



REMOVAL NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION ACTIVITIES.
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- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
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CITY OF BLOOMINGTON REMOVAL NOTES:

- RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

| SITE AREA CALCULATIONS |                    |                 |                    |        |
|------------------------|--------------------|-----------------|--------------------|--------|
|                        | EXISTING CONDITION |                 | PROPOSED CONDITION |        |
| IMPERVIOUS SURFACES    | BUILDING COVERAGE  | 8,377 SF 10.5%  | 8,377 SF 10.5%     |        |
|                        | PAVEMENT           | 40,384 SF 50.8% | 51,542 SF 64.8%    |        |
|                        | TOTAL              | 48,761 SF 61.3% | 59,919 SF 75.3%    | 1.4 AC |
| PERVIOUS SURFACES      |                    |                 |                    |        |
|                        | TOTAL              | 30,804 SF 38.7% | 19,646 SF 24.7%    | 0.5 AC |
| TOTAL SITE AREA        |                    |                 |                    |        |
|                        | 79,565 SF          | 100.0%          | 79,565 SF          | 100.0% |
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PRELIMINARY:  
NOT FOR  
CONSTRUCTION

**PARKING EXPANSION**  
9117 LYNDALE AVE S, BLOOMINGTON, MN 55420  
CHU VISION INSTITUTE  
9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.  
*Robert A. Blumberg*  
Robert A. Blumberg  
DATE 08/12/2024 LICENSE NO. 99622

| ISSUE/SUBMITTAL SUMMARY |                |
|-------------------------|----------------|
| DATE                    | DESCRIPTION    |
| 08/12/2024              | CITY SUBMITTAL |

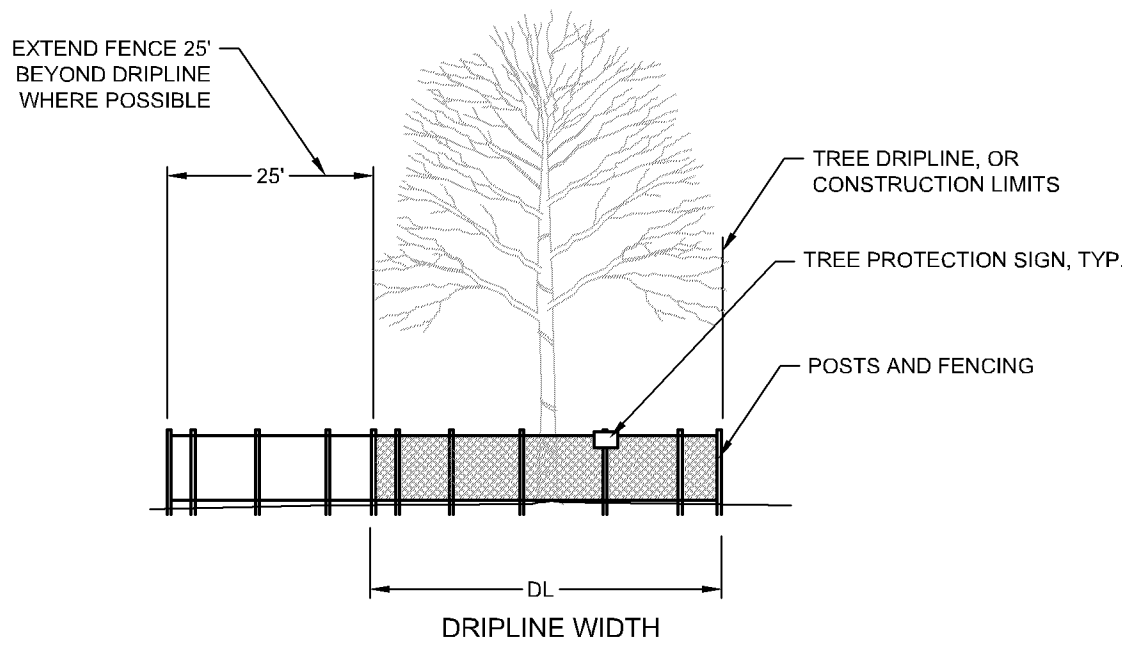
| PROJECT MANAGER | PLI NAME           |
|-----------------|--------------------|
| CONTACT NUMBER  | 612-615-0060 X1000 |
| DRAWN BY        |                    |
| REVIEWED BY     |                    |
| PROJECT NUMBER  |                    |

| REVISION SUMMARY |             |
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REMOVALS PLAN  
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© COPYRIGHT 2023 CIVIL SITE GROUP INC.

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**TREE PROTECTION**  
NTS

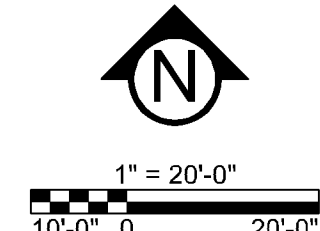
REMOVALS PLAN LEGEND:

- REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PVMTS.
- REMOVAL OF STRUCTURE INCLUDING ALL FOOTINGS AND FOUNDATIONS.
- REMOVAL OF TREES AND VEGETATION INCLUDING STUMPS AND ROOT SYSTEMS
- CONSTRUCTION LIMITS
- PROPERTY LINE
- REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.
- TREE PROTECTION
- TREE REMOVAL - INCLUDING ROOTS AND STUMPS

SEE SHEET C0.1 FOR GENERAL  
REMOVAL NOTES



Know what's below.  
Call before you dig.

