION
•	•
•	•
•	•
•	•
•	•

TITLE SHEET

C0.0

BLVD W
(A Public R/W)

AMERICAN BLVD W
C=18
CB=M68
R=5
2
120
EXISTING BUS
BENCH, AND
REMAIN. PROTE
DAM

[9] Sidewalk/Bikeway
Easement per Doc. No
10740796

NO BUILDINGS

PRIVATE DRIVE

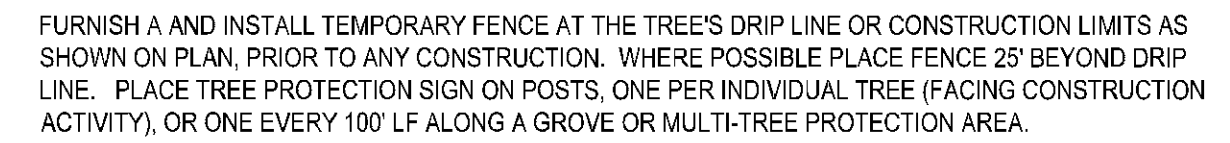
SEALANX

80TH -1/2 STREET

1. RESERVED FOR CITY SPECIFIC REMOVAL NOTES


SEE SWPPP ON SHEETS SW1.0 - SW1.5

1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
3. REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
4. REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
5. EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
6. REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
7. ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE APPROXIMATE. COORDINATE WITH PROPOSED PLANS.
8. EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
9. PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS. WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
10. MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS. FOR ANY WORK ON ADJACENT PRIVATE PROPERTY, THE CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER PRIOR TO ANY WORK.
11. DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
12. PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
13. SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT. SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
14. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
15. ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTMCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED. ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
16. SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
17. STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE DRAWINGS AND MAINTAINED IN A MANNER AS REQUIRED BY THE CITY.
18. ALL EXISTING SITE TRAFFIC/REGULATORY SIGNAGE TO BE INVENTORIED AND IF REMOVED FOR CONSTRUCTION SHALL BE RETURNED TO LGU.
19. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.



TREE PROTECTION

----- 1125 ----- EX. 1' CONTOUR ELEVATION INTERVAL

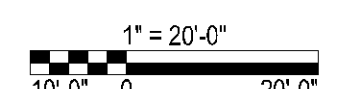
 REMOVAL OF PAVEMENT AND ALL BASE MATERIAL,
INCLUDING BIT., CONC., AND GRAVEL PVMTS.

 REMOVAL OF STRUCTURE INCLUDING
FOOTINGS AND FOUNDATIONS.

 REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY,
COORDINATE WITH LOCAL GOVERNING UNIT.

 TREE PROTECTION

 TREE REMOVAL - INCLUDING ROOTS AND STUMPS



Civil Engineering • Surveying • Landscape Architecture
5000 Glenwood Avenue
Golden Valley, MN 55422
civilsitegroup.com 612-615-0060

esg
ARCHITECTURE & DESIGN

PRELIMINARY:
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CONSTRUCTION

KNOX & AMERICAN II


8000 KNOX AVE S, BLOOMINGTON, MN 55431

STUART DEVELOPMENT CORPORATION
1000 W 80TH STREET, MINNEAPOLIS, MN 55420

1000 W 80TH STREET, MINNEAPOLIS, MN 55420

PROJECT

I HEREBY CERTIFY THAT THIS PLAN,
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SUPERVISION AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF
MINNESOTA.


Matthew R. Pavak
DATE 4-26-23 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
3/3/2023	SKETCH PLAN
4/28/2023	PRE-APP DRC SUBMISSION

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

REVISION SUMMARY

DATE	DESCRIPTION
11/1	
11/2	
11/3	
11/4	
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11/9	
11/10	
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11/29	
11/30	

REMOVALS PLAN

C1.0

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SITE LAYOUT NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER. ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS. STAKE LAYOUT FOR APPROVAL.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET OPENING PERMIT.
- THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS & ELEVATIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS.
- LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO, THE FOLLOWING: FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES. THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A. REQUIREMENTS-SEE DETAIL.
- PAVING SHALL BE 24" WIDE WHITE PAINTED LINE, SPACED 48" ON CENTER PERPENDICULAR TO AFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES.
- SEE SITE PLAN FOR CURB AND GUTTER TYPE. TAPER BETWEEN CURB TYPES-SEE DETAIL.
- ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.
- ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP.
- BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE. SEE LANDSCAPE DOCUMENTS.

