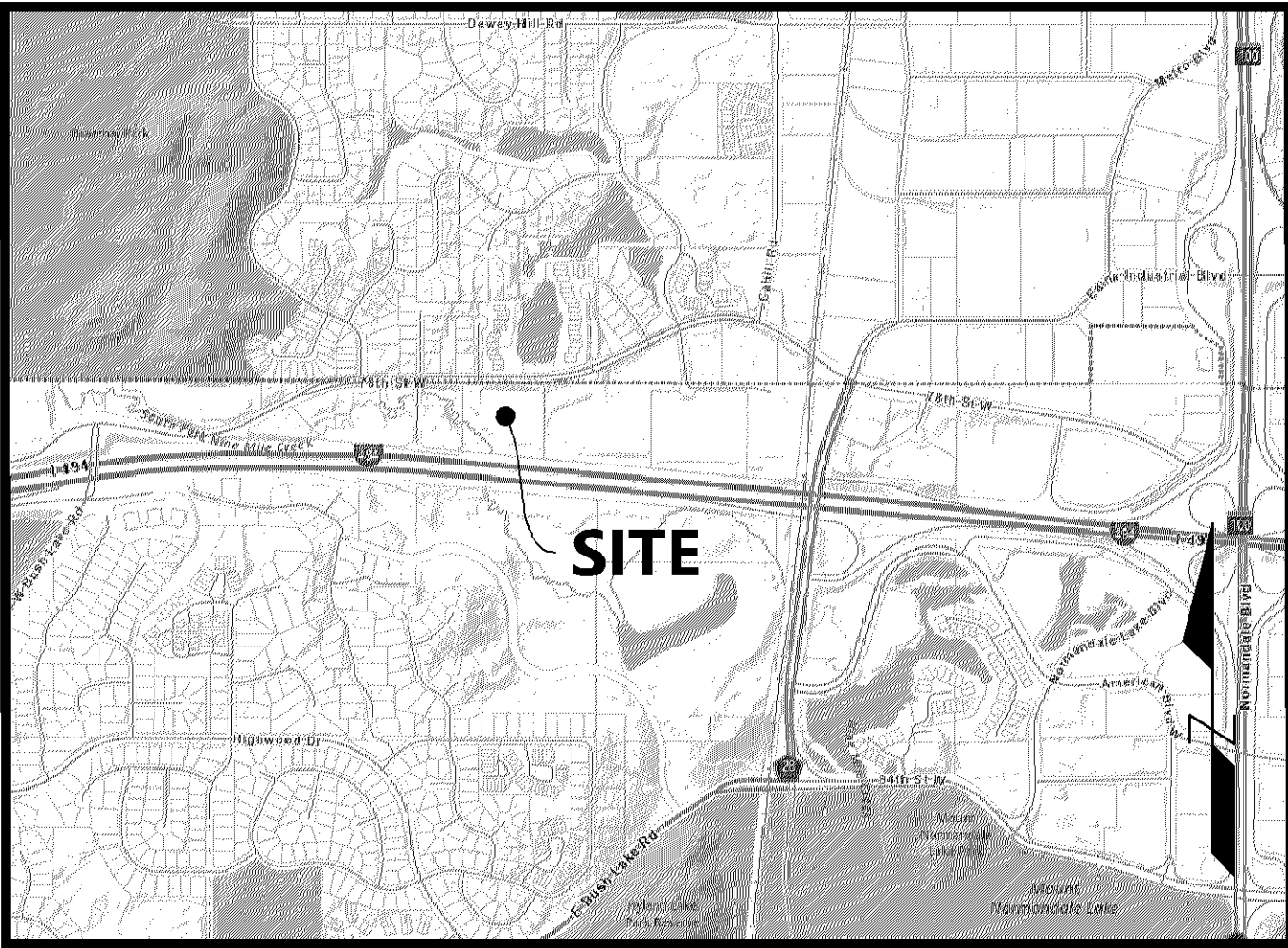


PRELIMINARY DEVELOPMENT PLANS

PL202300193
PL2023-193



Vicinity Map
(NOT TO SCALE)

FOR

ENCLAVE BLOOMINGTON 78TH STREET BLOOMINGTON, MN

PREPARED FOR:

ENCLAVE DEVELOPMENT

300 23RD AVE E, SUITE 300

FARGO, ND 58078

CONTACT: BRIAN BOCHMAN

PHONE: 701-212-8110

EMAIL: BRIAN@ENCLAVECOMPANIES.COM

PREPARED BY:

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoodps.com

Westwood Professional Services, Inc.

PROJECT NUMBER: 0043990.00

CONTACT: SHARI LYNN S. AHRENS

SHEET INDEX

Sheet Number	Sheet Title
C001	COVER
C100	EXISTING CONDITIONS & REMOVALS PLAN
C101	TREE INVENTORY PLAN
C200	SITE PLAN
C201	PRELIMINARY PLAT
C300	GRADING PLAN
C301	WETLAND BUFFER PLAN
C400	EROSION CONTROL PLAN
C500	SANITARY SEWER & WATERMAIN
C501	STORM SEWER PLAN
C600	CITY DETAILS
C601	SITE DETAILS
L100	LANDSCAPE PLAN

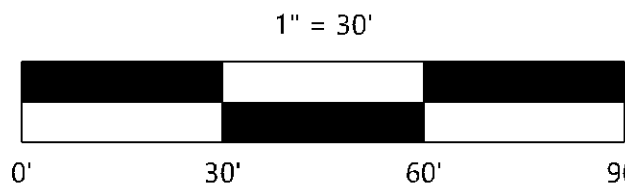
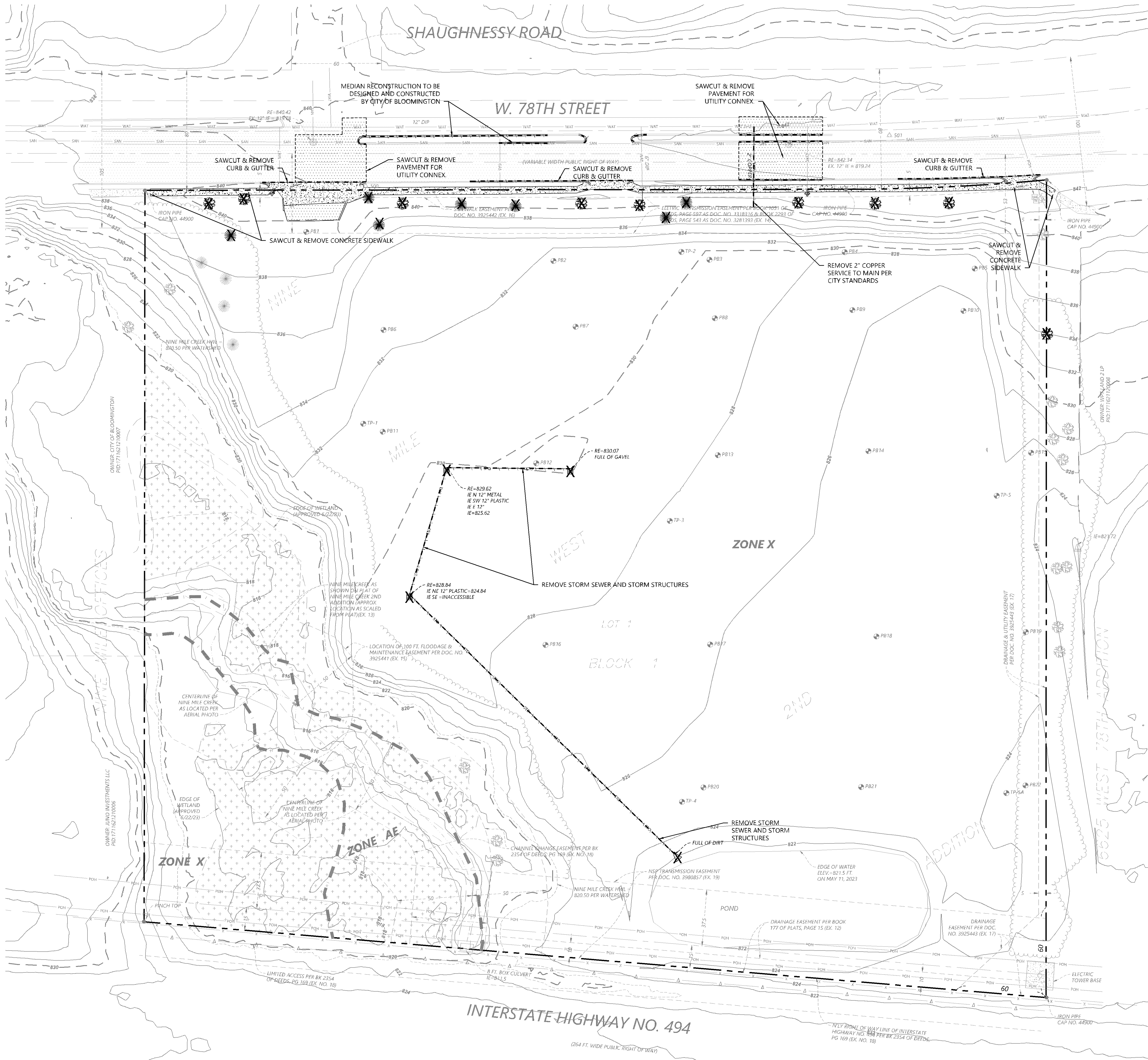
NO.	DATE	REVISION	SHEETS
	12/14/2023	CITY & WATERSHED COMMENTS	ALL
	12/29/2023	ISSUED FOR PERMIT	
	01/10/2024	CITY RESUBMITTAL	C200, C300, C601
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	
	-	-	

PRELIMINARY DEVELOPMENT PLANS

FOR

ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

INITIAL SUBMITTAL DATE: 11/14/2023 SHEET: C001



ISSUED FOR PERMIT

LEGEND

	SANITARY MANHOLE		BOUNDARY LINE
	CATCH BASIN		RIGHT-OF-WAY LINE
	FLARED END SECTION		EASEMENT LINE
	HYDRANT		SECTION LINE
	GATE VALVE		TREE LINE
	GUY WIRE		GAS LINE
	POWER POLE		POWER OVERHEAD
	HAND HOLE/JUNCTION BOX		SANITARY SEWER
	MISCELLANEOUS PEDESTAL		STORM SEWER
	SIGN		WATERMAIN
	SOIL BORING		FENCE LINE
	BUSH/SHRUB		CONTROLLED ACCESS
	CONIFEROUS TREE		CURB & GUTTER
	DECIDUOUS TREE		CONCRETE SURFACE
	FOUND MONUMENT (SEE LABEL)		BITUMINOUS SURFACE
	SET MONUMENT (SEE LABEL)		WETLAND

REMOVAL LEGEND

EXISTING	PROPOSED	PROPERTY LINE
		SAW CUT PAVEMENT
		CURB & GUTTER
		STORM SEWER
		CONCRETE
		BITUMINOUS
		TREE LINE

REMOVAL NOTES

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION.
- CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH UTILITY PROVIDERS FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES AFFECTED BY SITE DEVELOPMENT. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- SEE SURVEY FOR LEGAL DESCRIPTION.
- ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING, AND STORAGE WILL NOT BE ALLOWED. ADD NOTE TO SITE PLAN AND OTHER PLAN SHEETS.

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED	11/14/2023
CHECKED	12/14/2023
DRAWN	12/29/2023
ISSUED FOR PERMIT	01/10/2024
CITY RESUBMITTAL	01/10/2024
VERTICAL SCALE	6" = 1'
HORIZONTAL SCALE	1" = 30'

PREPARED FOR:
ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 500
FARGO, ND 58078

PROJECT LOCATION: 300 23RD AVE. E. SUITE 500, FARGO, ND 58078
OWNER: ENCLAVE DEVELOPMENT
DATE: 01/10/2024
ENGINEER: SWARTZMAN S. JENSEN
42797

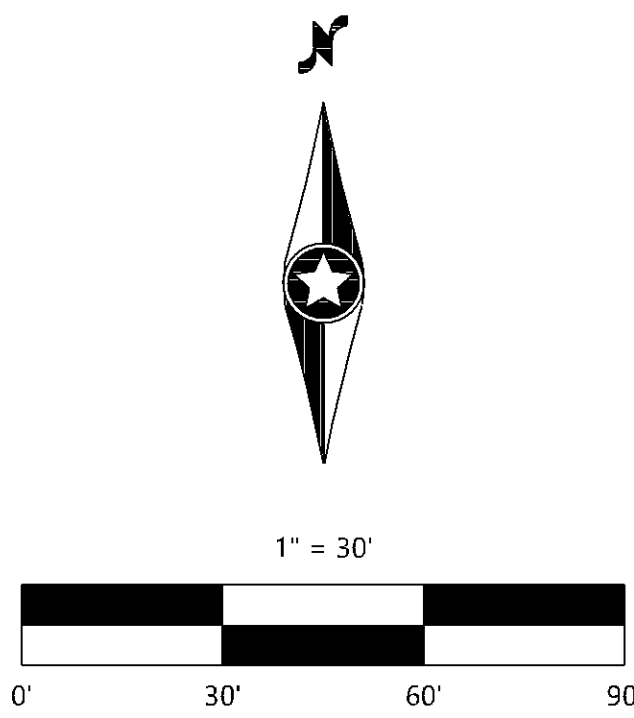
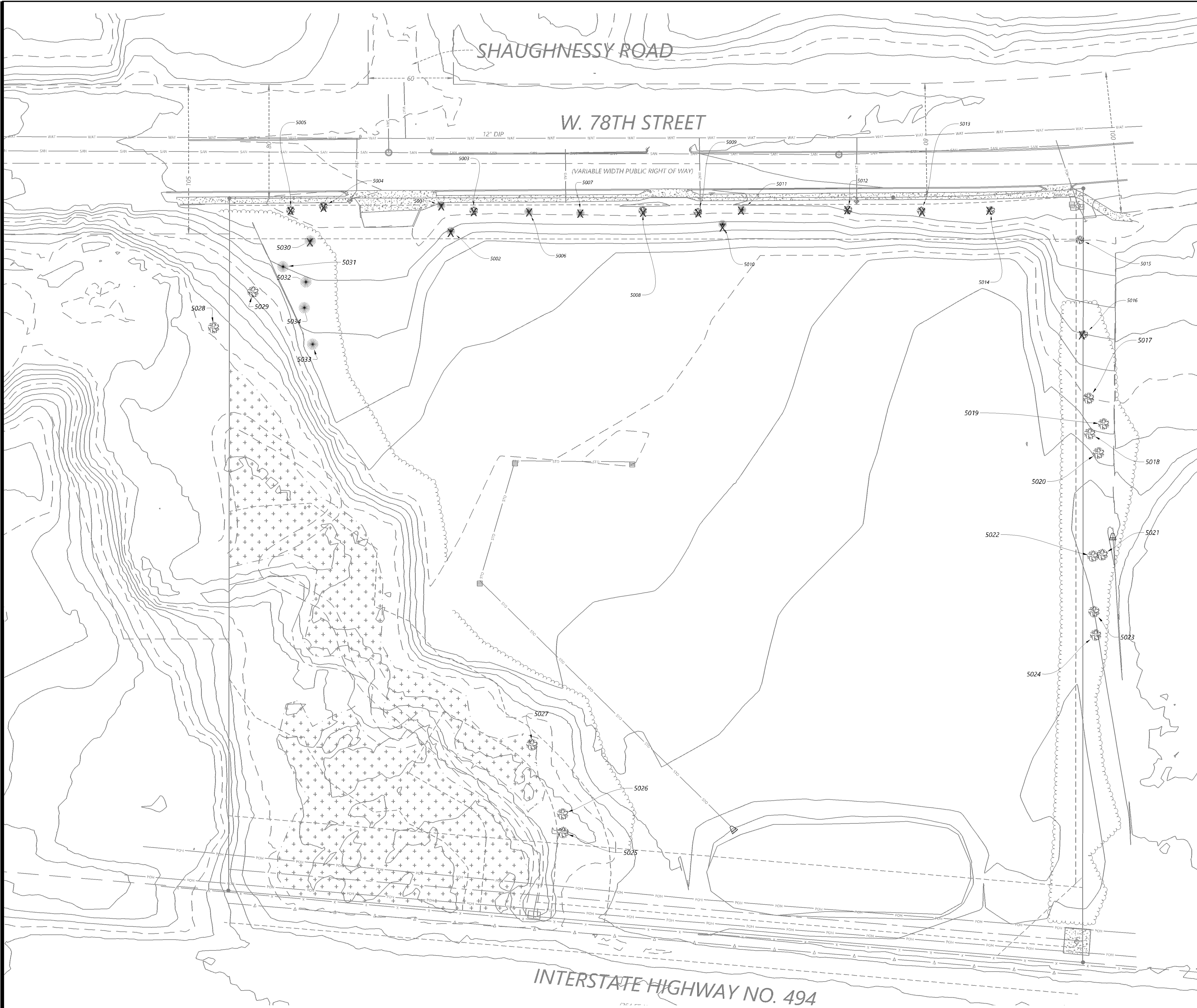
ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
1525 Westwood Drive, Suite 200
Fargo, ND 58103
Phone: (701) 785-1234
Fax: (701) 785-1235
www.westwoodps.com

EXISTING CONDITIONS & REMOVALS PLAN

SHEET NUMBER:
C100
DATE: 01/10/2024
PROJECT NUMBER: 0043990.00

ENCLAVE BLOOMINGTON 78TH STREET



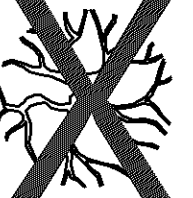
PL202300193
PL2023-193

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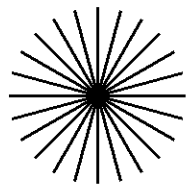
LANDSCAPE LEGEND



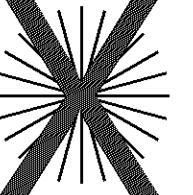
EXISTING DECIDUOUS TREE



DECIDUOUS TREE FOR REMOVAL



EXISTING CONIFEROUS TREE



CONIFEROUS TREE FOR REMOVAL

PRESERVATION SUMMARY

MITIGATION/REFORESTATION NOT REQUIRED

PER CITY OF BLOOMINGTON TREE PRESERVATION CODE (21.301.14): The regulations contained in this section apply to all proposed single- and two-family residential lots for which a plat application was received after August 31, 2006, with the exception of plats that create only lot line adjustments and do not alter the number of lots. The regulations continue to apply for a period of two years after the date the plat was recorded with the county.