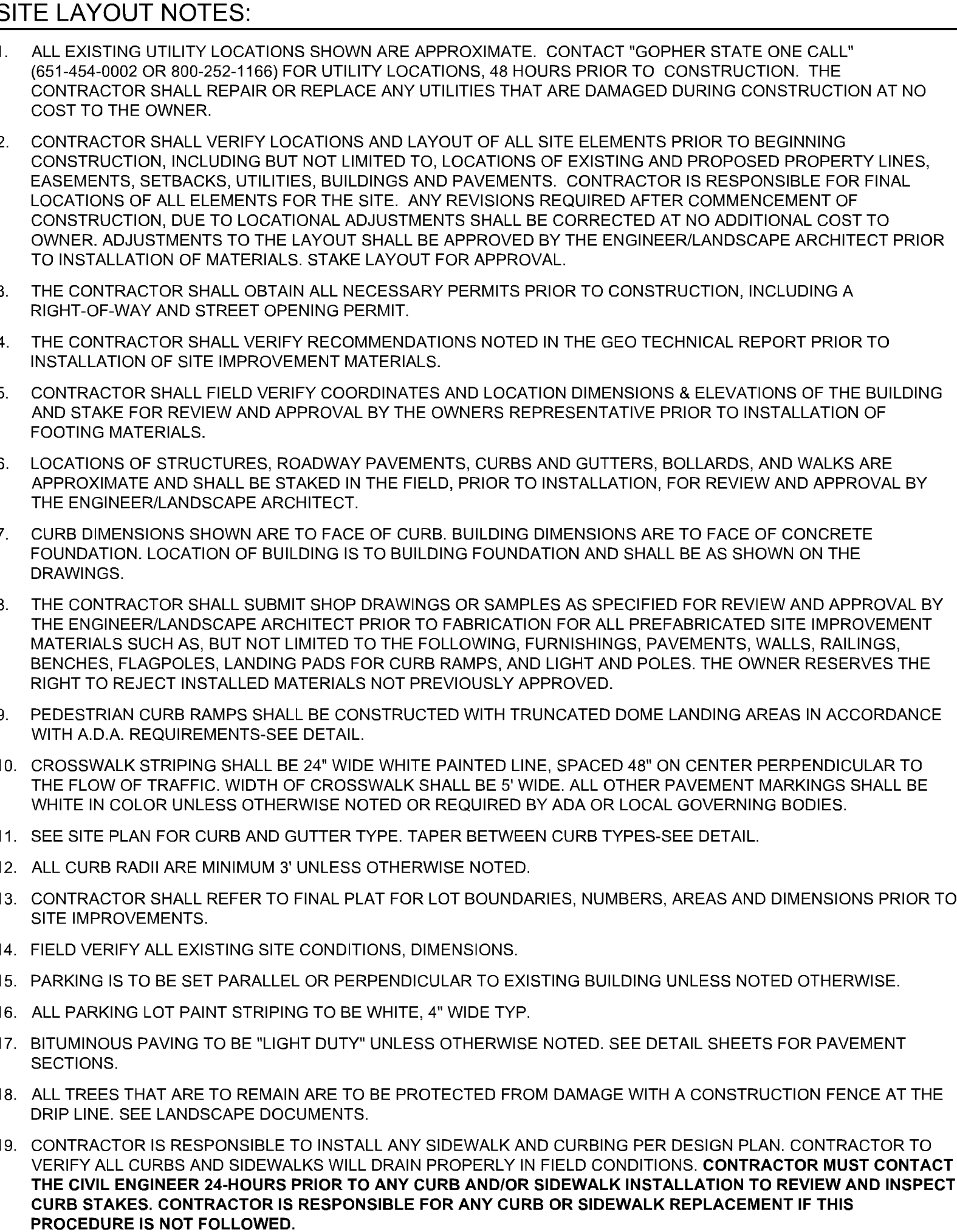


OWNER INFORMATION

CHU VISION INSTITUTE  
9117 LYNDALE AVE S  
BLOOMINGTON, MN 55420  
CONTACT: JODI CHU  
952-204-9869  
JODI.CHU@CHUVISION.COM

EROSION CONTROL NOTES:

SEE SWPPP ON SHEETS SW1.0 - SW1.3



 LIGHT DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.

 HEAVY DUTY BITUMINOUS PAVEMENT (IF APPLICABLE). SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & WEAR COURSE DEPTH. SEE DETAIL.

 CONCRETE PAVEMENT (IF APPLICABLE) AS SPECIFIED (PAD OR WALK) SEE GEOTECHNICAL REPORT FOR AGGREGATE BASE & CONCRETE DEPTHS, WITHIN ROW SEE CITY DETAIL, WITHIN PRIVATE PROPERTY SEE CSG DETAIL

 PROPERTY LINE

 CONSTRUCTION LIMITS

 CURBS AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN

 TRAFFIC DIRECTIONAL ARROW PAVEMENT MARKINGS

 SIGN AND POST ASSEMBLY. SHOP DRAWINGS REQUIRED.

 HC = ACCESSIBLE SIGN

 NP = NO PARKING FIRE LANE

 ST = STOP

 CP = COMPACT CAR PARKING ONLY

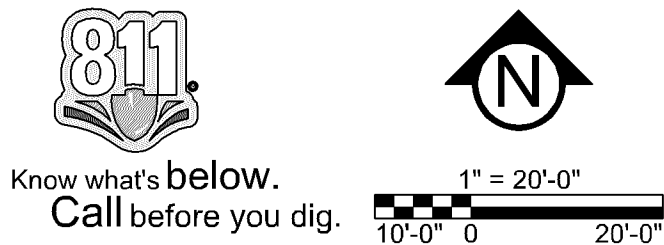
 ACCESSIBILITY ROUTE ARROW (IF APPLICABLE) DO NOT PAINT.

1. RESERVED FOR CITY SPECIFIC SITE NOTES.

| SITE AREA CALCULATIONS    |       |                    |        |        |                    |        |        |
|---------------------------|-------|--------------------|--------|--------|--------------------|--------|--------|
|                           |       | EXISTING CONDITION |        |        | PROPOSED CONDITION |        |        |
| IMPERVIOUS SURFACES       |       |                    |        |        |                    |        |        |
| BUILDING COVERAGE         |       | 8,377 SF           | 10.5%  |        | 8,377 SF           | 10.5%  |        |
| PAVEMENT                  |       | 40,384 SF          | 50.8%  |        | 51,542 SF          | 64.8%  |        |
|                           | TOTAL | 48,761 SF          | 61.3%  | 1.1 AC | 59,919 SF          | 75.3%  | 1.4 AC |
| PERVIOUS SURFACES         |       |                    |        |        |                    |        |        |
|                           | TOTAL | 30,804 SF          | 38.7%  | 0.7 AC | 19,646 SF          | 24.7%  | 0.5 AC |
| TOTAL SITE AREA           |       | 79,565 SF          | 100.0% | 1.8 AC | 79,565 SF          | 100.0% | 1.8 AC |
| DIFFERENCE (EX. VS PROP.) |       | 11,158 SF          | 14.0%  |        |                    |        |        |
| DISTURBED AREA            |       | 20,564 SF          | 0.5 AC |        |                    |        |        |

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SEE SHEET C0.1 FOR GENERAL  
SITE NOTES



**CivilSite**  
GROUP  
Civil Engineering · Surveying · Landscape  
Architecture  
5000 Glenwood Avenue  
Golden Valley, MN 55422  
civilsitegroup.com  
612-615-0060

PRELIMINARY:  
NOT FOR  
CONSTRUCTION

## PARKING EXPANSION

9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

CHU VISION INSTITUTE

# PROJECT

DIVINIC

I HEREBY CERTIFY THAT THIS PLAN,  
SPECIFICATION, OR REPORT WAS  
PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY  
LICENSED PROFESSIONAL ENGINEER  
THE STATE OF MINNESOTA.

  
Robert L. Blader  
DATE 08/12/2024 LICENSE NO. 99822

| ISSUE/SUBMITTAL SUMMARY |                |
|-------------------------|----------------|
| DATE                    | DESCRIPTION    |
| 08/12/2024              | CITY SUBMITTAL |

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|                 |                    |
|-----------------|--------------------|
| PROJECT MANAGER | FULL NAME          |
| CONTACT NUMBER  | 612-615-0000 X XXX |

|                |  |
|----------------|--|
| REVIEWED BY    |  |
| PROJECT NUMBER |  |

## REVISION SUMMARY

| DATE | DESCRIPTION |
|------|-------------|
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## SITE PLAN

# C2.0

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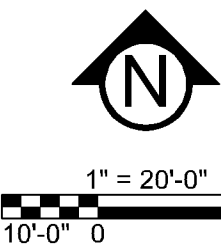
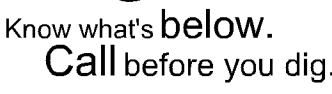
1. CONTRACTOR SHALL VERIFY ALL BUILDING ELEVATIONS, (FFE, LFE, GFE), PRIOR TO CONSTRUCTION BY CROSS CHECKING WITH ARCHITECTURAL, STRUCTURAL AND CIVIL ELEVATIONS FOR EQUIVALENT "100" ELEVATIONS. THIS MUST BE DONE PRIOR TO EXCAVATION AND INSTALLATION OF ANY FOOTING MATERIALS. VERIFICATION OF THIS COORDINATION SHALL BE CONFIRMED IN WRITING BY CIVIL, SURVEYOR, ARCHITECTURAL, STRUCTURAL AND CONTRACTOR PRIOR TO CONSTRUCTION.
2. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
3. SEE SITE PLAN FOR HORIZONTAL LAYOUT & GENERAL GRADING NOTES.
4. THE CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO SITE PREPARATION, SOIL CORRECTION, EXCAVATION, EMBANKMENT, ETC.) IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
5. ANY ELEMENTS OF AN EARTH RETENTION SYSTEM AND RELATED EXCAVATIONS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY WILL REQUIRE A "RIGHT OF WAY EXCAVATION PERMIT". CONTRACTOR IS RESPONSIBLE FOR ACQUIRING THIS PERMIT PRIOR TO CONSTRUCTION IF APPLICABLE.
6. GRADING AND EXCAVATION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS & PERMIT REQUIREMENTS OF THE CITY.
7. PROPOSED SPOT GRADES ARE FLOW-LINE FINISHED GRADE ELEVATIONS, UNLESS OTHERWISE NOTED.
8. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX. LONGITUDINAL SLOPE AND 1% MIN. AND 2% MAX. CROSS SLOPE, UNLESS OTHERWISE NOTED.
9. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1.
10. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
12. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
13. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADs, ROADWAYS AND PARKING AREAS. THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
14. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISH GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED BY TRAFFIC OR ERODED BY WATER OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
15. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL WILL BE REQUIRED ON THE STREET AND/OR PARKING AREA SUBGRADE. THE CONTRACTOR SHALL PROVIDE A LOADED TANDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS, THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. THE SOILS ENGINEER SHALL DETERMINE WHICH SECTIONS OF THE STREET OR PARKING AREA ARE UNSTABLE. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER. NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/RETENTION SYSTEMS.
16. TOLERANCES
  - 16.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
  - 16.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
  - 16.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
  - 16.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
17. MAINTENANCE
  - 17.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
  - 17.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES. DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDING AND MULCHED.
  - 17.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER, CONTRACTOR SHALL SCARIFY, SURFACE, RESHAPE, AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION.