Addressed in CSG
response memoAddressed in CSG
response memoAddressed in CSG
response memo

SITE PLAN LEGEND:

- LIGHT DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- HEAVY DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH, SEE DETAIL.
- CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS. WITHIN ROW SEE CITY DETAIL, WITHIN PRIVATE PROPERTY SEE CSG DETAIL.
- PROPERTY LINE
- CONSTRUCTION LIMITS
- CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN

TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS

SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.

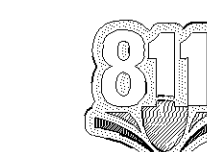
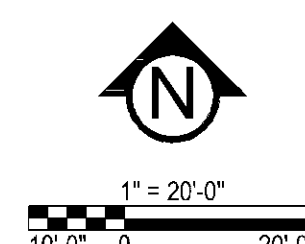
HC = ACCESSIBLE SIGN

NP = NO PARKING FIRE LANE

ST = STOP

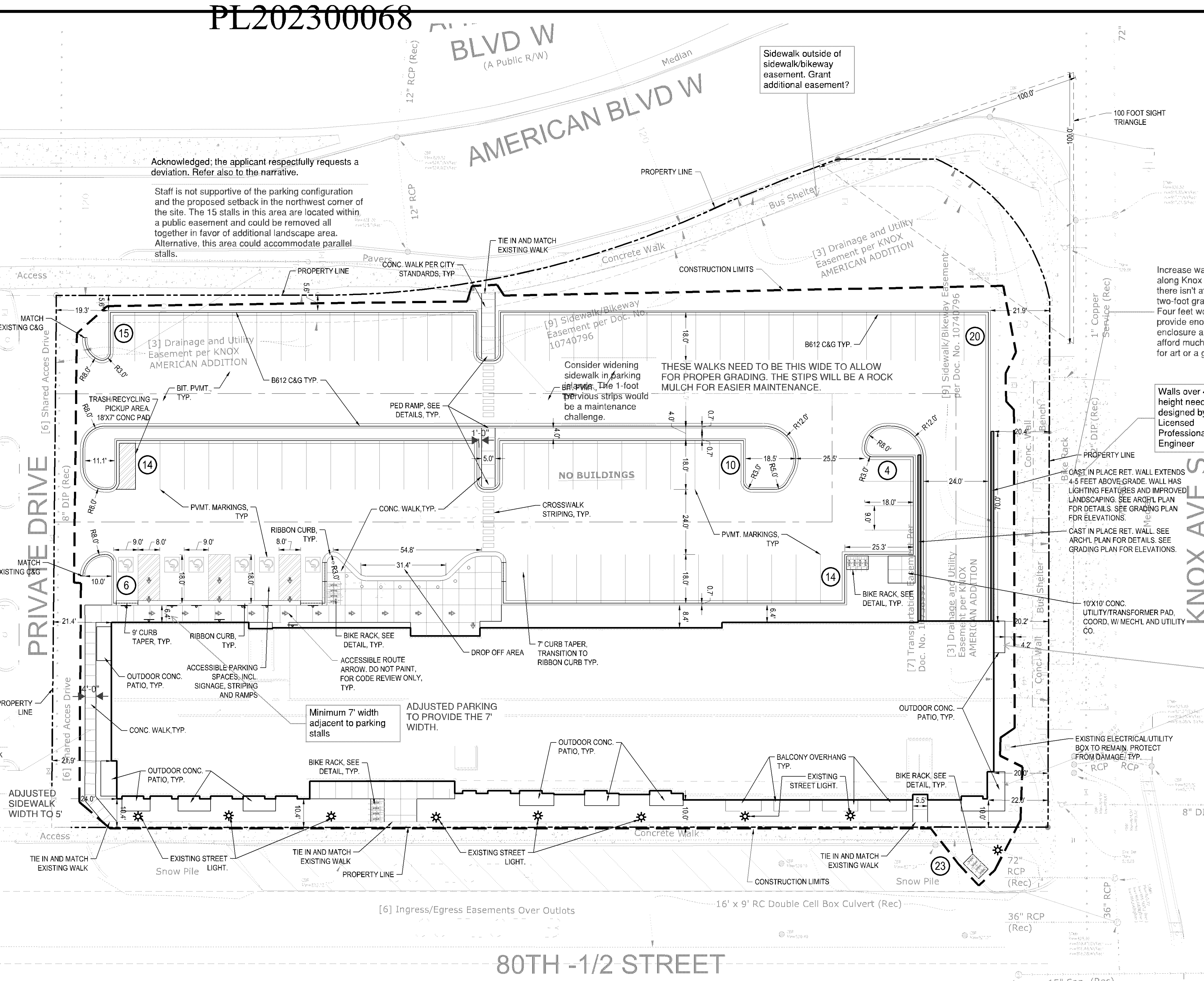
CP = COMPACT CAR PARKING ONLY

ACCESSIBILITY ARROW (IF APPLICABLE) DO NOT PAINT.

Know what's below.
Call before you dig.

1" = 20'-0"

10'-0" 0 20'-0"



CITY OF BLOOMINGTON SITE SPECIFIC NOTES:

- RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

SITE DATA

EXISTING ZONING	COMMUNITY COMMERCIAL (CC)
PROPOSED ZONING	HIGH DENSITY RESIDENTIAL (HDR) RM-100
NUMBER OF UNITS	99
PROPOSED DENSITY	54.82 DU/ACRE
PARKING SPACE	9'X18'
DRIVE AISLE:	24'
SURFACE PARKING LOT SPACES PROPOSED	83
SURFACE PARKING LOT SPACES EXISTING	23
UNDERGROUND PARKING SPACES	50
TOTAL PARKING SPACES	156

OPERATIONAL NOTES:

SNOW REMOVAL	ALL SNOW SHALL BE STORED ON-SITE OUTSIDE PARKING LOT. WHEN FULL, REMOVAL CO. SHALL REMOVE EXCESS OF-SITE