TREE INVENTORY

Tree ID	Species	DBH (in)	Significant	Removal
5001	Norway Spruce	18	X	X
5002	Norway Spruce	17	X	X
5003	Sugar Maple	18	X	X
5004	Green Ash	14	X	X
5005	Green Ash	34	X	X
5006	Norway Spruce	18	X	X
5007	Norway Spruce	11	X	X
5008	Sugar Maple	25	X	X
5009	Norway Maple	18	X	X
5010	Norway Spruce	17	X	X
5011	Norway Spruce	13	X	X
5012	Green Ash	26	X	X
5013	Green Ash	24	X	X
5014	Green Ash	18	X	X
5015	Hackberry	9		
5016	Bur Oak	23	X	X
5017	Bur Oak	22	X	
5018	Cottonwood	38	X	
5019	Cottonwood	42,18		
5020	Cottonwood	62,32		
5021	Cottonwood	24	X	
5022	Cottonwood	51	X	
5023	Green Ash	13	X	
5024	Cottonwood	15	X	
5025	American Elm	12	X	
5026	American Elm	18	X	
5027	American Elm	14	X	
5028	Bur Oak	11	X	
5029	Bur Oak	21	X	
5030	Red Pine	12	X	X
5031	Red Pine	19	X	
5032	Red Pine	12	X	
5033	Red Pine	14	X	
5034	Red Pine	12	X	

DESIGNED	SSA
CHECKED	SSA
DRAWN	AWJ
APPROVED	BP
DATE	01/10/2024
SCALE	6" = 3'

INITIAL ISSUE	11/14/2023
REVISIONS	
12/14/2023	CITY & WATERSHED COMMENTS
12/29/2023	ISSUED FOR PERMIT
01/10/2024	CITY RESUBMITTAL

PREPARED FOR:
ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 500
FARGO, ND 58078

DESIGNED BY: JEFFERY R. WESTENDORF
CHECKED BY: JEFFERY R. WESTENDORF
DRAWN BY: JEFFERY R. WESTENDORF
DATE: 01/10/2024
SCALE: 1" = 400' 18"

ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
12701 Westwood Drive, Suite 400
Fargo, ND 58103
Phone: (701) 785-1000
Fax: (701) 785-1001
www.westwoodpro.com

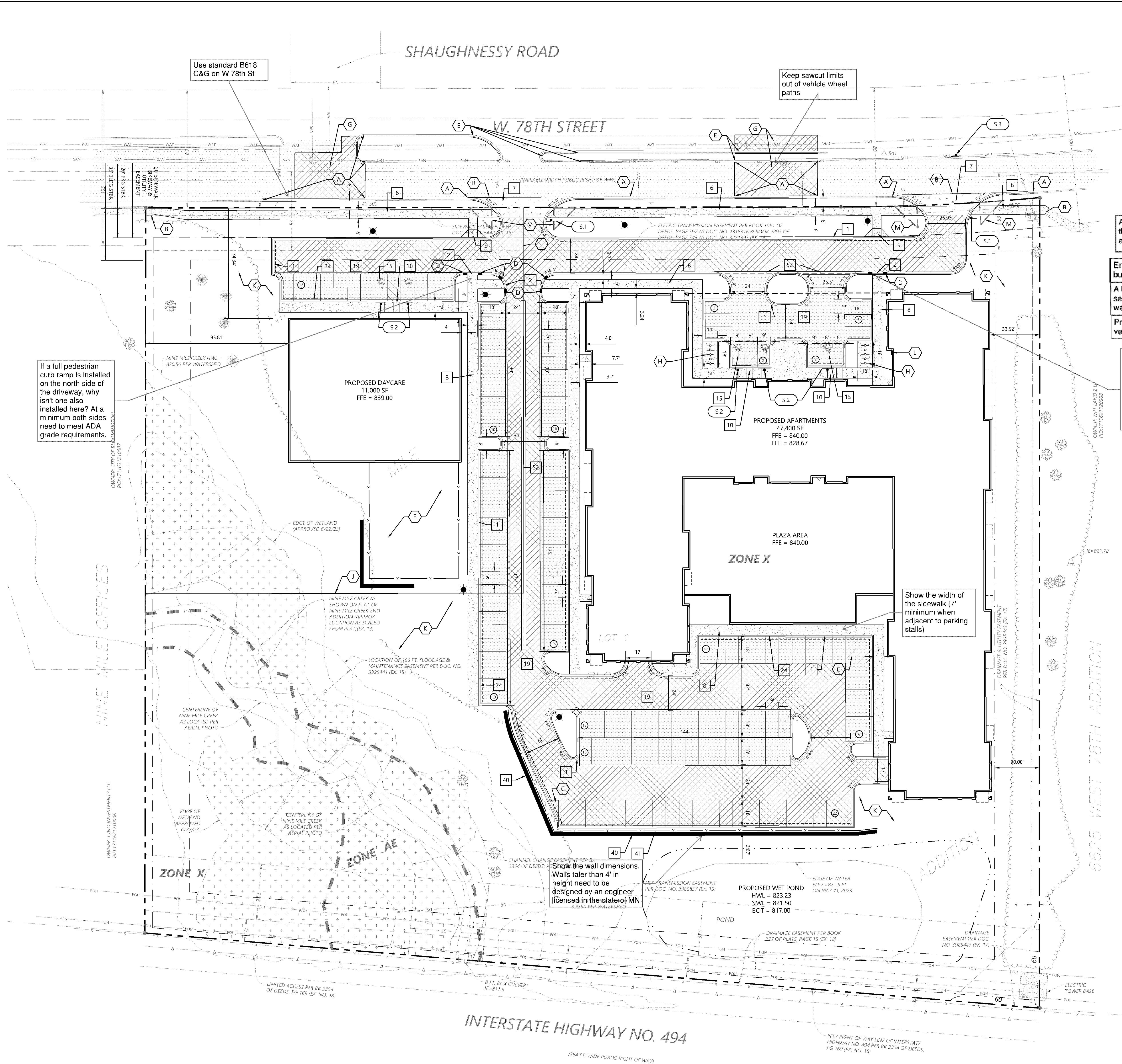
TREE INVENTORY PLAN

SHEET NUMBER:
C101

DATE: 01/10/2024

PROJECT NUMBER: 0043990.00

ENCLAVE BLOOMINGTON 78TH STREET

PL202300193
PL2023-193Call 48 Hours before digging:
811 or call 811.com
Common Ground Alliance

SITE LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		LOT LINE
		SETBACK LINE
		EASEMENT LINE
		CURB AND GUTTER
		TIP-OUT CURB AND GUTTER
		POND NORMAL WATER LEVEL
		RETAINING WALL
		FENCE
		CONCRETE PAVEMENT
		CONCRETE SIDEWALK
		HEAVY DUTY BITUMINOUS PAVEMENT
		NORMAL DUTY BITUMINOUS PAVEMENT
		NUMBER OF PARKING STALLS
		TRANSFORMER
		SITE LIGHTING
		TRAFFIC SIGN
		POWER POLE

GENERAL SITE NOTES

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, MINNETONKA, MN, 5/11/2023.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII ARE SHALL BE 3.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE 8612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.
- ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING AND STORAGE OF EQUIPMENT AND MATERIALS MUST BE ON-SITE. USE OF PUBLIC STREETS FOR PRIVATE CONSTRUCTION PARKING, LOADING/UNLOADING, AND STORAGE WILL NOT BE ALLOWED. ADD NOTE TO SITE PLAN AND OTHER PLAN SHEETS.

SITE DEVELOPMENT SUMMARY

• ZONING:	C-4, FREEWAY OFFICE (PLANNED DEV.)
• PARCEL DESCRIPTION:	LOT 1, BLOCK 1, NINE MILE WEST 2ND ADDITION
• PROPERTY AREA:	308,232 SF (7.076 AC)
• EXISTING IMPERVIOUS SURFACE:	322 AC (45.5%)
• PROPOSED IMPERVIOUS SURFACE:	346 AC (48.9%)
• BUILDING GROSS SIZE:	58,400 SF
• MULTI-FAMILY:	47,400 SF
• DAYCARE:	11,000 SF
• BUILDING SETBACK PER CODE:	35'-FRONT 30'-SIDE 30'-REAR
• PARKING SETBACK:	20'-FRONT AND ROW 5'-SIDE AND REAR
• PARKING SPACE/DRIVE AISLE:	9' WIDE X 18' LONG, 24' AISLE
• PARKING RATIO REQUIREMENT	CITY OF BLOOMINGTON
• VEHICLE PARKING	18R OR EFFICIENCY - 1.6 STALLS PER UNIT 28R AND GREATER - 2 STALLS PER UNIT 25'-78' X 1.6 = 165 STALLS 98' X 2.0 = 196 STALLS 361 STALLS
• APARTMENT REQUIRED:	361 STALLS
• DAYCARE REQUIRED:	1 STALL PER CAREGIVER, 1.2 STALLS PER 10 STUDENTS 30'1" X 150'1.2/10 = 30 + 18 48 STALLS
• TOTAL REQUIRED PARKING ON SITE:	325 + 48 = 373 STALLS
• PROPOSED:	358 STALLS (209 ENCLOSED, 149 SURFACE)

OPPORTUNITY HOUSING ORDINANCE REDUCTION

10% (9% AFFORDABLE):
TOTAL REQUIRED WITH OHO:ESTIMATED DAYCARE REQUIRED:
TOTAL DAYCARE REQUIREDTOTAL REQUIRED PARKING ON SITE:
PROPOSED:**OPPORTUNITY HOUSING ORDINANCE CONVERSION**
10% ENCLOSED ALLOWED TO BE CONVERTED TO EXTERIOR PARKING

SITE DETAILS (SI-0XX)

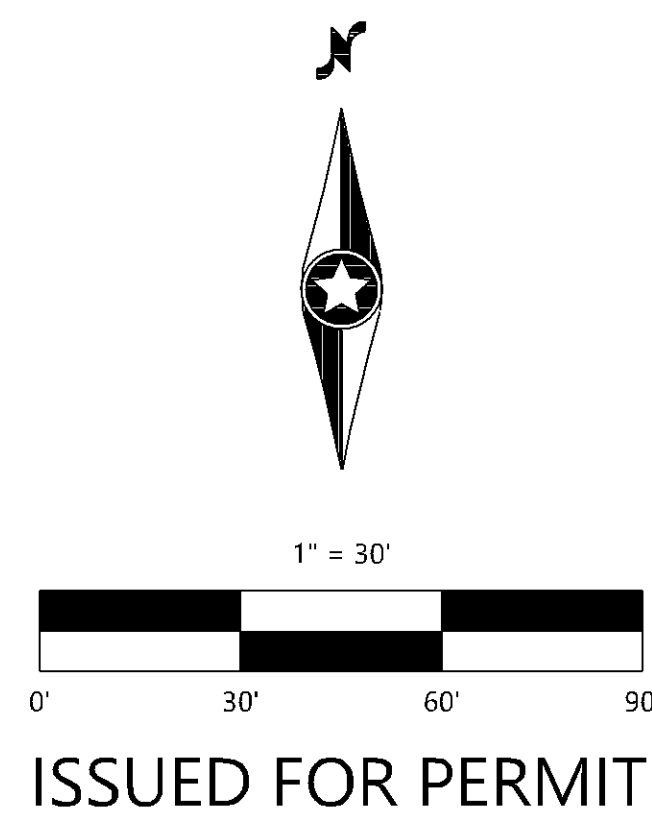
- 8612 CURB AND GUTTER
- FLUSH CURB AND GUTTER
- PUBLIC SIDEWALK (CITY PLATE 120)
- COMMERCIAL DRIVEWAY (CITY PLATE 100)
- PRIVATE CONCRETE SIDEWALK
- PRIVATE PEDESTRIAN CURB RAMP
- PRIVATE PARALLEL PEDESTRIAN CURB RAMP
- HANDICAP ACCESSIBLE SIGNAGE AND STRIPING
- PAVEMENT SECTIONS
- CONCRETE CURB AT SIDEWALK
- MODULAR BLOCK RETAINING WALL
- FENCE AT MODULAR BLOCK RETAINING WALL
- CONCRETE VALLEY GUTTER

SITE KEYNOTES

- A MATCH EXISTING CURB (78TH AVENUE CURB TO BE MNDOT 8618)
- B MATCH EXISTING PAVEMENT WITH SAWCUT
- C PAINT 4" WHITE DIAGONAL STRIPING
- D TRANSITION CURB (SEE GRADING PLAN)
- E COORDINATE MEDIAN RECONSTRUCTION WITH CITY OF BLOOMINGTON
- F PLAYGROUND AREA
- G RECONSTRUCT CITY STREET & MEDIAN AFTER UTILITY CONNECTIONS PER CITY STANDARDS
- H BIKE RACKS (SEE ARCH FOR DETAILS)
- I PROPOSED LOT LINE
- J SNOW STORAGE AREA
- K FIRE DEPT. CONNECTION
- L 15' CLEAR VIEW TRIANGLE

SIGN LEGEND

REFERENCE	SIZE	MNDOT DESIGNATION
S.1 STOP SIGN	30" X 30"	R1-1
S.2 HANDICAP ACCESSIBLE	12" X 18"	R7-8M
S.3 ONE WAY	36" X 12"	R6-2R



DESIGNED	11/14/2023
CHECKED	12/14/2023
DRAWN	12/29/2023
ISSUED FOR PERMIT	01/10/2024
CITY RESUBMITAL	01/10/2024
VERTICAL SCALE	6" = 1'

PREPARED FOR:
ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 300
FARGO, ND 58103DESIGNED BY: ENCLAVE DEVELOPMENT
CITY OF BLOOMINGTON
DATE: 01/10/2024
LENSE NO. 42797ENCLAVE BLOOMINGTON 78TH
STREET
BLOOMINGTON, MNWestwood
Professional Services, Inc.
1525 Westwood Drive, Suite 200
Bloomington, MN 55410
Phone: 612.913.5100
Fax: 612.913.5101
www.westwoodps.com