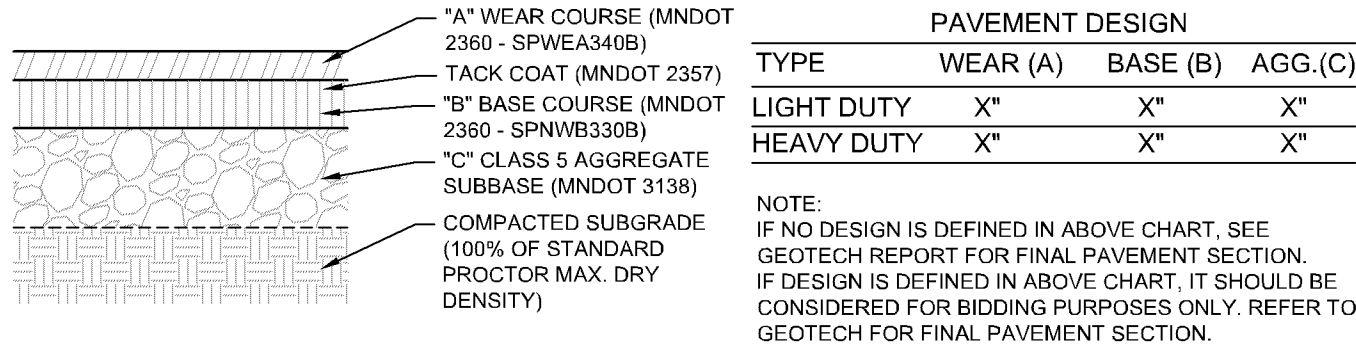
Diagram illustrating a road cross-section with various elevation points and descriptions:

- 1125**: EX. 1' CONTOUR ELEVATION INTERVAL
- 1137**: 1.0' CONTOUR ELEVATION INTERVAL
- 41.26**: SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
- 891.00 G**: SPOT GRADE ELEVATION GUTTER
- 891.00 TC**: SPOT GRADE ELEVATION TOP OF CURB
- 891.00 BS/TS**: SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
- 891.00 ME**: SPOT GRADE ELEVATION MATCH EXISTING
- CB**: GRADE BREAK - HIGH POINTS
- EOF=1135.52**: CURB AND GUTTER (T.O = TIP OUT)
- EMERGENCY OVERFLOW**
- CONSTRUCTION LIMITS**

1. RESERVED FOR CITY SPECIFIC GRADING NOTES

SEE SWPPP ON SHEETS SW1.0 - SW1.3

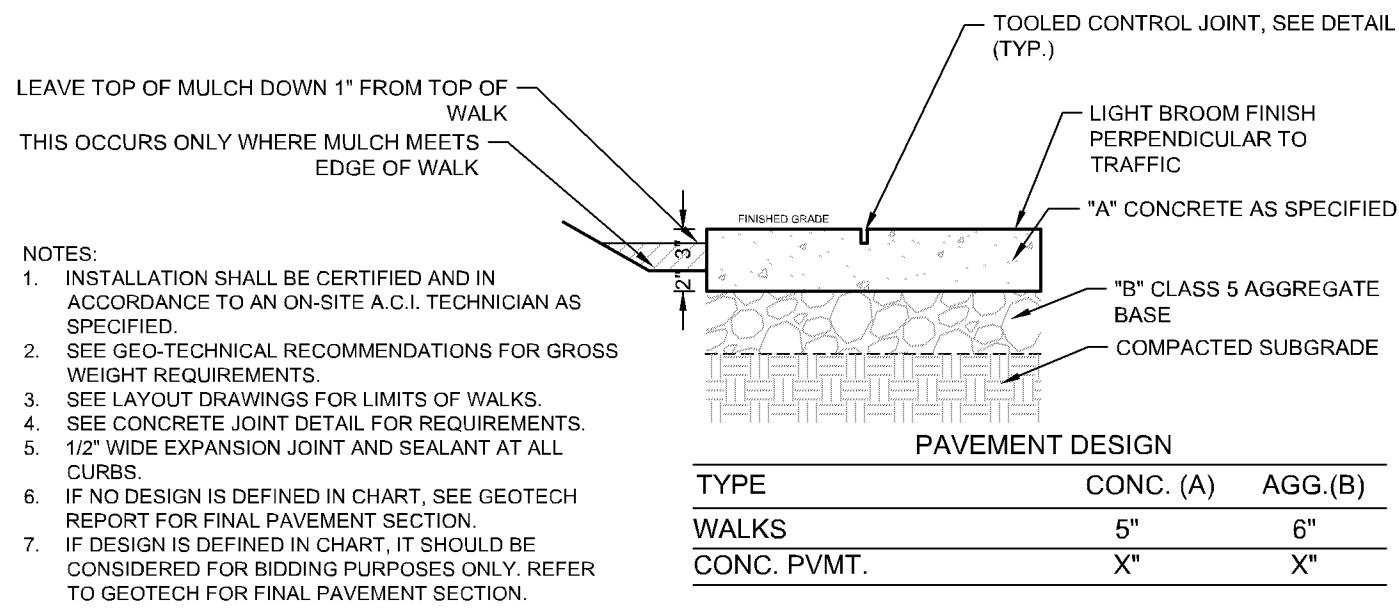




| PAVEMENT DESIGN |          |          |         |
|-----------------|----------|----------|---------|
| TYPE            | WEAR (A) | BASE (B) | AGG.(C) |
| LIGHT DUTY      | X"       | X"       | X"      |
| HEAVY DUTY      | X"       | X"       | X"      |

NOTE:  
IF NO DESIGN IS DEFINED IN ABOVE CHART, SEE GEOTECH REPORT FOR FINAL PAVEMENT SECTION.  
IF DESIGN IS DEFINED IN ABOVE CHART, IT SHOULD BE CONSIDERED FOR BIDDING PURPOSES ONLY. REFER TO GEOTECH FOR FINAL PAVEMENT SECTION.

