
























PL202400146
PL2024-146



- | | |
|--|------------------------|
| -----//-----//----- | Fence |
| -----OE----- | Overhead Electric |
| -----E----- | Electric |
| -----FO----- | Fiber Optic |
| -----SS----- | Sanitary Sewer |
| -----ST----- | Storm Sewer |
| -----W----- | Water Main |
| -----G----- | Gas Line |
| -----R----- | Retaining Wall |
|  | Electrical Outlet |
|  | Utility Vault |
|  | Telephone Pedestal |
|  | Electrical Transformer |
|  | Storm Catch Basin |
|  | Storm Catch Basin |
|  | Sanitary Manhole |
|  | Storm Manhole |
|  | Light Pole |
|  | Power Pole |
|  | Hydrant |
|  | Gate Valve |
|  | Gas Valve |
|  | Guard Post |
|  | Existing Elevation |
|  | Top of Curb Elevation |
|  | Gutter Elevation |
|  | Top of Wall Elevation |
|  | Existing Contour |
|  | Set Mag Nail |
|  | Found Iron Monument |
|  | Set Iron Monument |
|  | Inscribed R.L.S 15230 |

PROPERTY DESCRIPTIONS.

PARCEL 1
Lot 1, Block 1, LEE STAMPING 1ST ADDITION,
Hennepin County, Minnesota.

PARCEL 2
Lot 2, Block 1, LEE STAMPING 1ST ADDITION,
Hennepin County, Minnesota.

LOT AREA CALCULATION:

PARCEL 1
Lot Area = 78,325 SF or 1.80 Acres

EXISTING IMPERVIOUS SURFACE
Building = 18,023 SF
Curb, Asphalt, Concrete = 23,778 SF
Total = 41,801 SF
Existing Impervious Surface = 53.4%

PARCEL 2
Lot Area = 78,256 SF or 1.80 Acres

EXISTING IMPERVIOUS SURFACE
Building = 35,615 SF
Building Overhangs = 260 SF
Curb, Asphalt, Concrete = 29,552 SF
Total = 65,427 SF
Existing Impervious Surface = 83.6%

GENERAL NOTES:

- Existing building dimensions are measured to siding and not building foundation.
- No title commitment was provided and no research was performed for any easements not shown on this survey.
- Location of utilities shown are from observed evidence in the field and/or plans furnished by others and are considered approximate. Gopher State One Call or a private utility locator should be contacted to locate utilities on site before excavation

SITE ADDRESS
1750 & 1800 96th St. W
Bloomington, MN 55431

REVISIONS

What is projected timeline to submit for site plan approval and start construction on the new facility? Do you intend to wait to record the plat until after demolition of existing buildings? Final plat approval would expire after two years of approval (with opportunity for additional year extension). This may impact when you want to submit the application and record the plat.

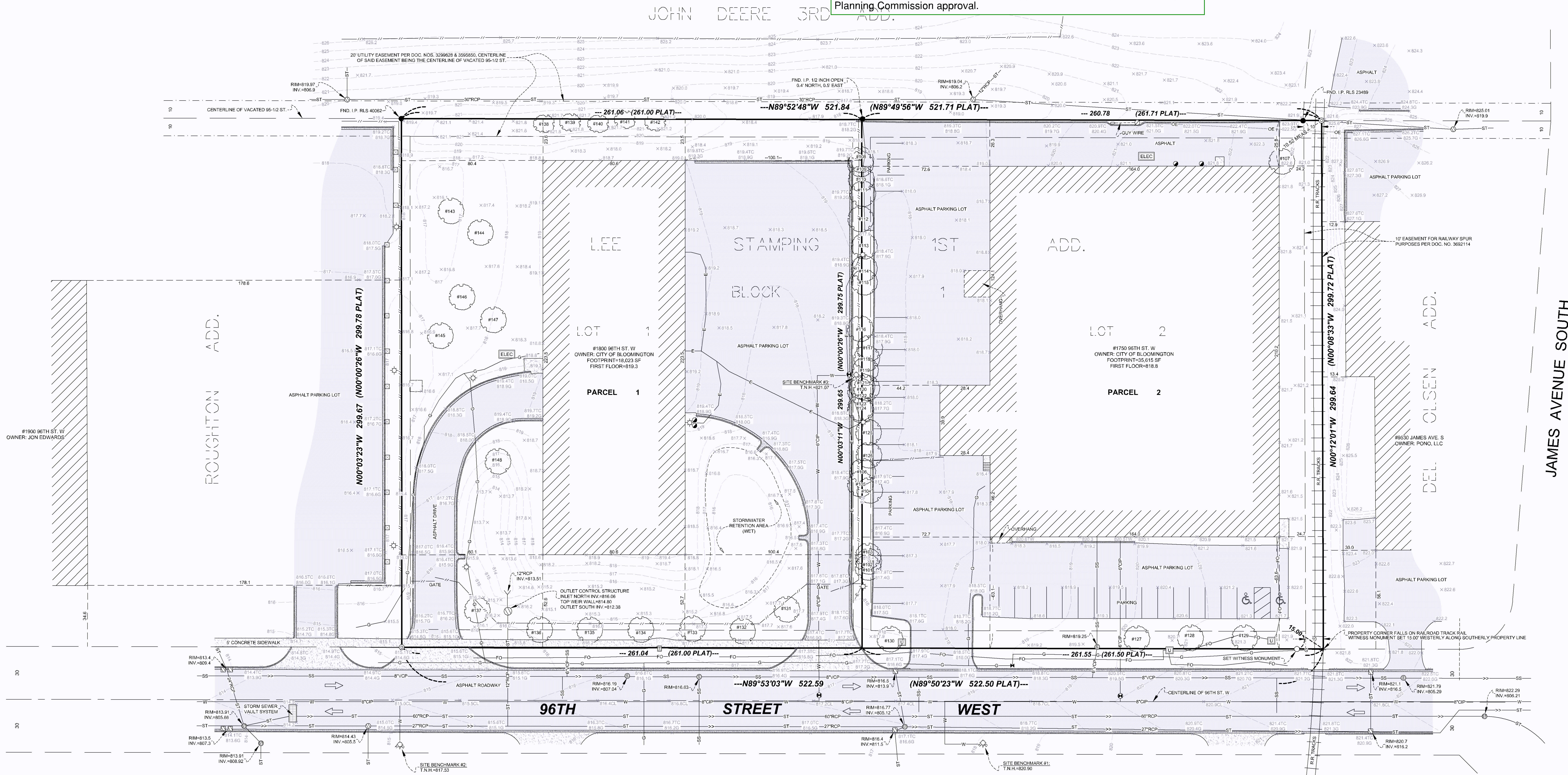
TREE INVENTORY			
NUMBER	TYPE	D.B.H.	NOTES
#101	ELM	12", 18"	
#102	ELM	4", 14"	
#103	ELM	12"	
#104	ELM	6'(2), 8"	
#105	ELM	6"	
#106	ELM	6"	
#107	ELM	20"	
#108	ELM	6"	
#109	ELM	6"	
#110	ELM	8"	
#111	ELM	8"	
#112	ELM	6"	
#113	ELM	16"	
#114	ELM	12"	
#115	ELM	6"(4)	
#116	ELM	6", 8"	
#117	ELM	6"(4)	
#118	ELM	8"	
#119	ELM	6", 10", 12"	
#120	ELM	6"	
#121	ELM	6"	
#122	ELM	6"	
#123	ELM	6"	
#124	ELM	6"	