SITE PLAN

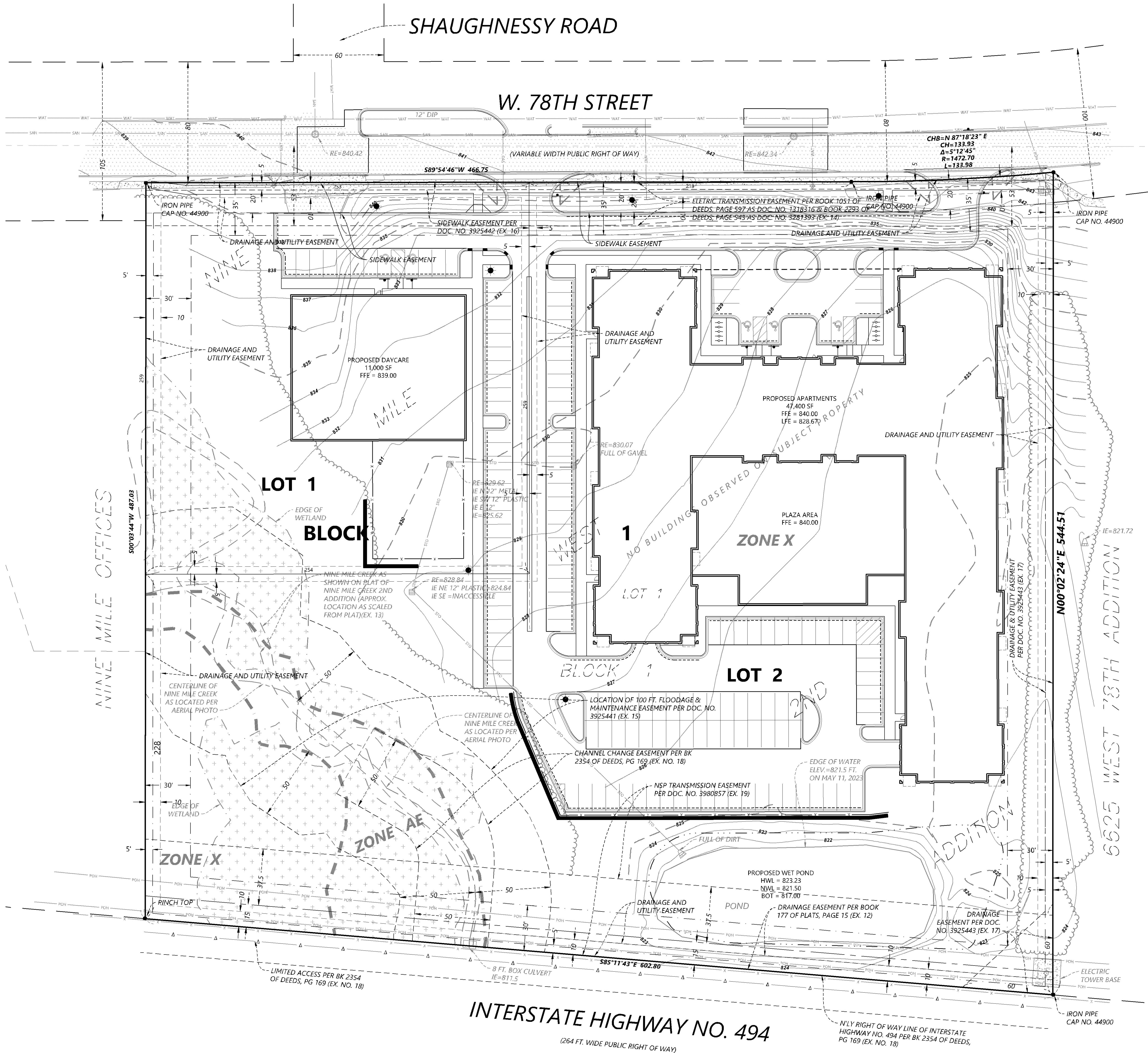
SHEET NUMBER:

C200

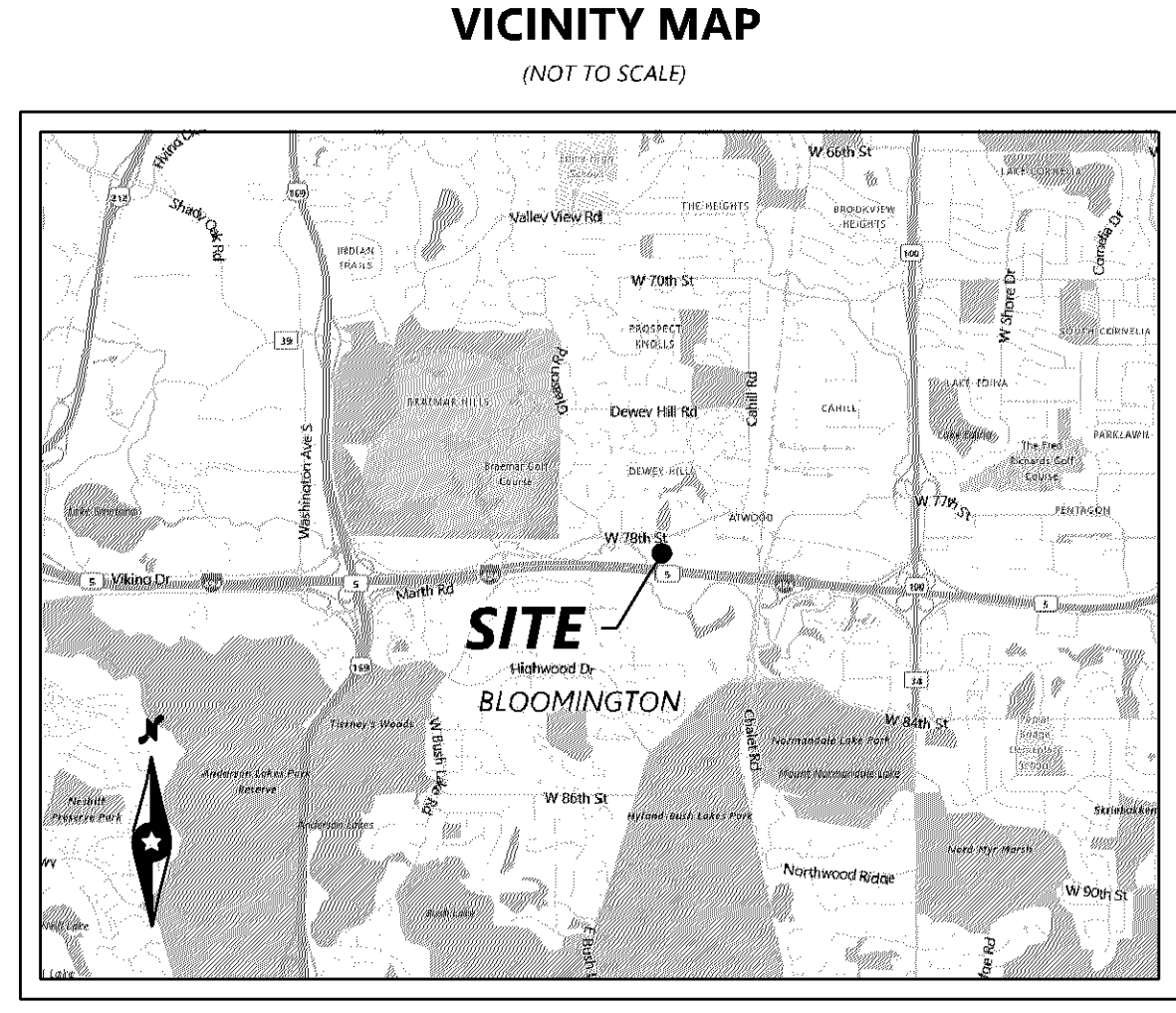
DATE: 01/10/2024

PROJECT NUMBER: 0043990.00

ENCLAVE BLOOMINGTON 78TH STREET



PL202300193
PL2023-193



Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

LEGAL DESCRIPTION

The following information was provided in First American Title Insurance Company National Commercial Services File Number NCS-1176533-MPLS which has an effective date of April 16, 2023:

Lot 1, Block 1, Nine Mile West 2nd Addition, according to the recorded plat thereof, Hennepin County, Minnesota.
(Abstract Property)

GENERAL NOTES

- Bearings of property lines shown hereon are based on the Hennepin coordinate system, (NAD 83 - 2011 Control Adjustment).
- The address of the surveyed parent property is 6701 W. 78th Street, Bloomington, MN.
- Lengths of lines and distances between features are measured in US-Survey Feet.
- Elevations and ground contours shown hereon are relative to the NAVD88 vertical datum and are relative to Mndot Benchmark 2785 BM which has an elevation of 863.15 ft.
- The description of the property provided by title is contiguous internally with no gaps, gores or overlaps. There were no adjoining deeds provided and as such Westwood cannot certify as to the contiguity around the perimeter of the subject property boundary.

LOT AREA CHART

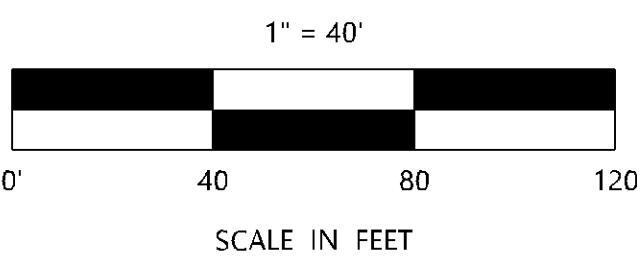
LEGAL DESCRIPTION	LOT AREA (ACRE)
LOT 1, BLOCK 1	1.51 AC.
LOT 2, BLOCK 1	5.56 AC.
TOTAL	7.07 AC.

OWNER:
L77 REAL ESTATE COMPANY
PID: 1711621210004

SURVEYOR/ENGINEER
Westwood Professional Services, Inc.
72701 Whitewater Drive, Suite #300
Minnetonka, Minnesota 55343

LEGEND

BOUNDARY LINE	SANITARY MANHOLE	POWER POLE	SANITARY SEWER
LOT LINE	CATCH BASIN	HAND HOLE/JUNCTION BOX	STORM SEWER
RIGHT-OF-WAY LINE	FLARED END SECTION	MISCELLANEOUS PIEDISTAL	FENCE LINE
ADJACENT LINE	CULVERT	SKIN	CONTROLLED ACCESS
EASEMENT LINE	HYDRANT	TREE LINE	FEMA BOUNDARY LINE
BUILDING OR PARKING SETBACK LINE	GATE VALVE	GAS LINE	CURB & GUTTER
FOUND MONUMENT (SEE LABEL)	GUY WIRE	POWER OVERHEAD	CONCRETE SURFACE
			BITUMINOUS SURFACE
			WETLAND



DESIGNED	SSA
CHECKED	SSA
DRAWN	AWJ
ISSUED FOR PERMIT	AWJ
CITY RESUBMITTAL	AWJ
HORIZONTAL SCALE	6" = 1'
VERTICAL SCALE	6" = 3'

PREPARED FOR:
ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 300
FARGO, ND 58108

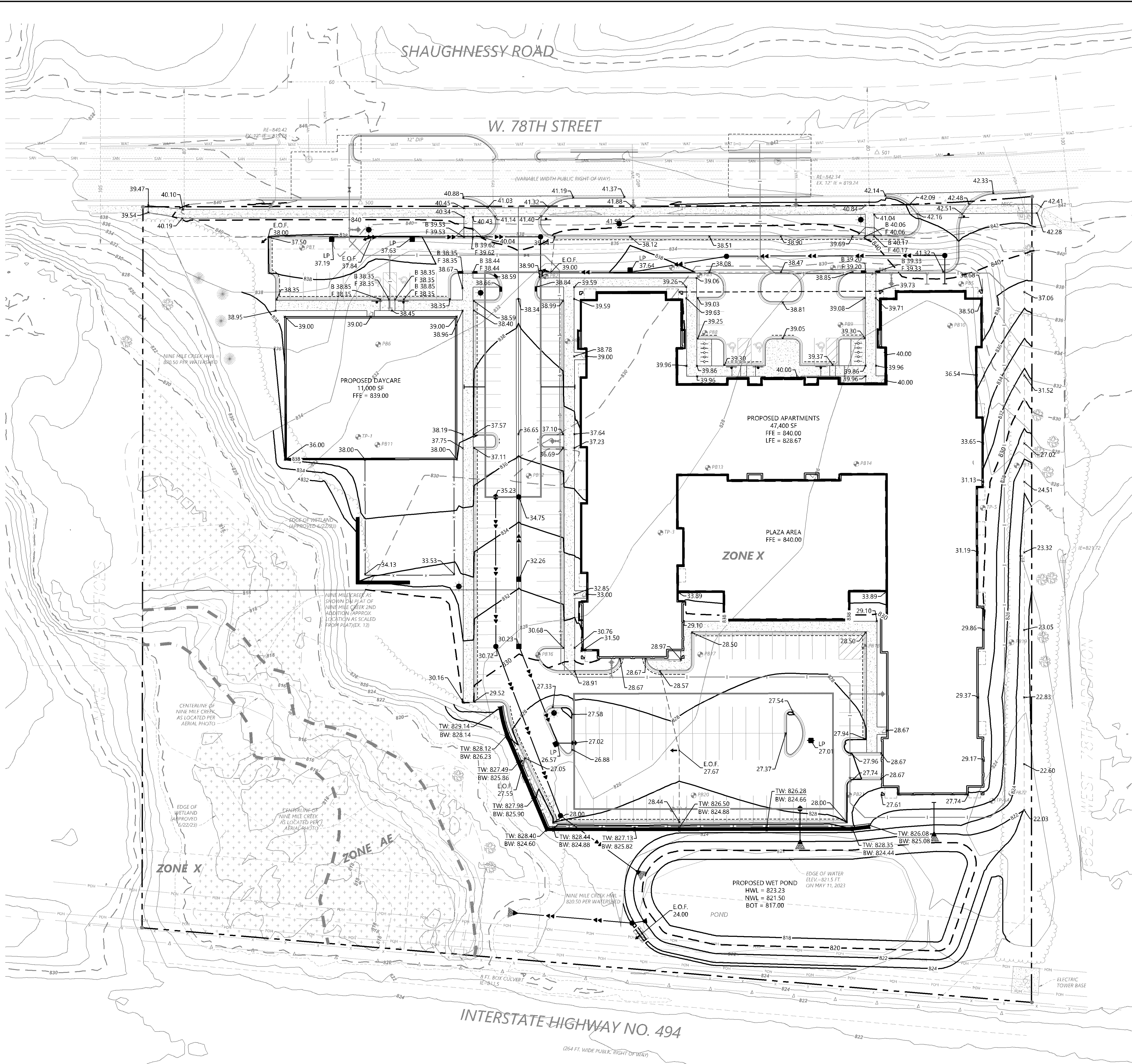
DATE 07/10/2024
DRAWN BY S. ADRENS
DATE 07/10/2024
REVISION NO. 42797

ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
72701 Whitewater Drive, Suite #300
Minnetonka, MN 55343
Phone: (952) 835-5522
Fax: (952) 835-5520
www.westwoodps.com