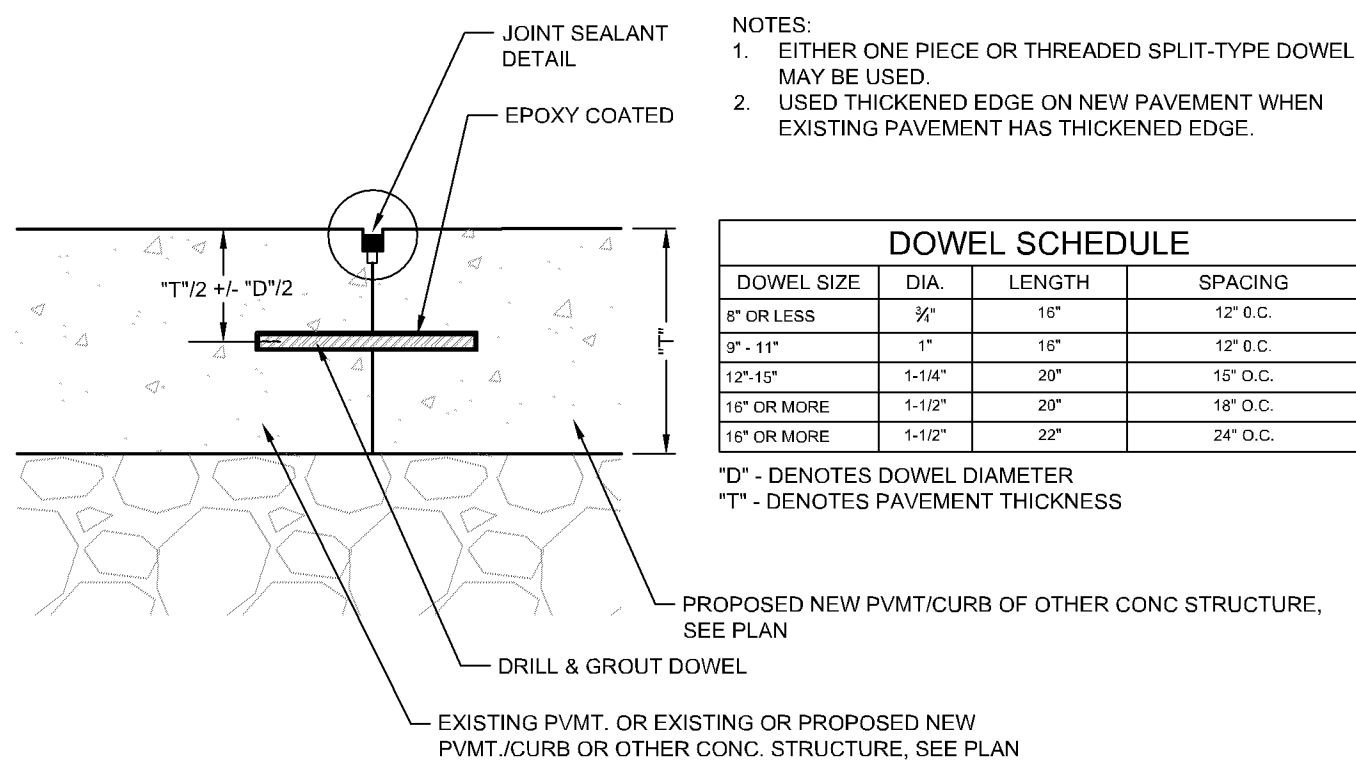
## BITUMINOUS PAVEMENT - ALL TYPES



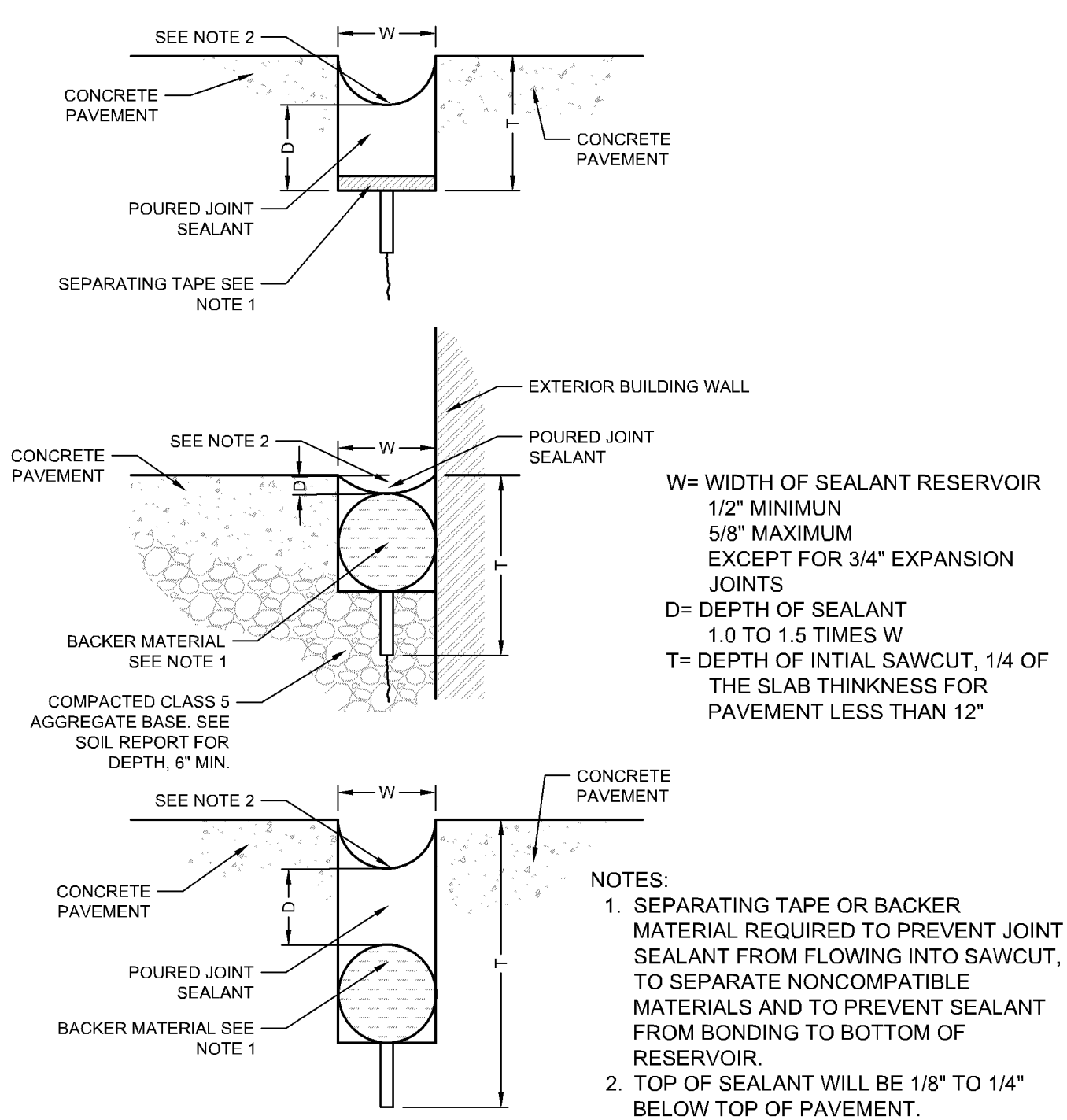
| PAVEMENT DESIGN |           |         |
|-----------------|-----------|---------|
| TYPE            | CONC. (A) | AGG.(B) |
| WALKS           | 5"        | 6"      |
| CONC. PVMT.     | X"        | X"      |

1. CURING:  
1.1. APPLY CURING COMPOUNDS IMMEDIATELY UPON FINISHING OF CONC. SURFACE.  
1.2. ALL CONC. SURFACES SHALL HAVE CURING COMPOUNDS ALLIED PER ASTM C-309, AT 200 S.F. PER GAL.  
1.3. ALL CURING COMPOUNDS SHALL BE TYPE 1 (CLEAR) AND CONTAIN ACRYLIC-BASED CLASS 5 RESTRICTED RESIN SOLIDS.