TRASH REMOVAL:	TRASH SHALL BE WHEELED OUT TO EXTERIOR TRASH PICK-UP AREA AND REMOVED BY COMMERCIAL CO. WEEKLY.
DELIVERIES:	DELIVERIES SHALL OCCUR AT THE FRONT DOOR VIA STANDARD COMMERCIAL DELIVERY VEHICLES (UPS, FED-EX, USPS).

SITE AREA TABLE:

SITE AREA CALCULATIONS	EXISTING CONDITION	PROPOSED CONDITION
BUILDING COVERAGE	3,553 SF / 1.1%	20,174 SF 25.6%
ALL PAVEMENTS	59,530 SF 75.7%	43,192 SF 54.9%
ALL NON-PAVEMENTS	13,608 SF 17.3%	15,325 SF 19.5%
TOTAL SITE AREA	78,691 SF 100.0%	78,691 SF 100.0%

IMPERVIOUS SURFACE	
EXISTING CONDITION	65,083 SF 82.7%
PROPOSED CONDITION	63,366 SF 80.5%
DIFFERENCE (EX. VS PROP.)	-1,717 SF -2.2%

PRELIMINARY:
NOT FOR
CONSTRUCTION

LECT KNOX & AMERICAN II

8000 KNOX AVE S, BLOOMINGTON, MN 55431

STUART DEVELOPMENT CORPORATION

1000 W 80TH STREET, MINNEAPOLIS, MN 55420

PROJECT

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
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MINNESOTA.


Matthew R. Pavak
DATE 4-26-23 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
3/9/2023	SKETCH PLAN
4/28/2023	PRE-APP DRC SUBMISSION

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

REVISION SUMMARY

DATE	DESCRIPTION
------	-------------

DATE	DESCRIPTION
i.i.	

A blank coordinate plane with x and y axes. The x-axis is horizontal and the y-axis is vertical, intersecting at the origin. There are tick marks on both axes, but no numerical labels. The grid lines are light gray.