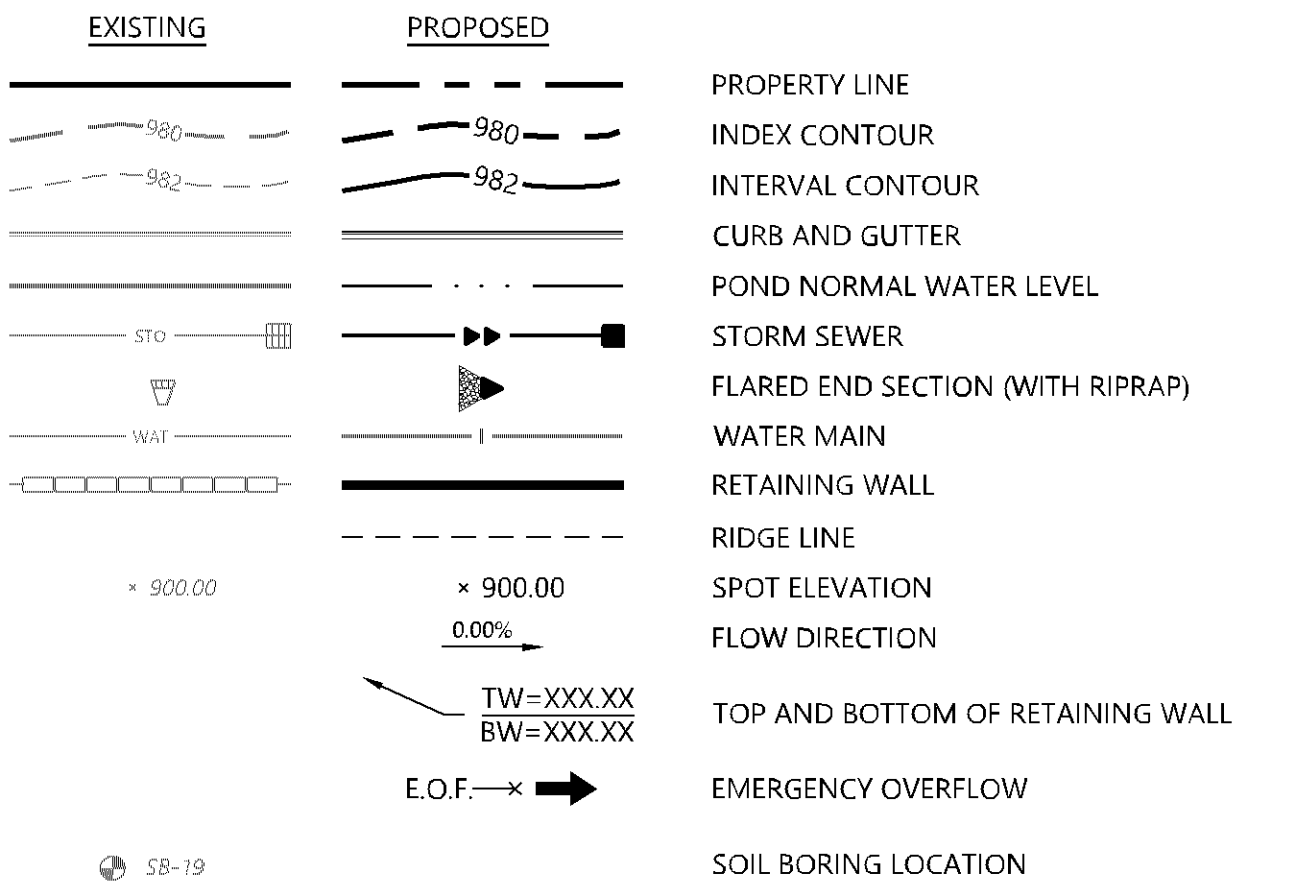
NINE MILE WEST FOURTH ADDITION PRELIMINARY PLAT

SHEET NUMBER:
C201
DATE: 01/10/2024
PROJECT NUMBER: 0043990.00



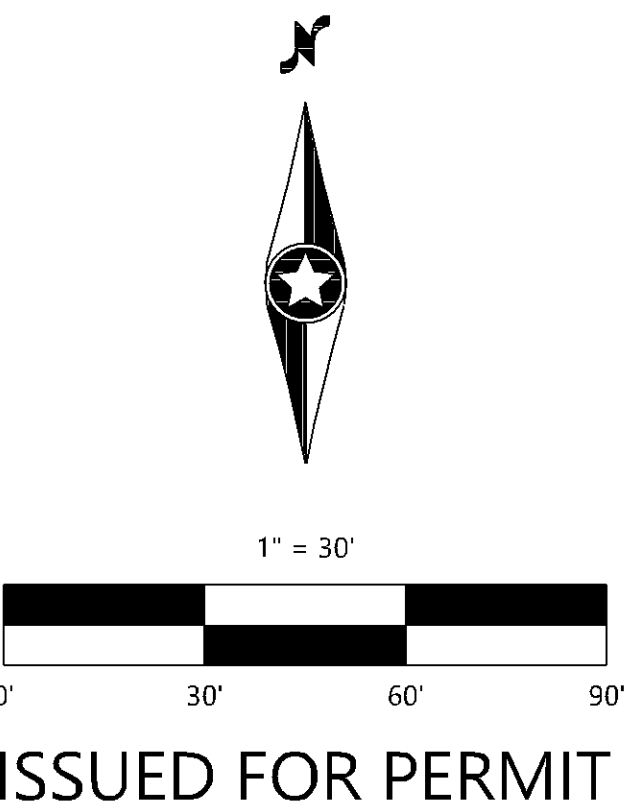
PL202300193
PL2023-193

GRADING LEGEND



GRADING NOTES

1. LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
3. ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
4. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
6. ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
7. CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
8. SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
9. SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
10. CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
11. CONTRACTOR SHALL PROVIDE A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
12. ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
13. PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUIVALENT, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RE-COMPACTED AS SPECIFIED HEREIN.
14. EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
15. EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
16. ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



DESIGNED	SSA
CHECKED	SSA
DRAWN	AWL
DATE	12/29/2023
ISSUED FOR PERMIT	12/29/2023
CITY RESUBMITTAL	01/10/2024
VERTICAL SCALE	6" = 3'

PREPARED FOR:
ENCLAVE DEVELOPMENT
300 28RD AVE. - SUITE 500
FARGO, ND 58078

DESIGNED BY: SSA
CHECKED BY: SSA
DRAWN BY: AWL
DATE: 01/10/2024
PROJECT NO.: 0043990

ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

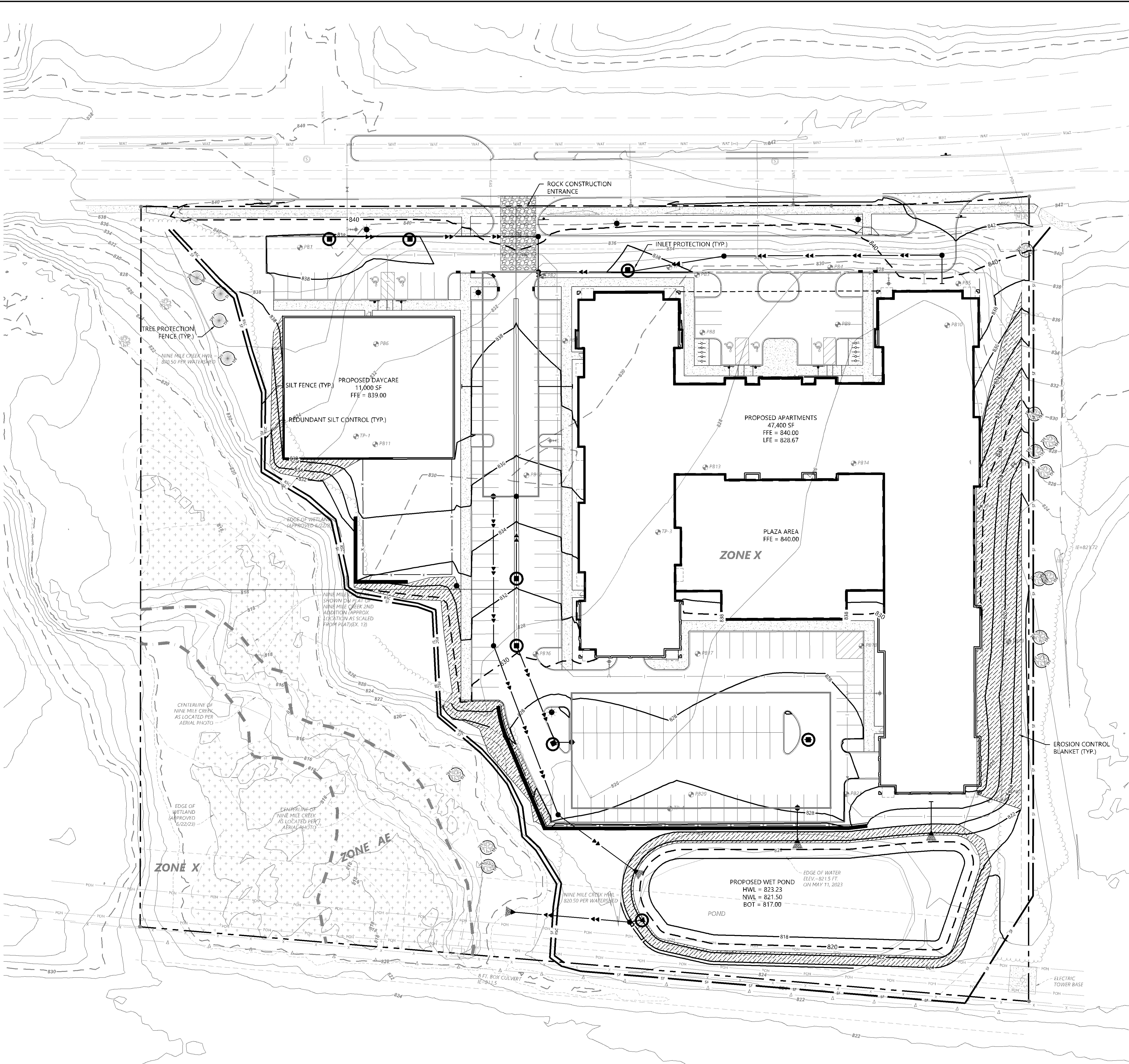
Westwood
Professional Services, Inc.
1525 Westwood Drive, Suite 500
Bloomington, MN 55403
Phone: (612) 833-5522
Fax: (612) 833-5523
www.westwoodps.com

GRADING PLAN

C300

DATE: 01/10/2024

PROJECT NUMBER: 0043990.00



PL202300193
PL2023-193

EROSION CONTROL LEGEND

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		REDUNDANT SILT CONTROL
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		RETAINING WALL
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		SOIL BORING LOCATION
		INLET PROTECTION
		TREE PROTECTION FENCE

GENERAL EROSION CONTROL NOTES

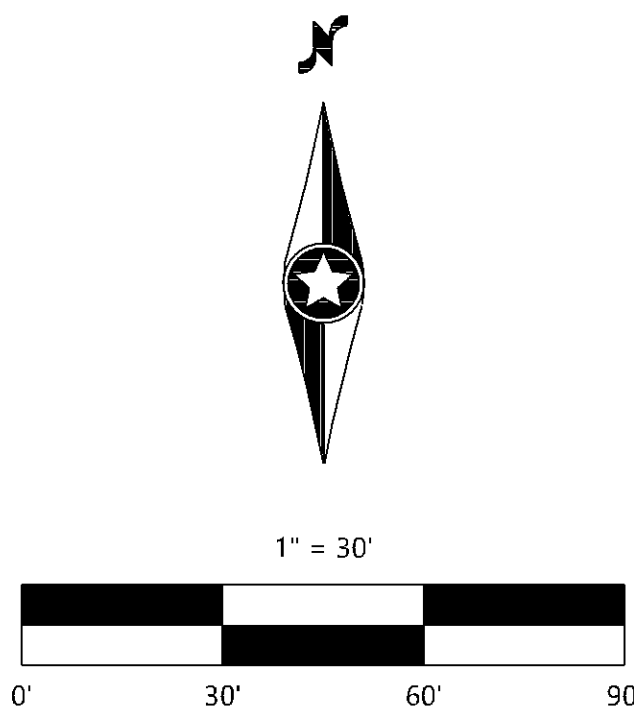
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SILT FENCE AND OTHER EROSION CONTROL FEATURES SHALL BE IN-PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. EXISTING SILT FENCE ON-SITE SHALL BE MAINTAINED AND OR REMOVED AND SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONTRACT. IT IS OF EXTREME IMPORTANCE TO BE AWARE OF CURRENT FIELD CONDITIONS WITH RESPECT TO EROSION CONTROL. TEMPORARY PONDING, DIKES, HAYBALES, ETC., REQUIRED BY THE CITY SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- EROSION AND SILTATION CONTROL (ESC): THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL THE EROSION AND SILTATION INCLUDING BUT NOT LIMITED TO CATCH BASIN INSERTS, CONSTRUCTION ENTRANCES, EROSION CONTROL BLANKET, AND SILT FENCE. ESC SHALL COMMENCE WITH GRADING AND CONTINUE THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER. THE CONTRACTOR'S RESPONSIBILITY INCLUDES ALL IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER MAY DIRECT THE CONTRACTOR'S METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT OR IN EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN EVENT. AFFECTED AREAS SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER. ALL AT THE EXPENSE OF THE CONTRACTOR. ALL TEMPORARY EROSION CONTROL SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TURF IS ESTABLISHED.
- ALL STREETS DISTURBED DURING WORKING HOURS MUST BE CLEANED AT THE END OF EACH WORKING DAY. A CONSTRUCTION ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO DETAILS TO REDUCE TRACKING OF DIRT ONTO PUBLIC STREETS.
- PROPOSED PONDS SHALL BE EXCAVATED FIRST AND USED AS TEMPORARY PONDING DURING CONSTRUCTION.
- WHEN INSTALLING END-OF-LINE FLARED END SECTIONS, BRING THE SILT FENCE UP & OVER THE FLARED END SECTIONS & COVER DISTURBED AREAS WITH RIP RAP. THE UPSTREAM FLARED END SECTIONS SHALL HAVE WOOD FIBER BLANKET INSTALLED ON THE DISTURBED SOILS.
- ALL UNPAVED AREAS ALTERED DUE TO CONSTRUCTION ACTIVITIES MUST BE RESTORED WITH SEED AND MULCH, SOD, EROSION CONTROL BLANKET OR BE HARD SURFACE WITHIN 2 WEEKS OF COMPLETION OF CONSTRUCTION.
- THE SITE MUST BE STABILIZED PER THE REQUIREMENTS OF THE MPCA, NPDES, MNDOT, AND CITY.
 - TEMPORARY (GREATER THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 22-111 AT 30.5-POUNDS PER ACRE.
 - TEMPORARY (LESS THAN 1-YEAR) SEED SHALL BE MNDOT SEED MIX 21-112 (FALL) OR 21-111 (SPRING/SUMMER) AT 100-POUNDS PER ACRE.
 - INFILTRATION/FILTRATION BASIN SHALL BE MNDOT SEED MIX 34-262 AT 14.5-POUNDS PER ACRE.
 - POND SLOPES SHALL BE MNDOT SEED MIX 33-261 AT 35-POUNDS PER ACRE.
 - GENERAL SEEDING SHALL BE MNDOT SEED MIX 25-151 AT 70-POUNDS PER ACRE.
 - MULCH SHALL BE MNDOT TYPE 1 APPLIED AT 2-TONS PER ACRE.
- FOR AREAS WITH SLOPE OF 3:1 OR GREATER, RESTORATION WITH SOD OR EROSION CONTROL BLANKET IS REQUIRED.
- ALL TEMPORARY STOCKPILES MUST HAVE SILT FENCE INSTALLED AROUND THEM TO TRAP SEDIMENT.
- ALL PERMANENT PONDS USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION SHALL BE DREGGED AFTER THE SITE HAS BEEN STABILIZED TO RESTORE THE POND TO THE PROPOSED BOTTOM ELEVATION.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL AND STATE RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- THE SITE MUST BE KEPT IN A WELL-DRAINED CONDITION AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY DITCHES, PIPING OR OTHER MEANS REQUIRED TO INSURE PROPER DRAINAGE DURING CONSTRUCTION. LOW POINTS IN ROADWAYS OR BUILDING PADS MUST BE PROVIDED WITH A POSITIVE OUTFLOW.

GENERAL EROSION CONTROL MAINTENANCE NOTES

THE OWNER/CONTRACTOR IS RESPONSIBLE FOR THE OPERATION, MAINTENANCE OF TEMPORARY AND PERMANENT WATER QUALITY MANAGEMENT BMPs AS WELL AS ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs. FOR THE DURATION OF THE CONSTRUCTION WORK AT THE SITE THE CONTRACTOR MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS DURING ALL ROUTINE AND POST RAINFALL EVENTS. ALL NONFUNCTIONAL BMPs MUST BE REPAIRED, REPLACED, OR SUPPLEMENTED WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS UNLESS ANOTHER TIME FRAME IS SPECIFIED BELOW.