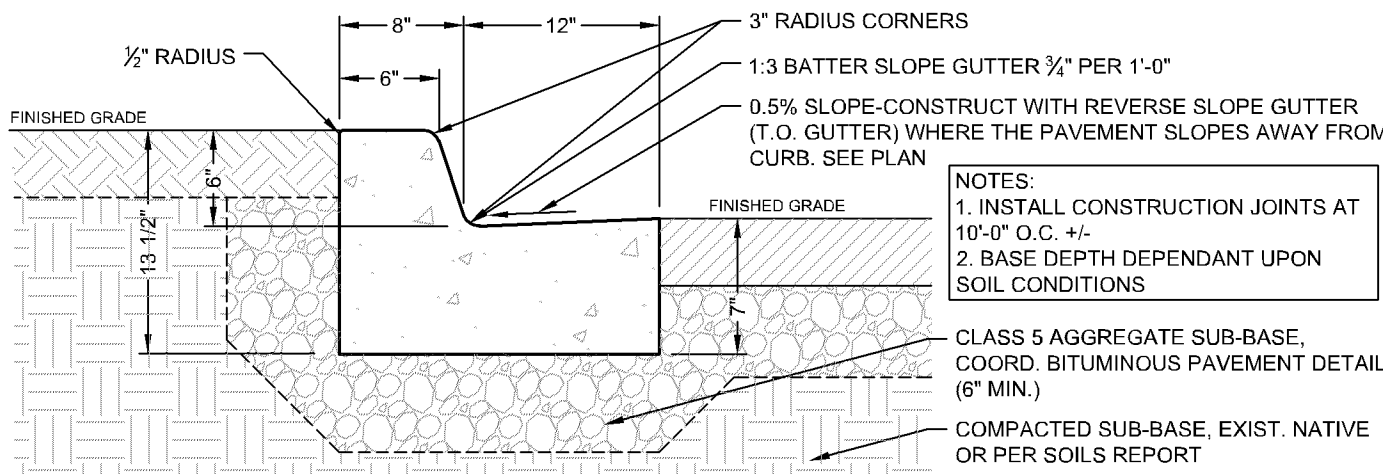
## CONCRETE PVMT./WALK/PAD



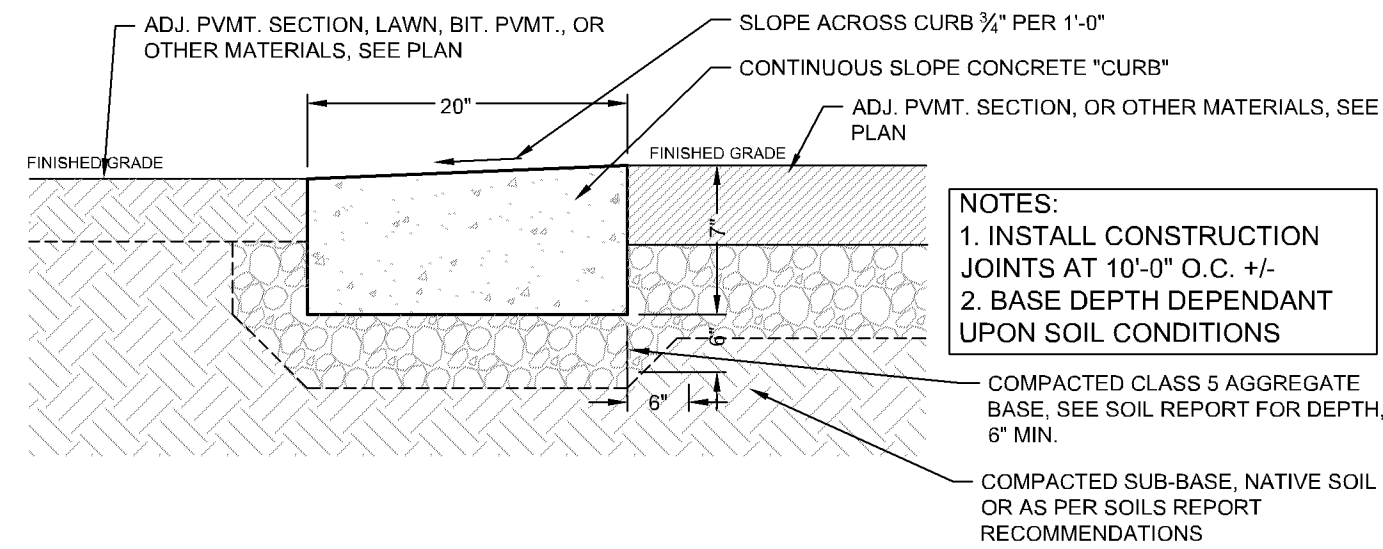
## DOWELED JOINT BETWEEN TWO PAVEMENTS



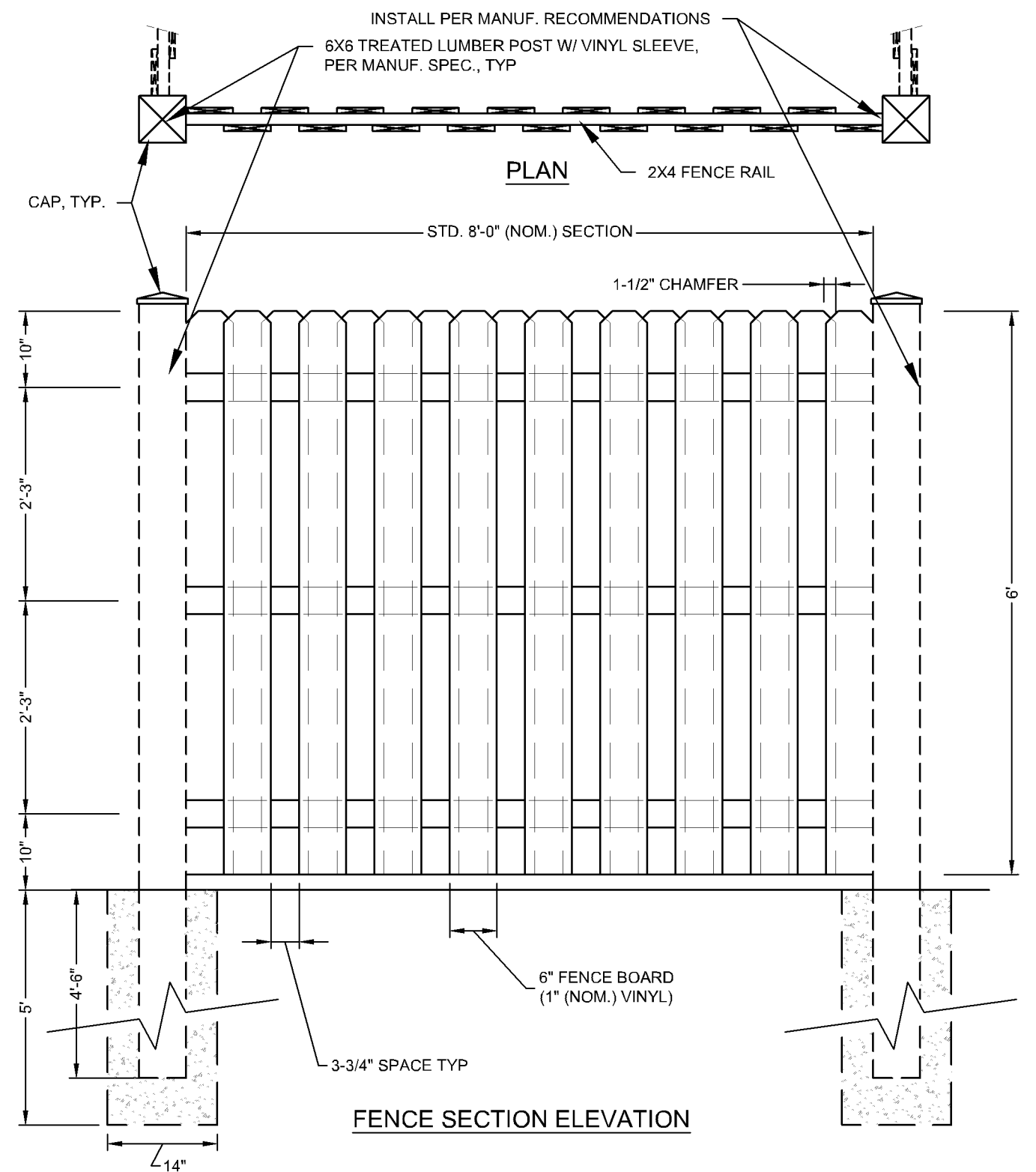
## EXPANSION JOINT SEALANT DETAILS



## B-612 CONCRETE CURB AND GUTTER



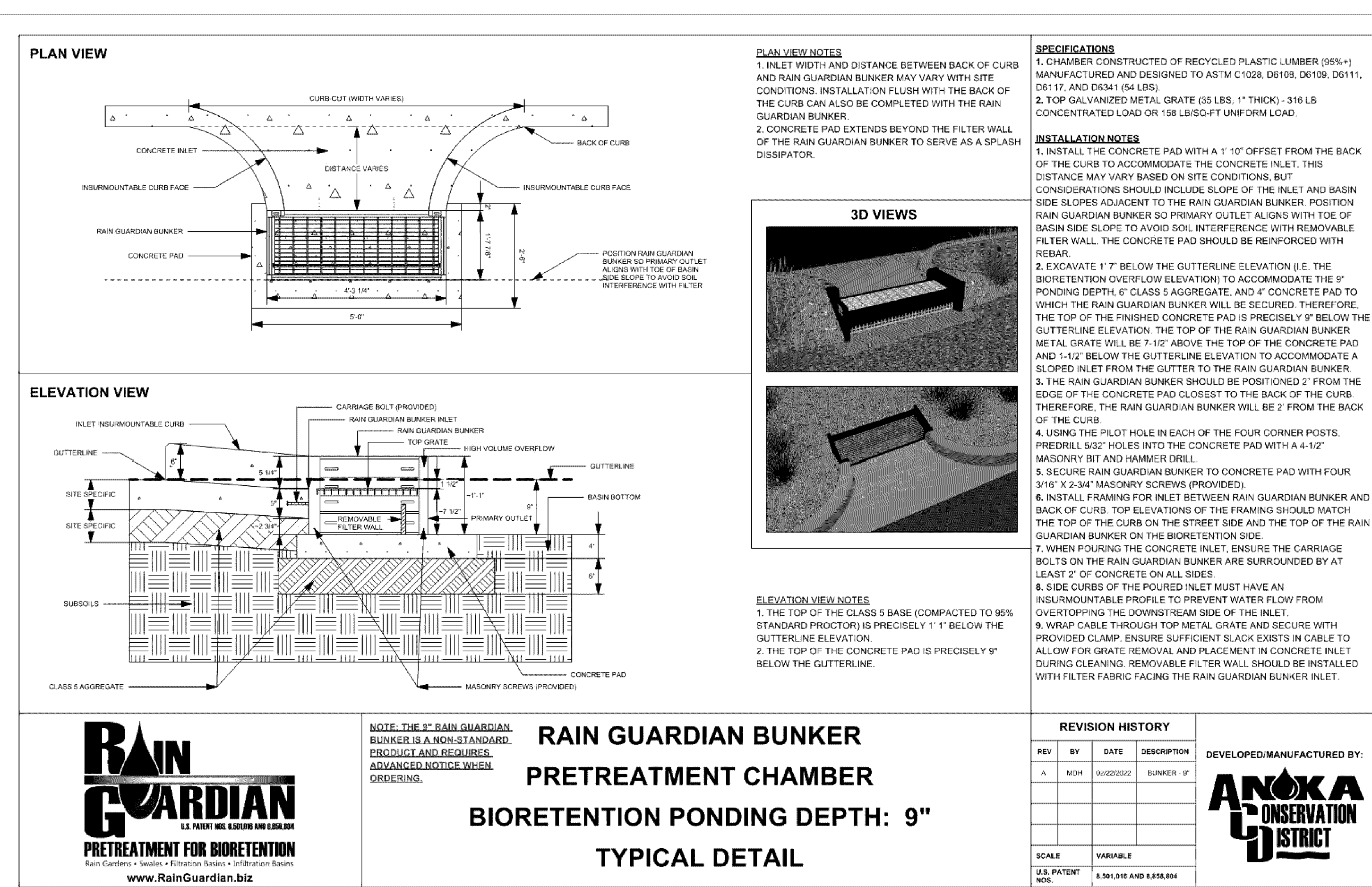
## RIBBON CURB



- NOTES:  
1. INSTALL FENCE POSTS & FOOTINGS BASED ON STANDARD 8" (NOM.) PRE-MADE FENCE PANELS.  
2. PROVIDE SAMPLES AND ILLUSTRATIONS OF AVAILABLE FENCE STYLES FOR OWNER APPROVAL  
3. ENSURE ALL STYLES PROVIDE MIN. 90% OPACITY  
4. CONTRACTOR SHALL PROVIDE COLOR SAMPLES FOR APPROVAL PRIOR TO INSTALLATION  
5. GATES, AS SHOWN ON PLAN, SHALL INCLUDE REINFORCED GATE PANELS, GATE HARDWARE, LATCHES AND ALL APPURTENANCES SHALL BE PROVIDED AND BE WITHIN SAME MANUFACTURED SYSTEM OF FENCING.  
6. GATES TO BE LOCATED PER PLAN - MIN. 3'-6" WIDE, OPENING MIN. 150"  
7. FOOTING DIAMETER TO BE 14". MINIMUM DEPTH 60".  
8. DIMENSIONS SHOWN ARE NOMINAL FOR FENCING COMPONENTS

## MAINTENANCE FREE VINYL FENCE - 6' HT.

## BIO-INFILTRATION BASIN (RAIN GARDEN - TYP.)



## CONSTRUCTION SEQUENCING

1. INSTALL SILT FENCE AND/OR OTHER APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
2. ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP-GRADIENT LAND DISTURBING ACTIVITY BEGINS.
3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES.
4. AFTER SUBGRADE EXCAVATION BUT PRIOR TO CONSTRUCTION/INSTALLATION OF THE STORMWATER BMP, CONTRACTOR SHALL HAVE GEOTECHNICAL ENGINEER PERFORM DOUBLE-RING INFILTROMETER TEST. TEST SHALL OCCUR AT BOTTOM OF SUBGRADE ELEVATION OF STORMWATER BMP (CHAMBERS, INFILTRATION BASINS ETC.) AT LOCATION(S) DETERMINED BY THE GEOTECHNICAL ENGINEER ON SITE. REPORT INFILTRATION RATES OF SOILS (NATIVE OR IMPORTED) TO CIVIL ENGINEER