SITE PLAN - TURNING

MOVEMENT EXHIBIT

MOVEMENT EXHIBIT

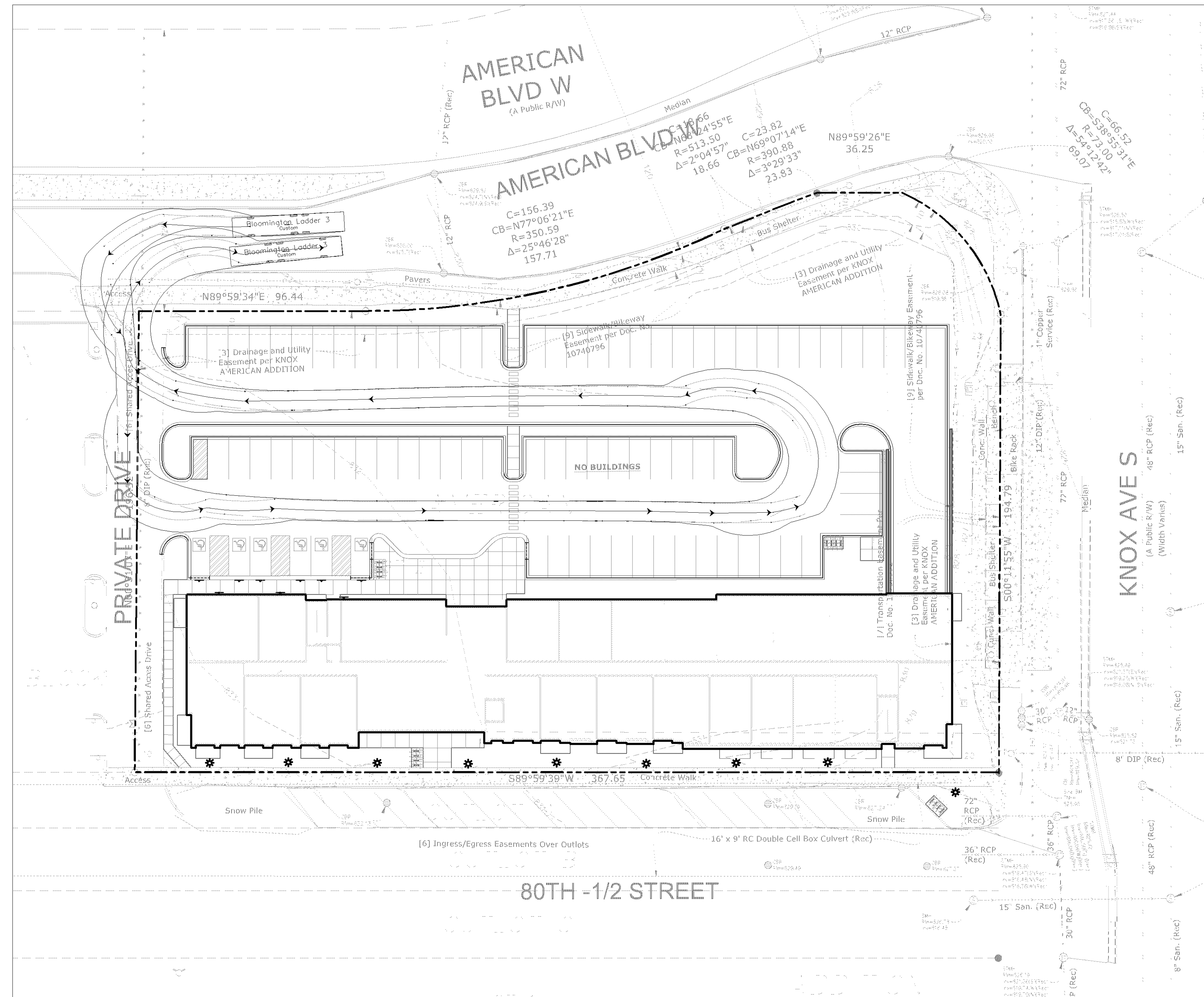
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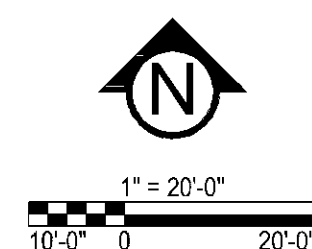