THE FOLLOWING GUIDELINES WILL BE USED TO DETERMINE IF THE EROSION AND SEDIMENT CONTROL DEVICES REQUIRE MAINTENANCE, REPAIR, OR REPLACEMENT:

- ALL NON-FUNCTIONAL BMPs - OBSERVED CONDITION: SEDIMENT OVERTOPPING, UNDER WATER, SCOURED ENDS, UNDERMINED, DESTROYED, NON-FUNCTION AS DESIGNED, ETC. - SHALL BE MAINTAINED OR REPLACED BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY OR NOTIFICATION, OR AS SOON AS FIELD CONDITIONS ALLOW.
- PERIMETER SEDIMENT CONTROL (SILT FENCE, FIBER LOGS, BERMS, ETC.) - OBSERVED CONDITION TO BE 1/2 FULL OF SEDIMENT, FLATTENED TO 1/2 HEIGHT, DRIVEN OVER, UNDERMINED, SCOURED, MOVED FOR ACCESS, ETC. - SHALL BE MAINTAINED, REPAIRED OR SUPPLEMENTATION OF PERIMETER SEDIMENT CONTROL SHOULD BE DONE BY THE END OF NEXT BUSINESS DAY OR AD FIELD CONDITIONS ALLOW.
- INLET PROTECTION BMPs, CONVEYANCES, SURFACE WATERS - OBSERVED CONDITION: SEDIMENT DEPOSITION, SEDIMENT DELTAS AN ACCUMULATION OF SEDIMENT MATERIAL, DEVICES APPEAR PLUGGED WITH SEDIMENT - REMOVAL/CLEAN OUT OF ACCUMULATED SEDIMENT AND DELTAS TO BE REMOVED WITHIN 7 DAYS, STABILIZE AS NEEDED IF SOILS ARE EXPOSED DURING REMOVAL/CLEAN OUT.
- TEMPORARY SEDIMENT BASINS AND TRAPS/PERMANENT SEDIMENT BASINS - OBSERVED TO HAVE SEDIMENT DEPOSITION AND ACCUMULATION TO 1/2 OF THE STORAGE VOLUME - CLEAN OUT, REMOVE ACCUMULATED SEDIMENT MATERIAL WITHIN 7 DAYS OF OBSERVATION, OR AS FIELD CONDITIONS ALLOW ACCESS.
- SITE EXIT LOCATIONS, ROCK EXIT PADS, OTHER ANTI-TRACKING PRACTICES - OBSERVED TO HAVE ACCUMULATED SEDIMENT IN ROCK OR OTHER ANTI-TRACKING BMP, TRACKING OF SEDIMENT FROM THE SITE ONTO PAVED SURFACES - TOP DRESS ROCK, MAINTAIN ROCK EXIT OR OTHER ANTI-TRACKING CONTROLS, SCRAP PAVED SURFACES, SWEEP PAVED SURFACES WITHIN 1 CALENDAR DAY OF DISCOVERY.
- PAVED SURFACES AND ADJACENT STREETS - OBSERVED TO BE TRACKED WITH SEDIMENT AND SOIL MATERIAL PRO THE SITE HAULING OR ACCESS - SWEEP WITHIN 1 CALENDAR DAY OF DISCOVERY, ADDITIONAL AND/OR MORE FREQUENT SWEEPING MAY BE NEEDED TO MAINTAIN PUBLIC SAFETY OR PREVENT WASHING FROM FORECASTED RAINS.



ISSUED FOR PERMIT

DESIGNED	SSA
CHECKED	SSA
DRAWN	AWL
DATE	12/29/2023
ISSUED FOR PERMIT	01/10/2024
CITY RESUBMITTAL	01/10/2024
VERTICAL SCALE	6" = 3'

PREPARED FOR:	ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 300	FARGO, ND 58078

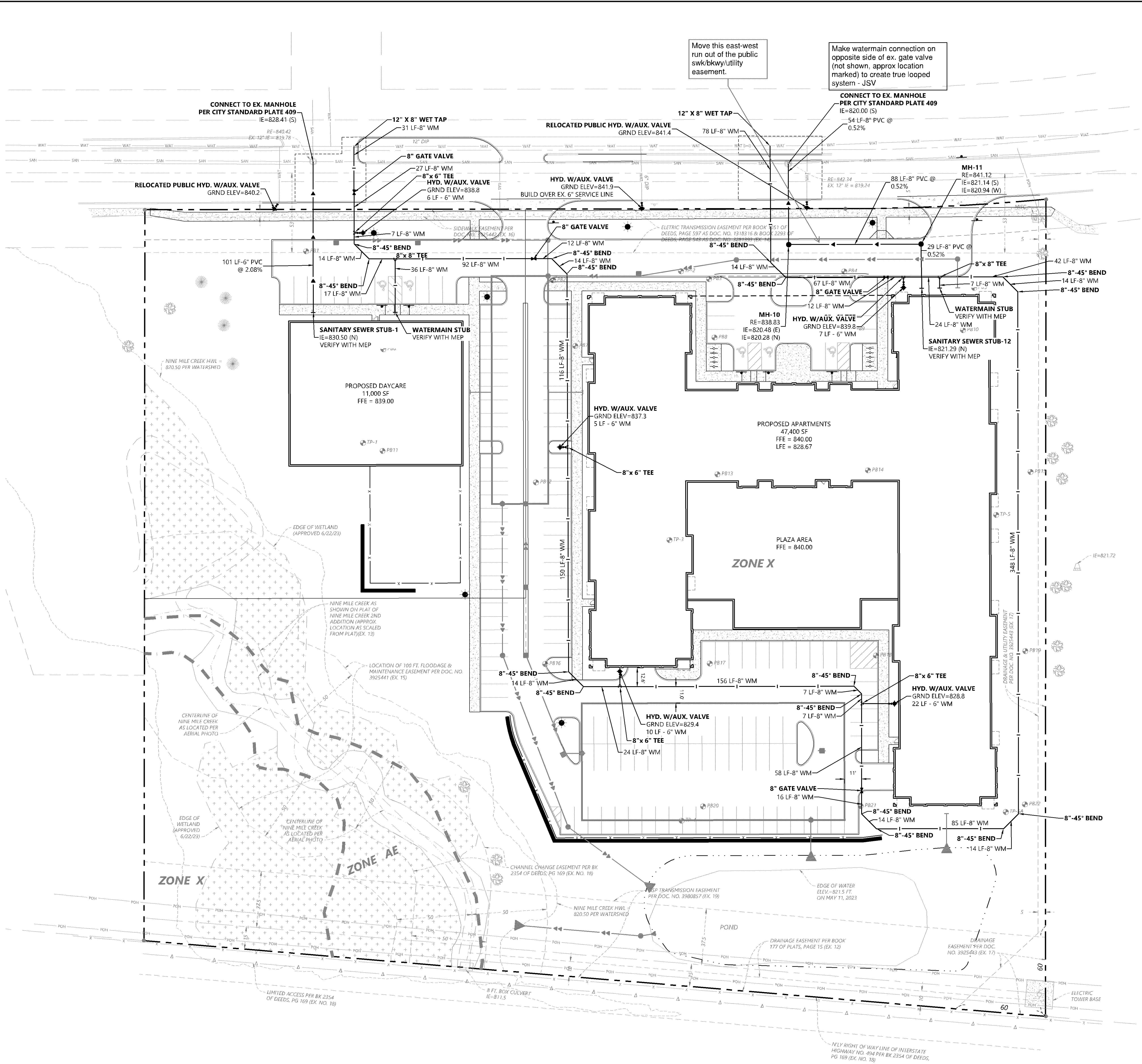
DESIGNED BY:	SHAWN LYNN S. ADAMS
DATE:	01/10/2024
PERMIT NO.:	42797

ENCLAVE BLOOMINGTON 78TH STREET	BLOOMINGTON, MN
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Westwood	12521 Westwood Drive, Suite 200 Fargo, ND 58103 Phone: (701) 781-1234 Fax: (701) 781-1235 www.westwoodps.com
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EROSION CONTROL PLAN	ENCLAVE BLOOMINGTON 78TH STREET
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SHEET NUMBER:	C400
DATE:	01/10/2024
PROJECT NUMBER:	0043990.00



PL202300193
PL2023-193

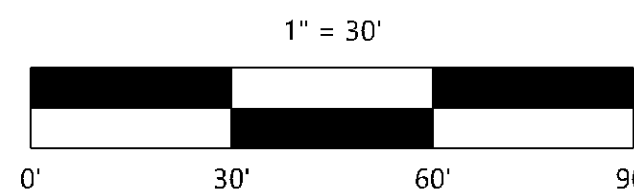
Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

SANITARY SEWER AND WATERMAIN LEGEND

EXISTING	PROPOSED	PROPERTY LINE

GENERAL WATERMAIN & SANITARY SEWER NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER AND WATER MAIN MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OR SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS. FITTINGS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH SANITARY SEWER OR STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10 FEET OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- DUCTILE IRON WATER LINES SHALL BE CLASS 52, PER AWWA C115 OR C151. COPPER WATER LINES SHALL BE TYPE K PER ASTM B88. PVC WATER LINES SHALL BE PER AWWA C900 AND INSTALLED PER AWWA C605 IF ALLOWED BY CITY.
- ALL WATER LINES SHALL HAVE 8" MINIMUM COVER. INSULATE WATER MAIN IF LESS THAN 8" OF COVER. INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF THE BUILDING AND UNDER FOOTINGS SHALL BE SCHEDULE 40 PER ASTM D2665. ALL PLASTIC SANITARY SEWER SHALL BE INSTALLED PER D2321. SOLVENT WELD JOINTS MUST INCLUDE USE OF A PRIMER WHICH IS OF A CONTRASTING COLOR TO THE PIPE AND CEMENT. ALL SANITARY SEWER SHALL BE TESTED ACCORDING TO MINNESOTA PLUMBING CODE, PART 712.0.
- ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA PLUMBING CODE, PART 604.9.
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
- ALL MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



ISSUED FOR PERMIT

DESIGNED	SSA
CHECKED	SSA
DRAWN	AWJ
DATE	11/14/2023
PROJECT	CITY & WATERMAIN COMMENTS
ISSUED FOR PERMIT	12/14/2023
CITY RESUBMITTAL	01/10/2024
DATE	01/10/2024
SCALE	6" = 1'

PREPARED FOR:
ENCLAVE DEVELOPMENT
300 28RD AVE. E. SUITE 300
FARGO, ND 58108

DESIGNED BY: JEFFREY J. ADAMS, P.E.
CHECKED BY: JEFFREY J. ADAMS, P.E.
DRAWN BY: JEFFREY J. ADAMS, P.E.
DATE: 01/10/2024
SCALE: 6" = 1'

ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
1525 Westwood Drive, Suite 300
Bloomington, MN 55410
Phone: (612) 913-5422
Fax: (612) 913-5422
www.westwoodps.com

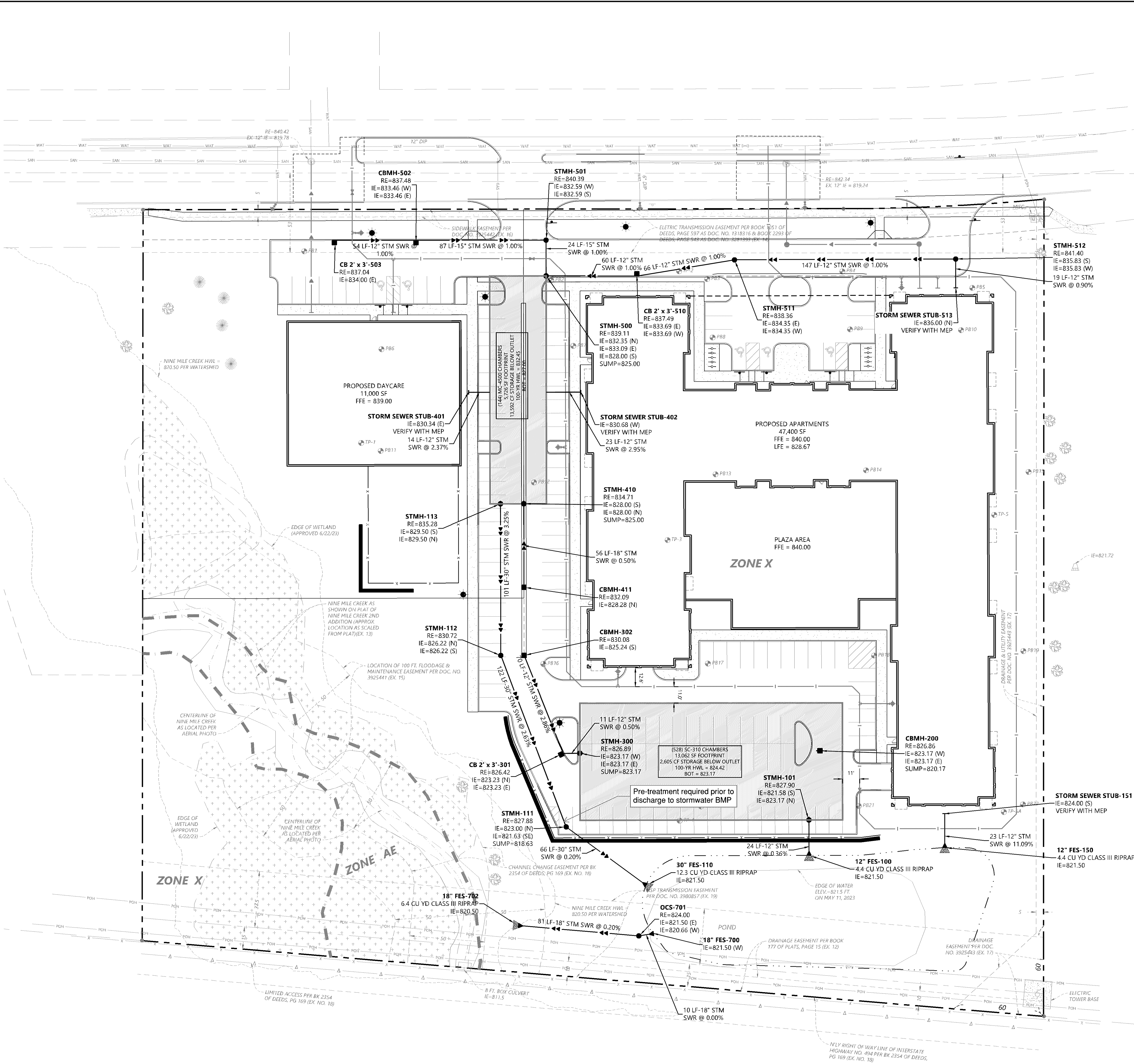
SANITARY SEWER & WATERMAIN

SHEET NUMBER:
C500

DATE: 01/10/2024

PROJECT NUMBER: 0043990.00

ENCLAVE BLOOMINGTON 78TH STREET



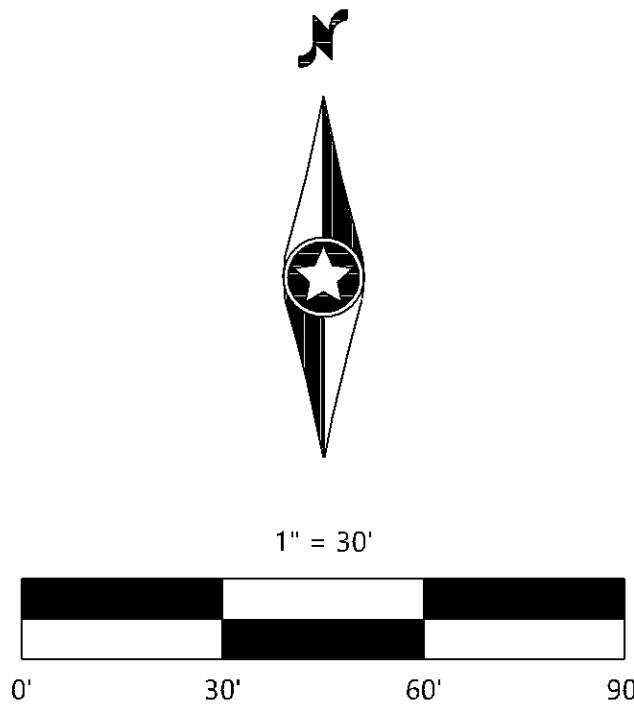
PL202300193
PL2023-193

STORM SEWER LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	GATE VALVE
---	---	FLARED END SECTION (WITH RIPRAP)
---	---	LIGHT POLE