PRIOR TO ANY INSTALLATION RELATED TO THE BMP. TESTING SHOULD YIELD RESULTS OF APPROXIMATELY TWICE THE DESIGN RATE, PROVIDING A SAFETY FACTOR CONSISTENT WITH SECTION 16.11 OF THE NPDES CONSTRUCTION STORMWATER PERMIT. IF TEST RESULTS EXCEED 8.5 INCHES PER HOUR, SECTION 16.16 REQUIRES THAT SOILS BE AMENDED TO SLOW THE INFILTRATION RATE BELOW 8.3 INCHES PER HOUR.
5. POST CONSTRUCTION TESTING OF THE INFILTRATION RATE AND DRAWDOWN PERIOD WILL BE REQUIRED. POST CONSTRUCTION TESTING SHOULD YIELD RESULTS OF APPROXIMATELY TWICE THE DESIGN RATE, PROVIDING A SAFETY FACTOR CONSISTENT WITH SECTION 16.11 OF THE NPDES CONSTRUCTION STORMWATER PERMIT. IF TEST RESULTS EXCEED 8.5 INCHES PER HOUR, SECTION 16.16 REQUIRES THAT SOILS BE AMENDED TO SLOW THE INFILTRATION RATE

- BELOW 8.3 INCHES PER HOUR. INSTALL UTILITIES (WATER, SANITARY SEWER, ELECTRIC, PHONE, FIBER OPTIC, ETC) PRIOR TO THE STORMWATER SYSTEM.
6. ROUGH GRADE THE SITE. IF BIORETENTION AREAS ARE BEING USED AS TEMPORARY SEDIMENT BASINS, LEAVE A MINIMUM OF 1 FEET OF COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
  7. PERFORM ALL OTHER SITE IMPROVEMENTS.
  8. PLANT ALL AREAS AFTER DISTURBANCE.
  9. CONSTRUCT BIORETENTION DEVICE UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA.
  10. IMPLEMENT TEMPORARY AND PERMANENT EROSION CONTROL PRACTICES.
  11. PLANT AND/OR ROCK MULCH BIORETENTION DEVICE.
  12. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

- GENERAL NOTES  
1. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.  
2. GRADING OF EXCAVATION DEVICES SHALL BE ACCOMPLISHED USING LOW-COMPACTATION EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF UNDERLYING SOILS.  
3. ALL SUB MATERIALS BELOW THE SPECIFIED BIORETENTION DEPTH (ELEVATION) SHALL BE UNDISTURBED, UNLESS OTHERWISE NOTED.