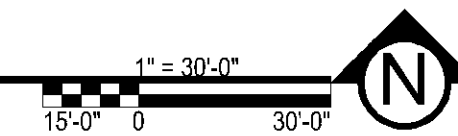
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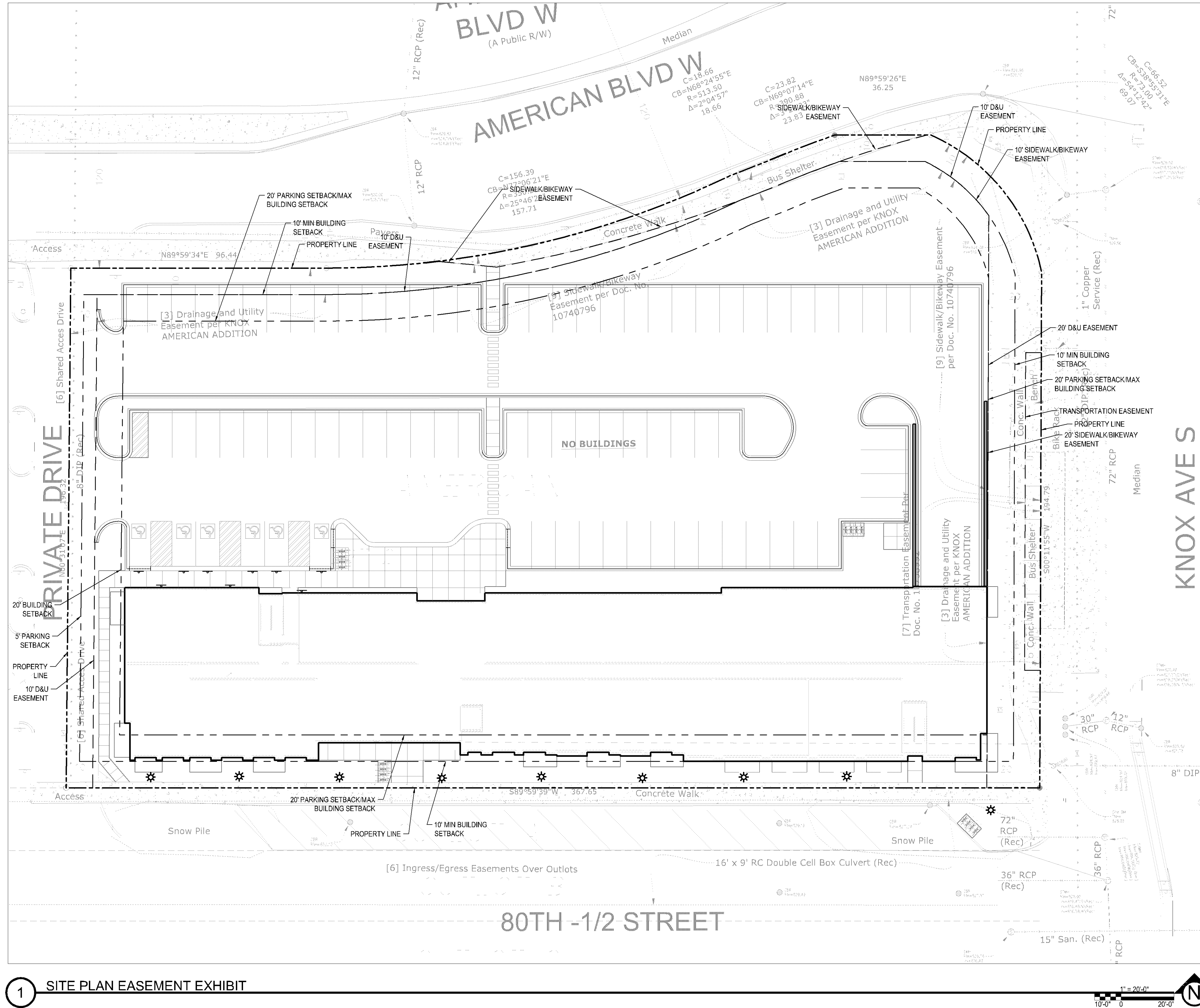
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1 TURNING MOVEMENT EXHIBIT - FIRE TRUCK