GENERAL STORM SEWER NOTES

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL STORM SEWER MATERIAL AND INSTALLATIONS SHALL BE PER CITY REQUIREMENTS, MINNESOTA PLUMBING CODE, AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER LINE CROSSINGS WITH STORM SEWER. THE WATER LINE SHALL NOT HAVE JOINTS OR CONNECTION WITHIN 10-FOOT OF THE CROSSING. INSULATE CROSSINGS WITH STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- STORM SEWER PIPE:
 - RCP AND HDPE PIPE MAY BE INSTALLED WITH APPROVAL OF LOCAL GOVERNING AGENCY.
 - REINFORCED CONCRETE PIPE SHALL BE CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED, PER ASTM C76, WITH GASKETS PER ASTM C443.
 - HDPE STORM PIPE 4- TO 10-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF AASHTO M252. HDPE STORM PIPE 12- TO 60-INCHES IN DIAMETER SHALL MEET REQUIREMENTS OF ASTM F2306. FITTINGS SHALL BE PER ASTM D3212 AND INSTALLED PER ASTM D2321.
 - PVC STORM SEWER PIPE AND FITTINGS SHALL BE SCHEDULE 40 PIPE PER ASTM D2665 AND INSTALLED PER ASTM D2321.
 - CORRUGATED METAL PIPE (CMP) FOR SIZES 18- TO 120-INCH AND MUST MEET ASTM A790 OR ASTM A796 AND BE INSTALLED PER ASTM A796. CMP MAY NOT BE INSTALLED WITHIN 10-FOOT OF A WATERMAIN, WATER SERVICE, OR A BUILDING.
 - ALL STORM SEWER JOINTS AND STRUCTURE CONNECTIONS SHALL BE GASTIGHT OR WATERTIGHT AS REQUIRED BY MINNESOTA PLUMBING CODE, PART 707.3. STORM SEWER LOCATED WITHIN 10-FOET OF A BUILDING AND/OR WATER LINE SHALL BE TESTED PER MINNESOTA PLUMBING CODE, PART 712.
 - HDPE PIPE CONNECTIONS INTO ALL CONCRETE STRUCTURES MUST BE MADE WITH WATER TIGHT MATERIALS UTILIZING AN A-LOK OR WATERSTOP GASKET OR BOOT, CAST-IN-PLACE RUBBER BOOT, OR APPROVED EQUAL. WHERE THE ALIGNMENT PRECLUDES THE USE OF THE ABOVE APPROVED WATERTIGHT METHODS, CONCRETE WATERSTOP SEALANT, OR APPROVED EQUAL WILL ONLY BE ALLOWED AS APPROVED BY THE ENGINEER.
 - ALL NONCONDUCTIVE PIPE SHALL BE INSTALLED WITH A LOCATE (TRACER) WIRE PER MINNESOTA PLUMBING CODE, PART 604.9.
 - AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.
 - ALL CATCH BASIN CASTINGS IN CURB SHALL BE SUMPED 0.15 FEET AND MANHOLE CASTINGS IN PAVED AREAS SHALL BE SUMPED 0.05 FEET. RIM ELEVATIONS ON PLAN REFLECT THE SUMPED ELEVATIONS.



DESIGNED	SSA
CHECKED	SSA
DRAWN	AWL
ISSUED FOR PERMIT	AWL
CITY RESUBMITTAL	AWL
DATE	11/14/2023
REVISIONS	
1	12/14/2023
2	12/29/2023
3	01/10/2024

ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 300
FARGO, ND 58103

PREPARED FOR:
ENCLAVE DEVELOPMENT
DATE 01/10/2024
DRAWN BY: S. J. ADAMS
SCALE: 1" = 30'

ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
1525 Westwood Plaza, Suite 200
Bloomington, MN 55425
Phone: (612) 913-5422
Fax: (612) 913-5422
www.westwoodps.com

STORM SEWER PLAN

SHEET NUMBER:
C501

DATE: 01/10/2024
PROJECT NUMBER: 0043990.00

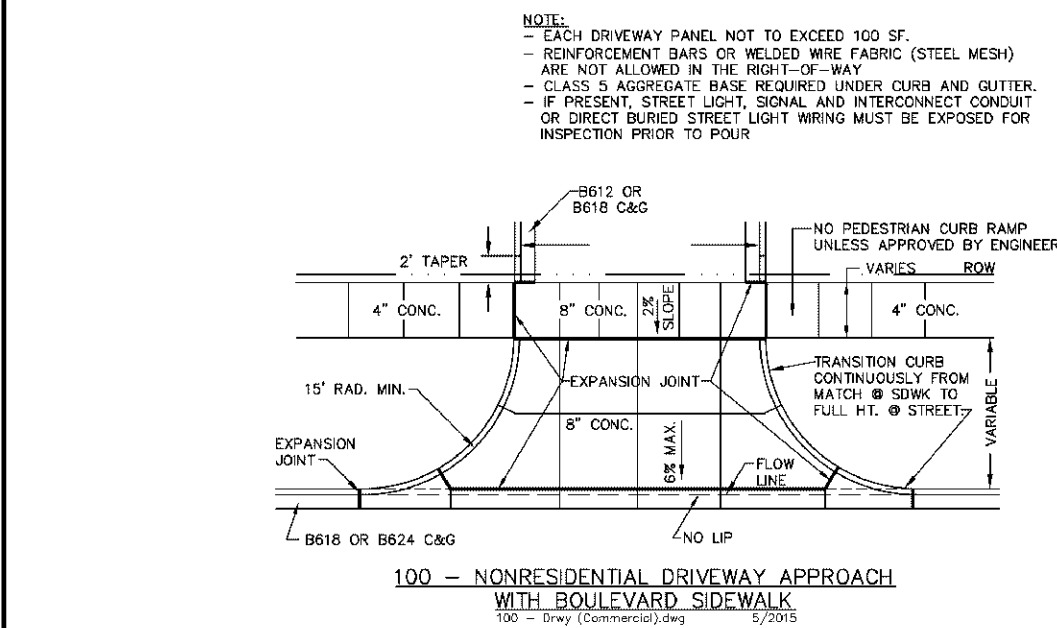


PLATE NAME: 100 - Drury (Commercial)
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

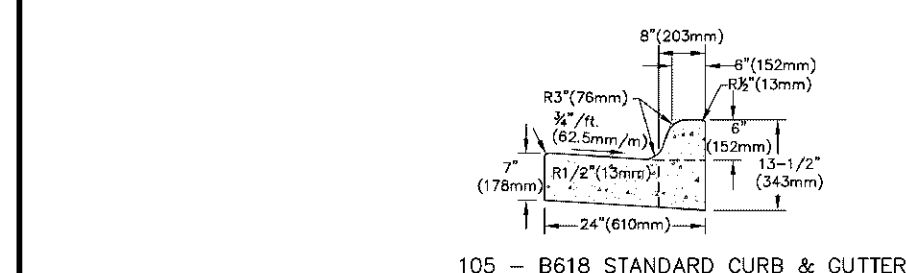


PLATE NAME: 105 - C&G (Bloom Std)
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

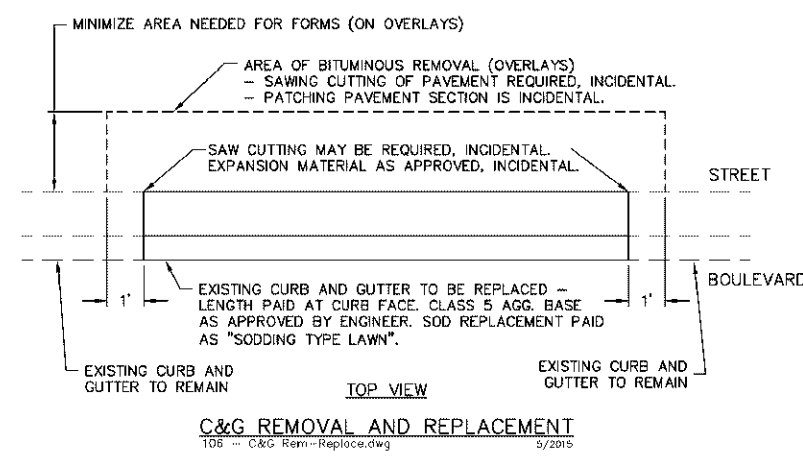


PLATE NAME: 106 - C&G Rem-Replace
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

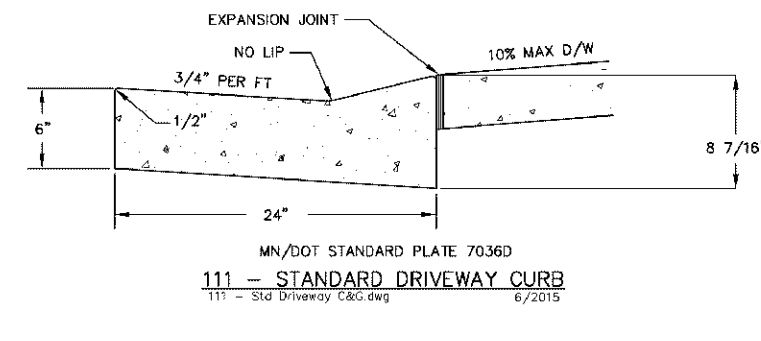


PLATE NAME: 111 - Std Driveway C&G
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

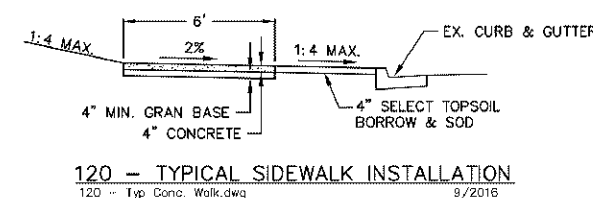


PLATE NAME: 120 - Typ Conc. Walk
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

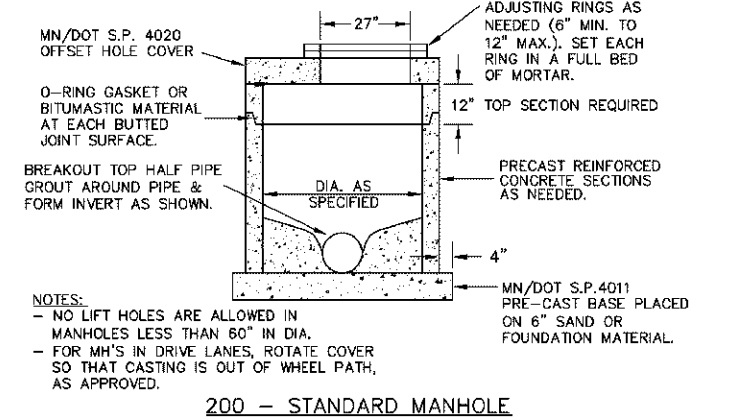


PLATE NAME: 200 - Std MH
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

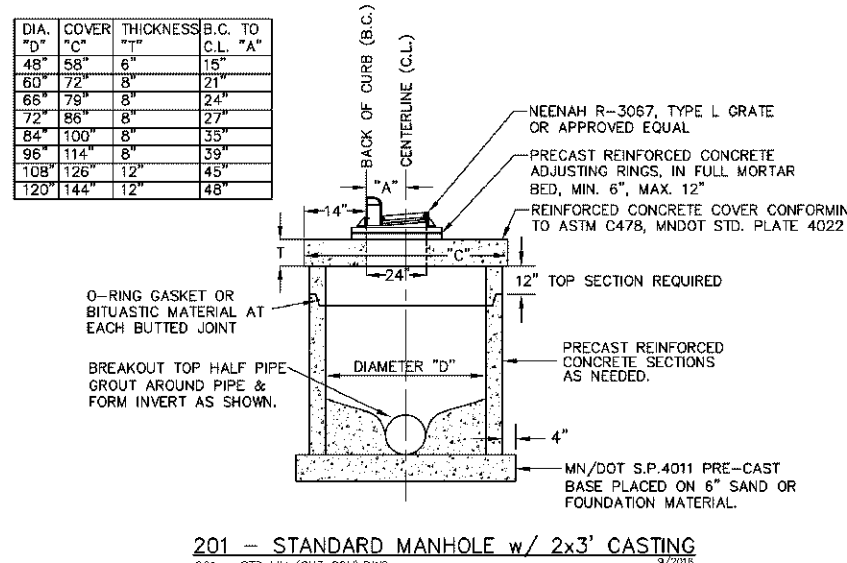


PLATE NAME: 201 - Std MH (2x2' Cov)
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

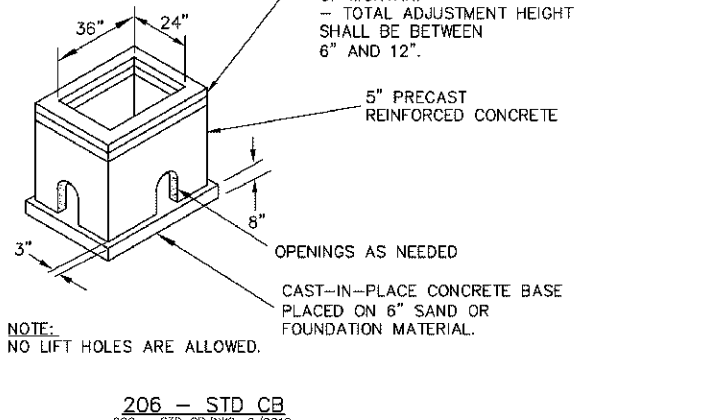


PLATE NAME: 206 - Std CB
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

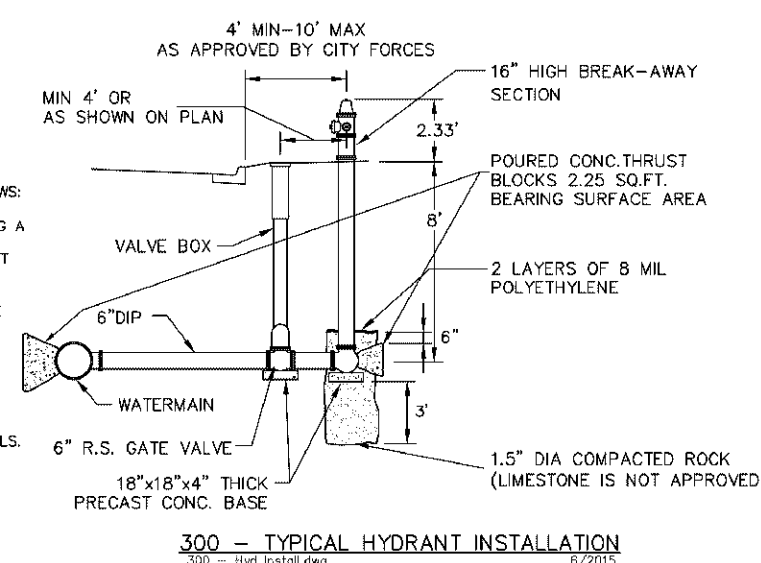


PLATE NAME: 300 - Hyd Install
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

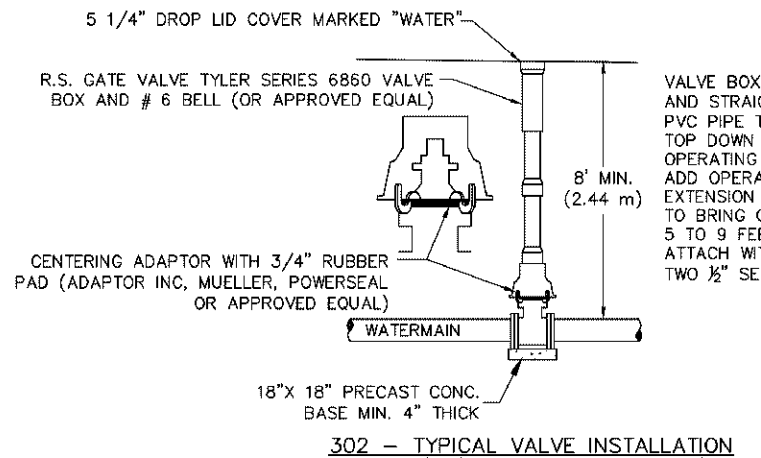


PLATE NAME: 302 - Valve (RSCV)
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