PRELIMINARY:  
NOT FOR  
CONSTRUCTION

## PARKING EXPANSION

PROJECT

OWNER

CHU VISION INSTITUTE

9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

Robert A. Blundell  
DATE 08/12/2024 LICENSE NO. 98922

ISSUE/SUBMITTAL SUMMARY

DATE DESCRIPTION

08/12/2024 CITY SUBMITTAL

REVISION SUMMARY

DATE DESCRIPTION

DATE DESCRIPTION

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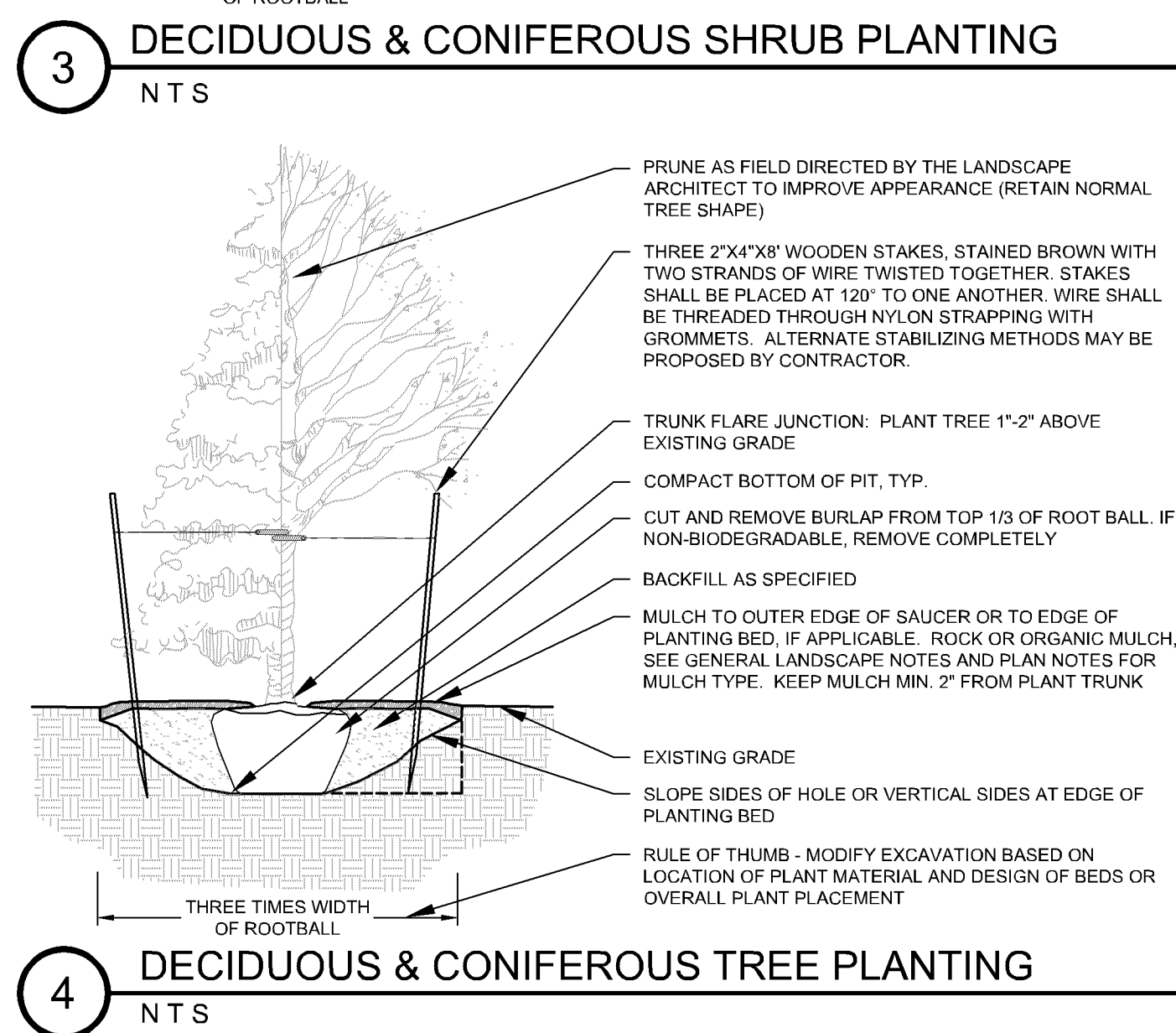
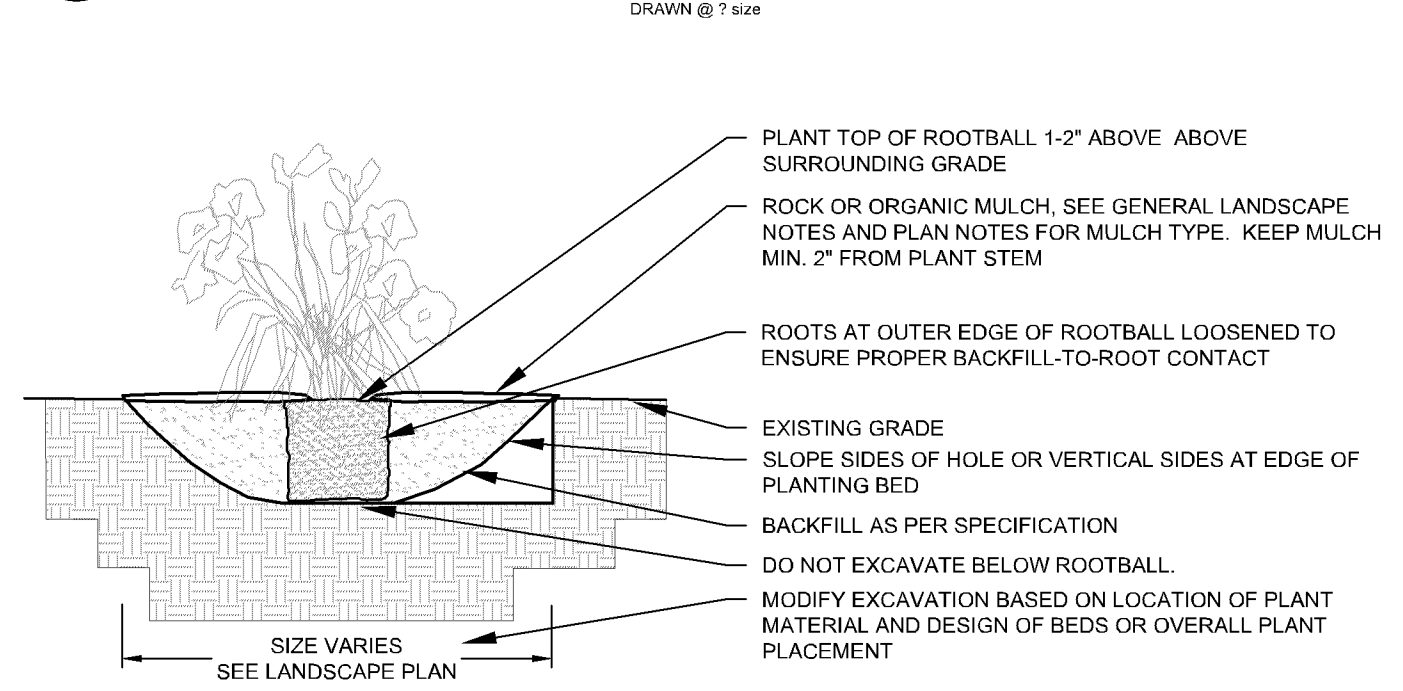
## CIVIL DETAILS