C2.1



1 SITE PLAN EASEMENT EXHIBIT

PRELIMINARY:
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PROJECT

KNOX & AMERICAN II
8000 KNOX AVE S, BLOOMINGTON, MN 55431

STUART DEVELOPMENT CORPORATION
1000 W 80TH STREET MINNEAPOLIS, MN 55420

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Matthew R. Pavsek
Matthew R. Pavsek
DATE 4-26-23 LICENSE NO. 44263

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3/9/2023	SKETCH PLAN
4/26/2023	PRE-APP DRG SUBMISSION

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

REVISION SUMMARY	
DATE	DESCRIPTION

SITE PLAN -
EASEMENT EXHIBIT

BLVD W
(A Public R/W)



MULCH SCHEDULE

MULCH SCHEDULE				
AREA	MULCH TYPE	EDGING	FABRIC	REMARKS
TREE RINGS	4" DEPTH, SHREDDED CEDAR	YES	NO	SEE DETAIL SHT. L1.1
PLANTING BEDS	4" DEPTH, DECORATIVE ROCK	YES	NO	SEE DETAIL SHT. L1.1 AND GROUND COVER SCHEDULE
MAINT. STRIP AT BUILDING FOUNDATION	NA	NA	NA	
DOG PARK MULCH	NA	NA	NA	
NATIVE SEED AREAS	NA	NA	NA	
NOTE: COORDINATE ALL MULCH AND PLANTING BED MATERIAL PRIOR TO INSTALLATION. PROVIDE SAMPLES AND SHOP DRAWINGS/PHOTOS/DATA SHEETS OF ALL MATERIALS				

NOTE: COORDINATE ALL MULCH AND PLANTING BED MATERIAL PRIOR TO INSTALLATION, PROVIDE SAMPLES AND SHOP DRAWINGS/PHOTOS/DATA SHEETS OF ALL MATERIALS

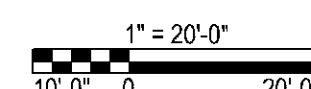
IRRIGATION NOTES:

1. ENTIRE SITE SHALL BE FULLY IRRIGATED. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR IRRIGATION WATER, METER, AND POWER CONNECTIONS.
3. CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND/ABOVE GROUND FACILITIES PRIOR TO ANY EXCAVATION/INSTALLATION. ANY DAMAGE TO UNDERGROUND/ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COSTS ASSOCIATED WITH CORRECTING DAMAGES SHALL BE BORNE ENTIRELY BY THE CONTRACTOR.
4. SERVICE EQUIPMENT AND INSTALLATION SHALL BE PER LOCAL UTILITY COMPANY STANDARDS AND SHALL BE PER NATIONAL AND LOCAL CODES. EXACT LOCATION OF SERVICE EQUIPMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT OR EQUIVALENT AT THE JOB SITE.
5. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR THE PROPOSED ELECTRICAL SERVICE AND METERING FACILITIES.
6. IRRIGATION WATER LINE CONNECTION SIZE IS 1-1/2" AT BUILDING. VERIFY WITH MECHANICAL PLANS/COVERAGE.
7. ALL MAIN LINES SHALL BE 18" BELOW FINISHED GRADE.
8. ALL LATERAL LINES SHALL BE 12" BELLOW FINISHED GRADE.
9. ALL EXPOSED PVC RISERS, IF ANY, SHALL BE GRAY IN COLOR.
10. CONTRACTOR SHALL LAY ALL SLEEVES AND CONDUIT AT 2'-0" BELOW THE FINISHED GRADE OF THE TOP OF PAVEMENT. EXTEND SLEEVES TO 2'-0" BEYOND PAVEMENT.
11. CONTRACTOR SHALL MARK THE LOCATION OF ALL SLEEVES AND CONDUIT WITH THE SLEEVING MATERIAL "ELLED" TO 2'-0" ABOVE FINISHED GRADE AND CAPPED.
12. FABRICATE ALL PIPE TO MANUFACTURER'S SPECIFICATIONS WITH CLEAN AND SQUARE CUT JOINTS. USE QUALITY GRADE PRIMER AND SOLVENT CEMENT FORMULATED FOR INTENDED TYPE OF CONNECTION.
13. BACKFILL ALL TRENCHES WITH SOIL FREE OF SHARP OBJECTS AND DEBRIS.
14. ALL VALVE BOXES AND COVERS SHALL BE BLACK IN COLOR.
15. GROUP VALVE BOXES TOGETHER FOR EASE WHEN SERVICE IS REQUIRED. LOCATE IN PLANT BED AREAS WHENEVER POSSIBLE.
16. IRRIGATION CONTROLLER LOCATION SHALL BE VERIFIED ON-SITE WITH OWNER'S REPRESENTATIVE.
17. CONTROL WIRES: 14 GAUGE DIRECT BURIAL, SOLID COPPER IRRIGATION WIRE. RUN UNDER MAIN LINE. USE MOISTURE-PROOF SPLICES AND SPLICE ONLY AT VALVES OR PULL BOXES. RUN SEPARATE HOT AND COMMON WIRE TO EACH VALVE AND ONE (1) SPARE WIRE AND GROUND TO FURTHEST VALVE FROM CONTROLLER. LABEL OR COLOR CODE ALL WIRES.
18. AVOID OVER SPRAY ON BUILDINGS, PAVEMENT, WALLS AND ROADWAYS BY INDIVIDUALLY ADJUSTING RADIUS OR ARC ON SPRINKLER HEADS AND FLOW CONTROL ON AUTOMATIC VALVE.
19. ADJUST PRESSURE REGULATING VALVES FOR OPTIMUM PRESSURE ON SITE.
20. USE SCREENS ON ALL HEADS.
21. A SET OF AS-BUILT DRAWINGS SHALL BE MAINTAINED ON-SITE AT ALL TIMES IN AN UPDATED CONDITION.
22. ALL PIPE 3" AND OVER SHALL HAVE THRUST BLOCKING AT EACH TURN.
23. ALL AUTOMATIC REMOTE CONTROL VALVES WILL HAVE 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL UNDERNEATH VALVE AND VALVE BOX. GRAVEL SHALL EXTEND 3' BEYOND PERIMETER OF VALVE BOX.
24. THERE SHALL BE 3" MINIMUM SPACE BETWEEN BOTTOM OF VALVE BOX COVER AND TOP OF VALVE STRUCTURE.