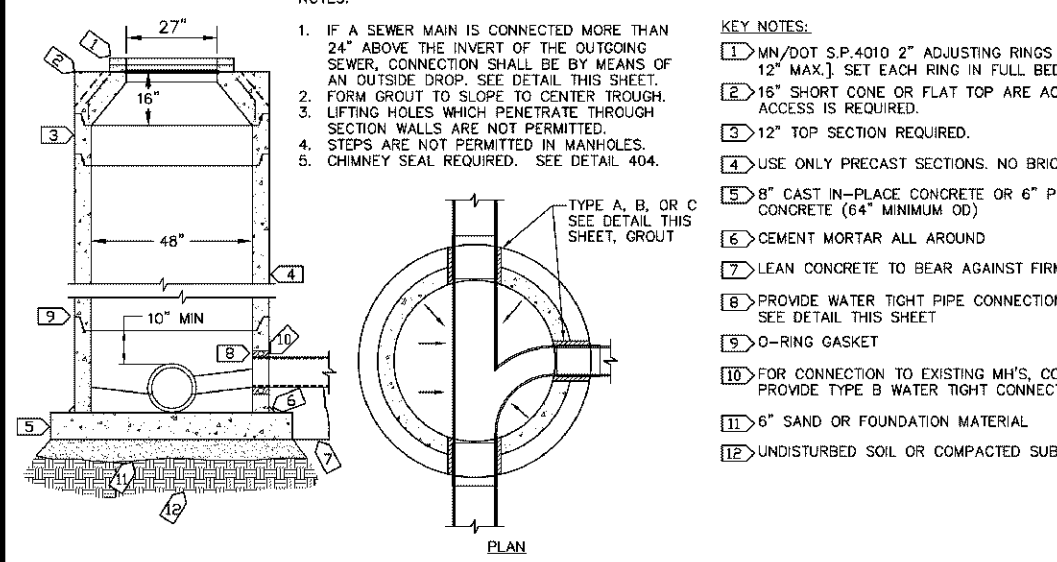


PLATE NAME: 400 - Std San MH
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

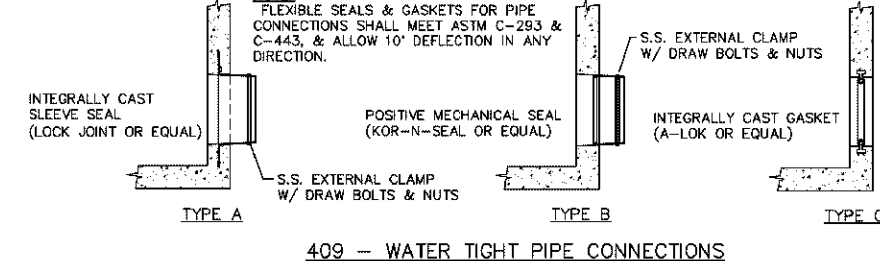


PLATE NAME: 409 - MH Pipe Connect
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

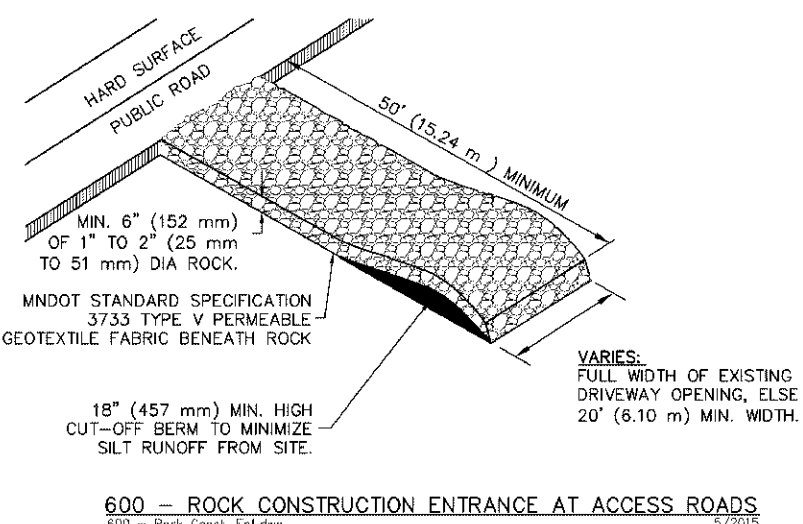


PLATE NAME: 600 - Rock Const. Entr
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

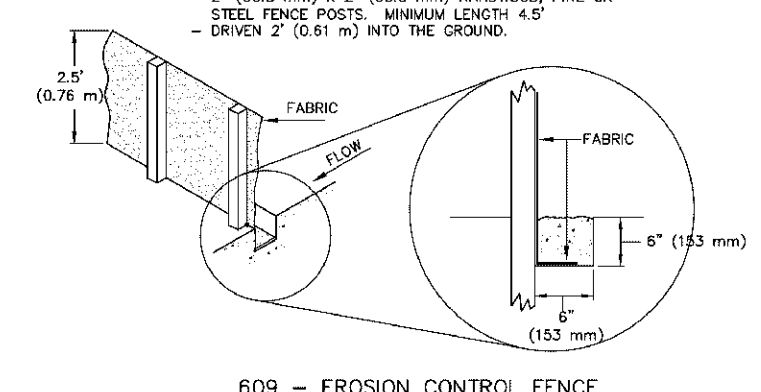


PLATE NAME: 609 - Silt Pen. (STANDARD)
LAST REVISION: 6/1/2015
LAST REVISION BY: KNO

Call 48 Hours before digging:
811 or call811.com
Common Ground Alliance

DESIGNED	SSA
CHECKED	SSA
DRAWN	ANL
APPROVED	ANL
DATE	01/10/2024
PROJECT	ENCLAVE DEVELOPMENT
SHEET	01

REVISIONS	DATE	DESCRIPTION
1	12/14/2023	CITY & WATERDEPT COMMENTS
2	12/14/2023	ISSUED FOR PERMIT
3	01/10/2024	CITY RESUBMITTAL

PREPARED FOR:
ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 300
FARGO, ND 58103

SHAWN LYNN S. ADAMS
DATE 01/10/2024 (ENCLAVE) 42797

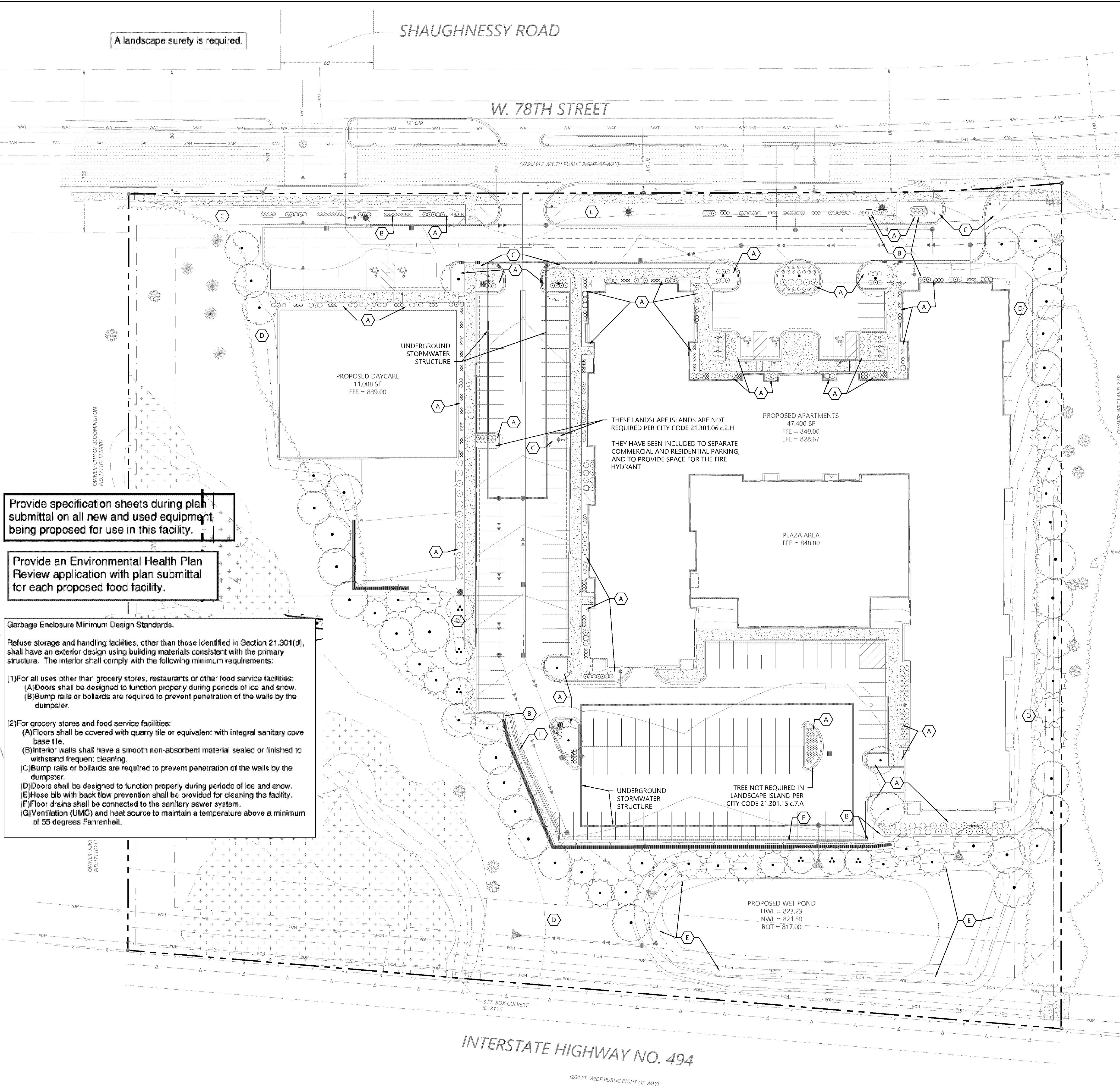
ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
15270 Highway 100, Suite 200
Fargo, ND 58103
Phone: (701) 785-1000
Fax: (701) 785-1001
www.westwoodps.com

CITY DETAILS

SHEET NUMBER:
C600
DATE: 01/10/2024
PROJECT NUMBER: 0043990.00

ISSUED FOR PERMIT



LANDSCAPE SUMMARY

CANOPY EVERGREEN TREE REQUIREMENT

1 CANOPY EVERGREEN TREE PER 2,500 SF OF DEVELOPABLE LANDSCAPING AREA** (212,995/2,500= 85.19= 86 TREES)

*COMPLIMENT OF TREES: AT LEAST 25% DECIDUOUS AND AT LEAST 25% CONIFEROUS NOT MORE THAN 30% OF THE REQUIRED NUMBER OF TREES SHALL BE COMPOSED OF A SINGLE SPECIES.

TREES REQUIRED= 86
TREES PROVIDED= 86
(12 EXISTING TREES + 23 PROPOSED CONIFEROUS TREES + 42 PROPOSED DECIDUOUS TREES + 9 PROPOSED ORNAMENTAL TREES)

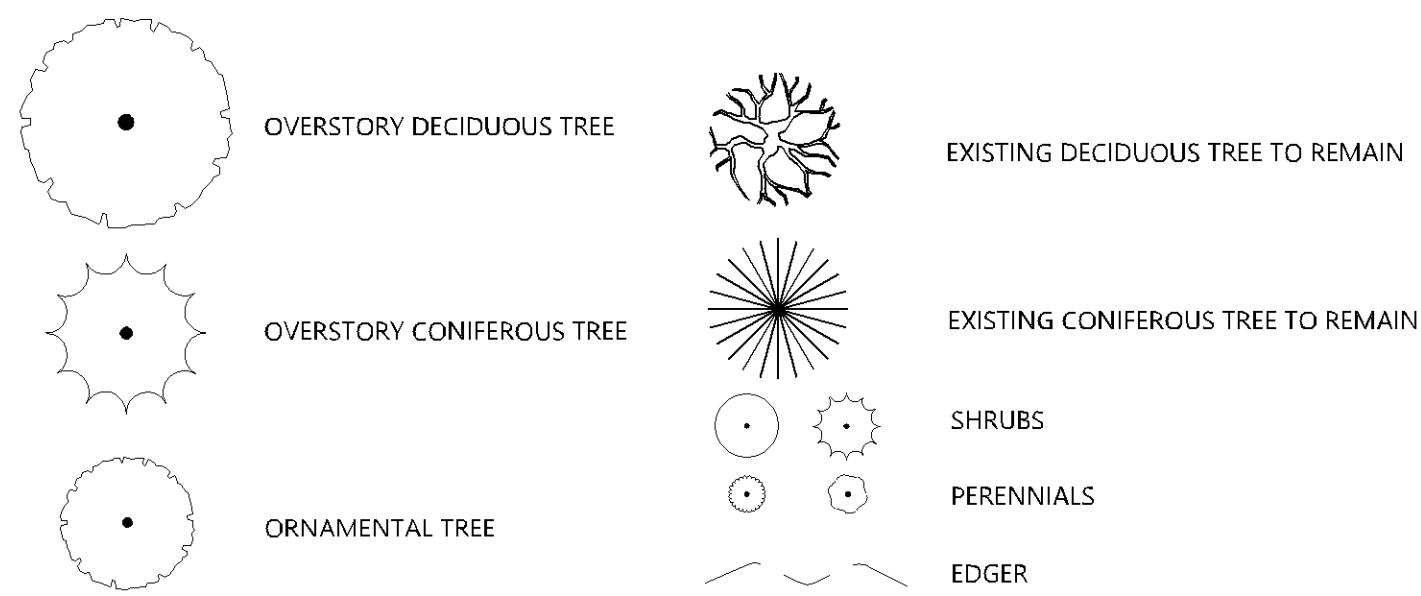
SHRUB REQUIREMENT (THE GREATER OF)

1 SHRUBS PER 1,000 SF OF DEVELOPABLE LANDSCAPE AREA** (212,995/1,000= 212.99= 213 SHRUBS)

SHRUBS REQUIRED= 213 SHRUBS
SHRUBS PROVIDED= 236 SHRUBS
(82 PROPOSED CONIFEROUS SHRUBS + 154 PROPOSED DECIDUOUS SHRUBS)

UP TO 50% OF SHRUBS REQUIRED MAY BE SUBSTITUTED WITH PERENNIALS AT A RATE OF 4 PERENNIALS= 1 SHRUB

LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- A SHREDDED HARDWOOD MULCH (TYP)
- B EDGER (TYP)
- C SOD (TYP)
- D GENERAL TURF SEED MIX
- E WETLAND SEEDMIX
- F ROCK MULCH