TREE INVENTORY			
NUMBER	TYPE	D.B.H.	NOTES
#125	ELM	6'1/2"	
#126	ELM	6' 8"	
#127	MAPLE	5'	
#128	MAPLE	10', 15"	
#129	ELM	12"	
#130	ELM	26"	
#131	MAPLE	12"	
#132	MAPLE	12"	
#133	MAPLE	12"	
#134	MAPLE	12"	
#135	MAPLE	12"	
#136	MAPLE	12"	
#137	MAPLE	12"	
#138	ARBORVITAE	6'	
#139	ARBORVITAE	6'	
#140	ARBORVITAE	6'	
#141	ARBORVITAE	6'	
#142	ARBORVITAE	6'	
#443	OAK	10"	
#144	OAK	10"	
#145	OAK	8"	
#146	OAK	8"	
#147	OAK	12"	
#148	OAK	10"	



Applicable zoning codes for the future building include, but may not be limited to:

- 19.49 Exceptions to construction requirements
- 19.63.08 Exterior Materials and Finish
- 21.206.02 Limited Industry (I-2) District
- 21.209 Use Tables
- 21.301.01 Development intensity
- 21.301.02 Structure placement
- 21.301.04 Sidewalks
- 21.301.07 Exterior lighting
- 21.301.10 Height
- 21.301.15 Landscaping and screening
- 21.301.16 Exterior storage
- 21.301.17 Refuse handling
- 21.301.18 Screening of roof-mounted equipment
- 21.301.19 Accessory Buildings
- 21.302.06 Institutional Use Standards
- 21.501.01 Final Site and Building Plans

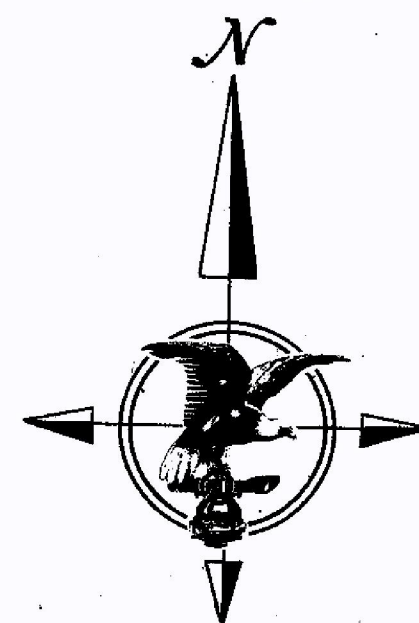
Type I plat would go to City Council for approval. Future site plan would require Planning Commission approval.



JAMES AVENUE SOUTH

JOB NO. 228-24	SCALE 1" = 30'	SITE BENCHMARKS	#1: T.N.H. on the south side of 96th St. W, first hydrant west of James St. Elevation = 820.90 (NAVD 88). #2: T.N.H. on the south side of 96th St. W, second hydrant west of James St. Elevation = 817.53 (NAVD 88). #3: T.N.H. 155' northerly of the southeast property corner of 1800 96th St. W. Elevation = 821.07 (NAVD 88).	SITE ADDRESS 1750 & 1800 96th St. W Bloomington, MN 55431	REVISIONS		I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly registered Land Surveyor under the laws of the State of Minnesota. W. BROWN LAND SURVEYING, INC.  DATED: 06-25-2024 WOODROW A. BROWN, R.L.S. MN REG 15230	 W. BROWN LAND SURVEYING, INC. 8030 OLD CEDAR AVENUE SO., SUITE 228 BLOOMINGTON, MN 55425 PH: (952) 854-4055 WBROWNLANDSURVEYING.COM EMAIL: INFO@WBROWNLANDSURVEYING.COM
BOOK/PAGE	DRAWN CME				DATE	REMARKS		
SHEET 1 of 1 24x36	REFERENCE							

L-31



BEARINGS SHOWN ARE BASED ON AN ASSUMED DATUM



HARRY S. JOHNSON
LAND SURVEYORS INC.