The landscaping requirements are substantially greater than what is listed on the plan. The developable area is equivalent to the site area for this development - 78,691 square feet. Please adjust the landscape plan accordingly. The shrub quantity is met.

Addressed in CSG
response memo

EDGING - SHALL BE COMMERCIAL GRADE, 4" DEPTH ALUMINUM, BLACK OR DARK GREEN IN COLOR, INCLUDE ALL CONNECTORS, STAKES, & ALL APPURTENANCES PER MANUF. INSTALL PER MANUF. INSTRU./SPECS.



esg
ARCHITECTURE & DESIGN

PRELIMINARY:
NOT FOR
CONSTRUCTION


CT
KNOX & AMERICAN II

8000 KNOX AVE S, BLOOMINGTON, MN 55431

STUART DEVELOPMENT CORPORATION

11000 W 80TH STREET, MINNEAPOLIS, MN 55420

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED LANDSCAPE ARCHITECT UNDER
THE LAWS OF THE STATE OF MINNESOTA.


Patrick J. Sarver
DATE 4-26-23 LICENSE NO. 24904

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
3/9/2023	SKETCH PLAN
4/28/2023	PRE-APP DRC SUBMISSION

[illegible]

DRAWN BY: JR, BB REVIEWED BY: MP
PROJECT NUMBER: 23027

REVISION SUMMARY

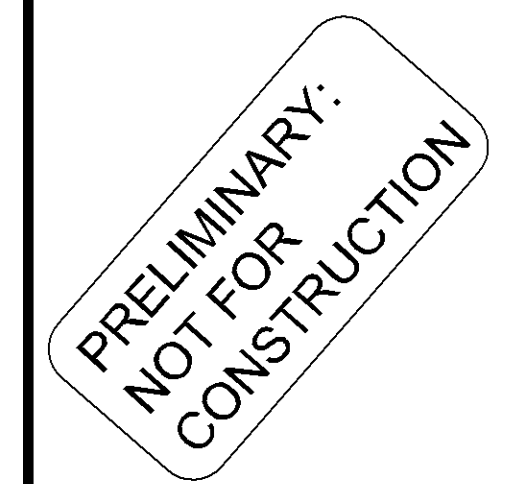
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LANDSCAPE PLAN

L1.0


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PLANT SCHEDULE		
GROUND COVERS	COMMON / BOTANICAL NAME	SIZE
	Decorative Rock Mulch / Decorative Rock Mulch 2"-4" Dresser Trap Rock, uniform in size over filter fabric. Include aluminum edging as shown on plan, or as needed. Provide Samples.	Mulch
	Blue Grass Based / Sod Commercial grade, locally grown, well rooted sod blend of improved Kentucky Bluegrass w/ uniform color, leaf texture, density and varieties consisting of a minimum of two and no more than four common cultivars.	Sod



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LANDSCAPE PLAN
NOTES & DETAILS