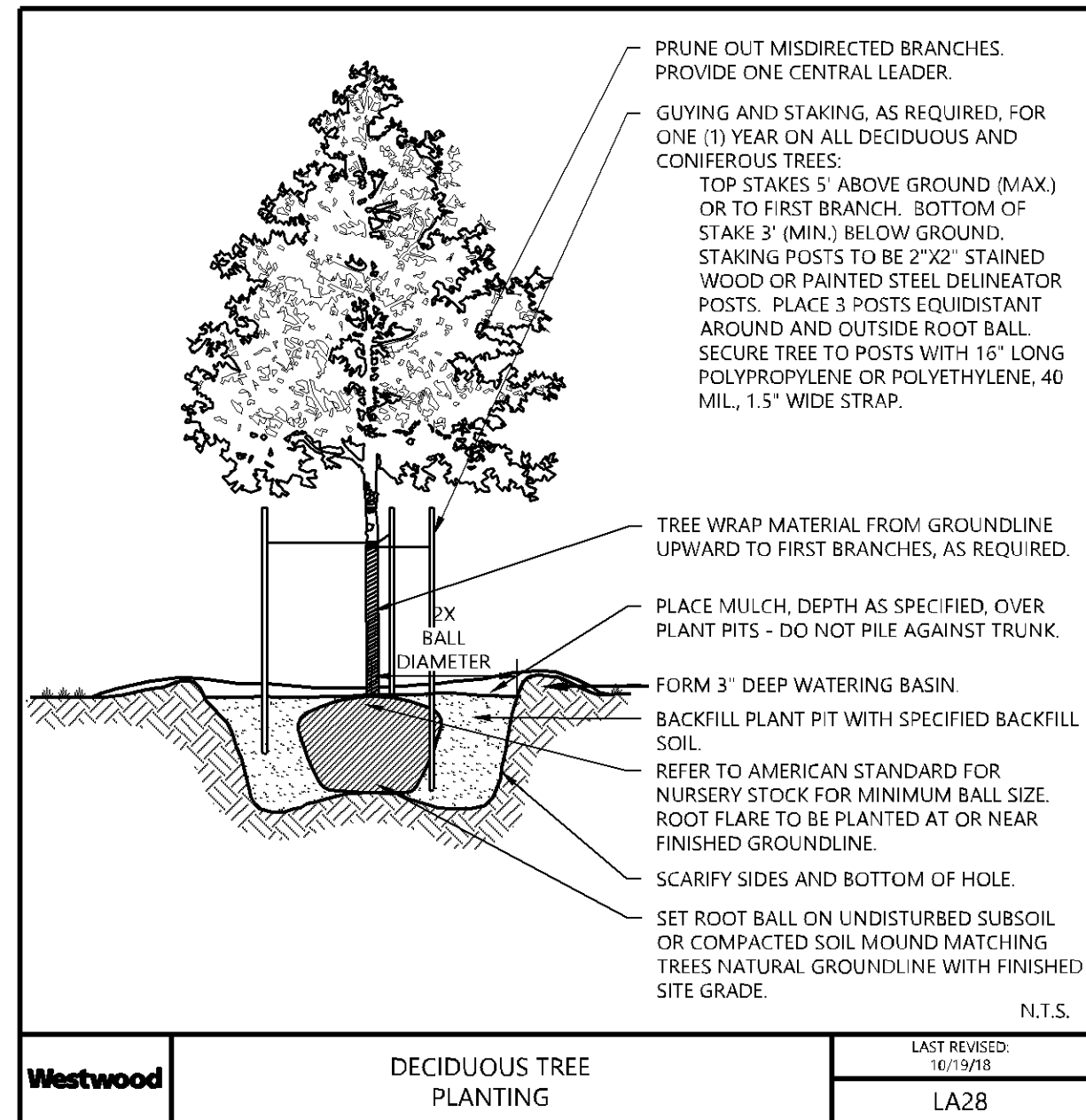
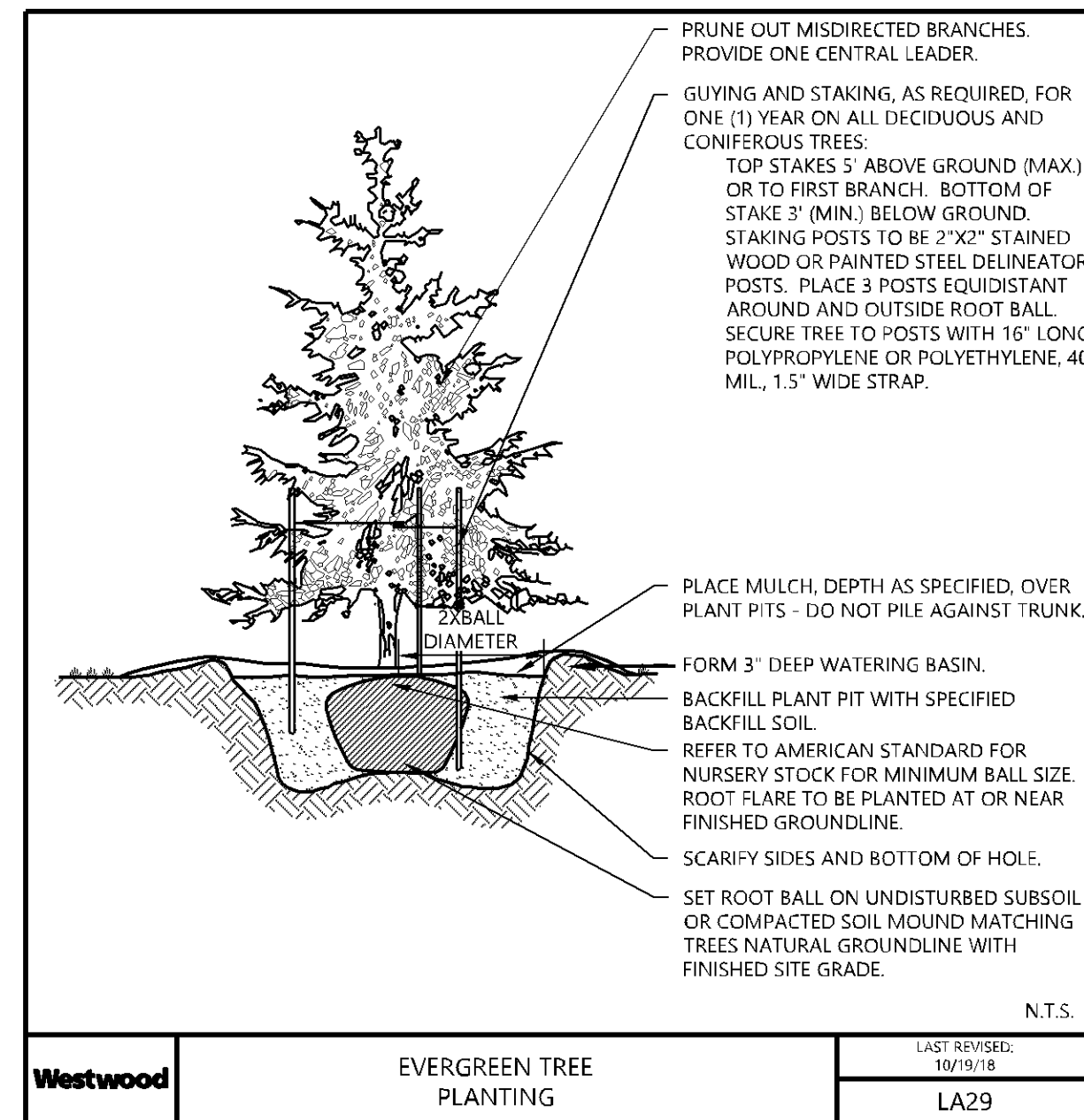
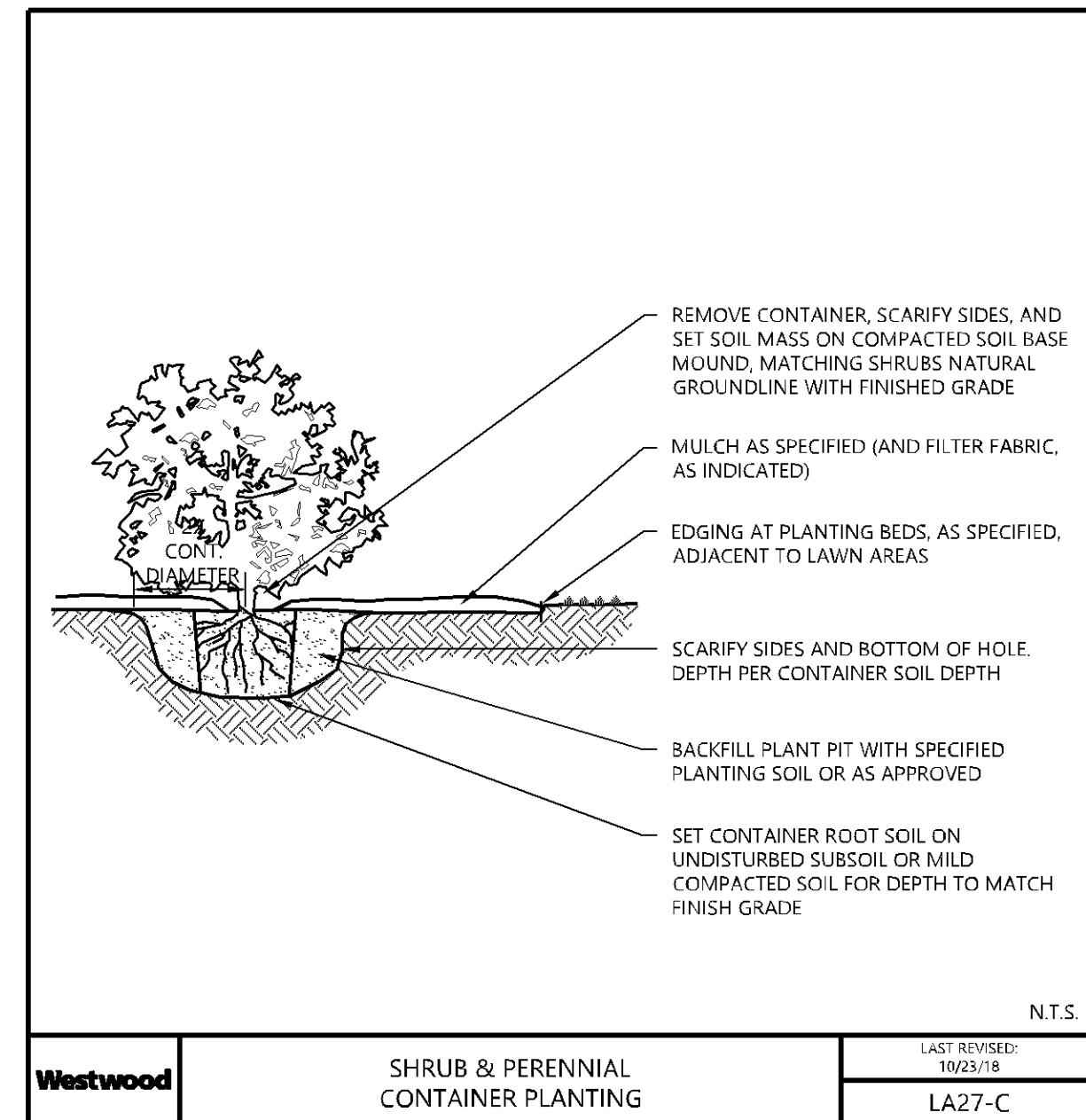
PLANT SCHEDULE

CODE	QTY	COMMON / BOTANICAL NAME	SIZE	SPACING O.C.
CONIFEROUS TREES 23				
TAM	6	TAMARACK / LARIX LARICINA	6' HT B&B	AS SHOWN
BHS	12	BLACK HILLS WHITE SPRUCE / PICEA GLAUCA 'DENSATA'	6' HT B&B	AS SHOWN
SCP	5	SCOTCH PINE / PINUS SYLVESTRIS	6' HT B&B	AS SHOWN
DECIDUOUS TREES 42				
NWM	7	NORTHWOOD RED MAPLE / ACER RUBRUM 'NORTHWOOD'	2.5' CAL	AS SHOWN
MAM	5	MATADOR™ MAPLE / ACER X FREEMANII 'BALSTON'	2.5' CAL	AS SHOWN
COH	7	COMMON HACKBERRY / CELTIS OCCIDENTALIS	2.5' CAL	AS SHOWN
AGS	7	AUTUMN GOLD GINKGO / GINKGO BILOBA 'AUTUMN GOLD'	2.5' CAL	AS SHOWN
SKH	9	SKYLINE® HONEY LOCUST / GLEDITSIA TRIACANTHOS 'INERMIS SKYCOLE'	2.5' CAL	AS SHOWN
PAE	7	PRINCETON AMERICAN ELM / ULMUS AMERICANA 'PRINCETON'	2.5' CAL	AS SHOWN
ORNAMENTAL TREES 9				
RBC	6	RIVER BIRCH MULTI-TRUNK / BETULA NIGRA	6' CLP B&B	AS SHOWN
FKB	3	FIRE KING™ BLUE BEECH / CARPINUS CAROLINIANA 'J.N. SELECT A'	2.5' CAL	AS SHOWN
CONIFEROUS SHRUBS 82				
ANJ	61	ANDORRA JUNIPER / JUNIPERUS HORIZONTALIS 'ANDORRA'	#5 CONT.	3'-0" O.C.
TAY	21	TAUNTON'S YEW / TAXUS X MEDIA 'TAUNTONII'	#5 CONT.	4'-0" O.C.

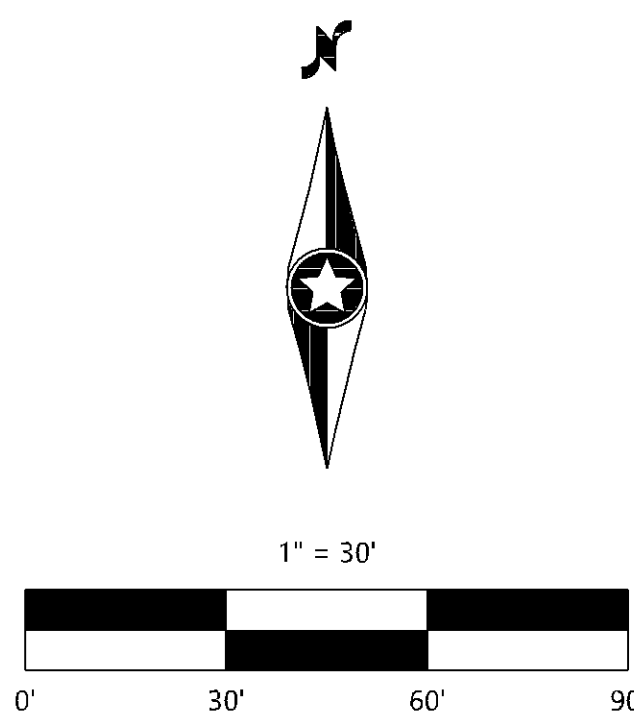
ABBREVIATIONS: B&B = BALLED AND BURLAPPED CAL = CALIPER HT. = HEIGHT MIN. = MINIMUM O.C. = ON CENTER SP. = SPREAD QTY. = QUANTITY CONT. = CONTAINER
NOTE: QUANTITIES ON PLAN SUPERSEDE LIST QUANTITIES IN THE EVENT OF A DISCREPANCY.

PLANTING NOTES

- CONTRACTOR SHALL CONTACT COMMON GROUND ALLIANCE AT 811 OR CALL811.COM TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAVING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO BE EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 6" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 2" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL AND COLORED RED, OR APPROVED EQUAL. ROCK MULCH TO BE BUFF LIMESTONE, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. MULCH TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE, SHRUB, OR RAIN-GARDEN BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- ALL DISTURBED AREAS TO BE SOODED OR SEEDED, UNLESS OTHERWISE NOTED. PARKING LOT ISLANDS TO BE SOODED WITH SHREDDED HARDWOOD MULCH AROUND ALL TREES AND SHRUBS. SOD TO BE STANDARD MINNESOTA GROWN AND HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND INSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. SEED AS SPECIFIED AND PER MN/DOT SPECIFICATIONS. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS ON SITE. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE YEAR WARRANTY ON ALL PARTS AND LABOR. ALL INFORMATION ABOUT INSTALLATION AND SCHEDULING CAN BE OBTAINED FROM THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.



PL202300193
PL2023-193



ISSUED FOR PERMIT

DESIGNED	SSA
CHECKED	SSA
DRAWN	AW
DATE	12/29/2023
HORIZONTAL SCALE	1" = 30'
VERTICAL SCALE	1" = 3'

INITIAL ISSUE	11/14/2023
REVISIONS	12/14/2023 CITY & WATERED COMMENTS
	12/29/2023 ISSUED FOR PERMIT
	01/09/2024 CITY RESUBMITTAL

ENCLAVE DEVELOPMENT
300 23RD AVE. E. SUITE 300
FARGO, ND 58108

PREPARED FOR:
ENCLAVE DEVELOPMENT

DESIGNED BY: JEFFERY K. WESTENDORF
DATE: 01/10/2024
4401 B

ENCLAVE BLOOMINGTON 78TH STREET
BLOOMINGTON, MN

Westwood
Professional Services, Inc.
1525 Westwood Drive, Suite 200
Bloomington, MN 55425
Phone: (612) 891-5422
Fax: (612) 891-5310
www.westwoodps.com

LANDSCAPE PLAN

SHEET NUMBER:

L100

DATE: 01/10/2024

PROJECT NUMBER: 0043990.00