C5.0

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| CODE                       | COMMON / BOTANICAL NAME                                           | QTY | CONT          | NATIVE PLANTS   | POLLINATOR FRIENDLY |
|----------------------------|-------------------------------------------------------------------|-----|---------------|-----------------|---------------------|
| <b>2.5" OVERSTORY TREE</b> |                                                                   |     |               |                 |                     |
| GC2.5                      | True North™ Kentucky Coffeetree / Gymnocladus dioica 'UMNSynergy' | 2   | 2.5" CAL. B&B | NATIVE CULTIVAR | N                   |
| QM                         | Prairie Stature® Oak / Quercus x bimundorum 'Midwest'             | 2   | 2.5" CAL. B&B |                 |                     |
| BL                         | Boulevard Linden / Tilia americana 'Boulevard'                    | 2   | 2.5" Cal. B&B | NATIVE CULTIVAR |                     |
|                            | SUBTOTAL:                                                         | 6   |               |                 |                     |
| <b>2" ORNAMENTAL TREE</b>  |                                                                   |     |               |                 |                     |
| OV2                        | Ironwood / Ostrya virginiana                                      | 2   | 2" CAL. B&B   | NATIVE          | Y                   |
|                            | SUBTOTAL:                                                         | 2   |               |                 |                     |
| CODE                       | COMMON / BOTANICAL NAME                                           | QTY | SIZE          | NATIVE PLANTS   | POLLINATOR FRIENDLY |
| <b>SHRUBS</b>              |                                                                   |     |               |                 |                     |
| VD                         | Blue Muffin Arrowwood Viburnum / Viburnum dentatum 'Christom'     | 3   | #5 CONT       | NATIVE CULTIVAR | Y                   |
| VU                         | Glitters & Glows® Arrowwood Viburnum / Viburnum dentatum deamii   | 4   | #5 CONT       | NATIVE CULTIVAR | Y                   |
|                            | SUBTOTAL:                                                         | 7   |               |                 |                     |



- CivilSite**  
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612-615-0060

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**PARKING EXPANSION**

9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

OWNER

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**CHU VISION INSTITUTE**

9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

I HEREBY CERTIFY THAT THIS PLAN,  
SPECIFICATION, OR REPORT WAS  
PREPARED BY ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I AM A DULY  
LICENSED LANDSCAPE ARCHITECT UNDER  
THE LAWS OF THE STATE OF MINNESOTA.

  
Robert L. Binder  
DATE 08/12/2024 LICENSE NO. 25821

[illegible][illegible]LANDSCAPE PLAN  
NOTES & DETAILS

L1.1

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UNDER THE LAWS OF THE STATE OF  
MINNESOTA.

  
Robert A. Latta  
DATE 08/12/2024 LICENSE NO. 59612

#### ISSUE/SUBMITTAL SUMMARY

| DATE       | DESCRIPTION    |
|------------|----------------|
| 08/12/2024 | CITY SUBMITTAL |

[illegible]

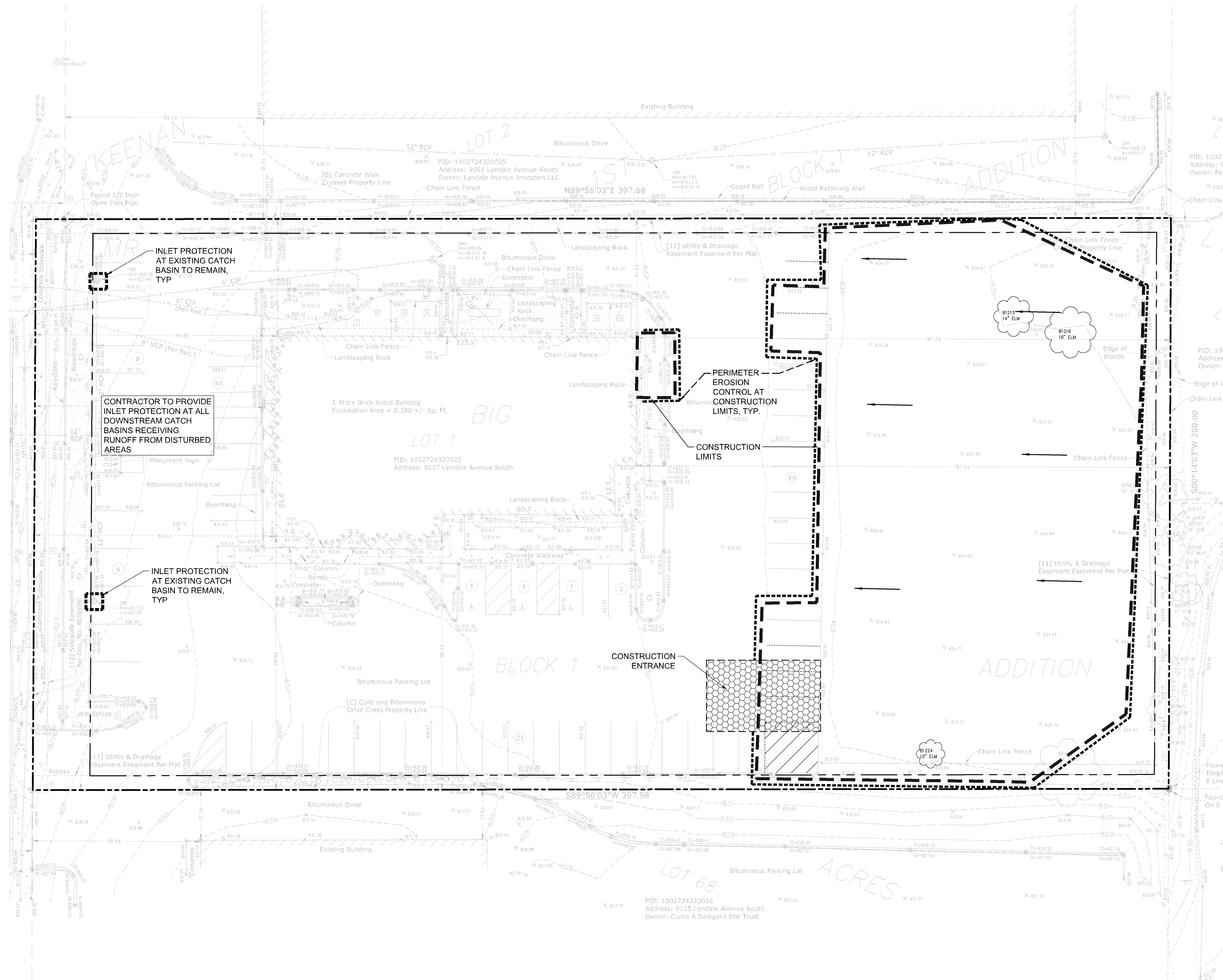
|                 |                    |
|-----------------|--------------------|
| PROJECT MANAGER | FULL NAME          |
| CONTACT NUMBER  | 612-615-0662 X XXX |
| DRAWN BY        |                    |
| REVIEWED BY     |                    |
| PROJECT NUMBER  |                    |

## REVISION SUMMARY

[illegible]SWPPP - EXISTING  
CONDITIONS

# SW1.0

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1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

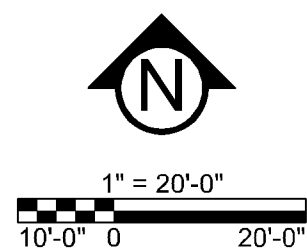
1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. THIS PROJECT IS GREATER THAN ONE ACRE AND WILL REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
3. SEE SHEETS SW1.0 - SW1.5 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
4. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
5. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

|                                                                                       |                                                          |
|---------------------------------------------------------------------------------------|----------------------------------------------------------|
|  | EX. 1' CONTOUR ELEVATION INTERVAL<br>DRAINAGE ARROW      |
|  | SILT FENCE / BIOROLL - GRADING LIMIT<br>INLET PROTECTION |
|  | STABILIZED CONSTRUCTION ENTRANCE                         |



Know what's **below**.  
Call before you dig.



PRELIMINARY:  
NOT FOR  
CONSTRUCTION

# PARKING EXPANSION

9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

CHU VISION INSTITUTE

9117 LYNDALE AVE S, BLOOMINGTON, MN 55420

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Robert A. Latta  
DATE 08/12/2024 LICENSE NO. 59612

ISSUE/SUBMITTAL SUMMARY  
DATE DESCRIPTION  
08/12/2024 CITY SUBMITTAL

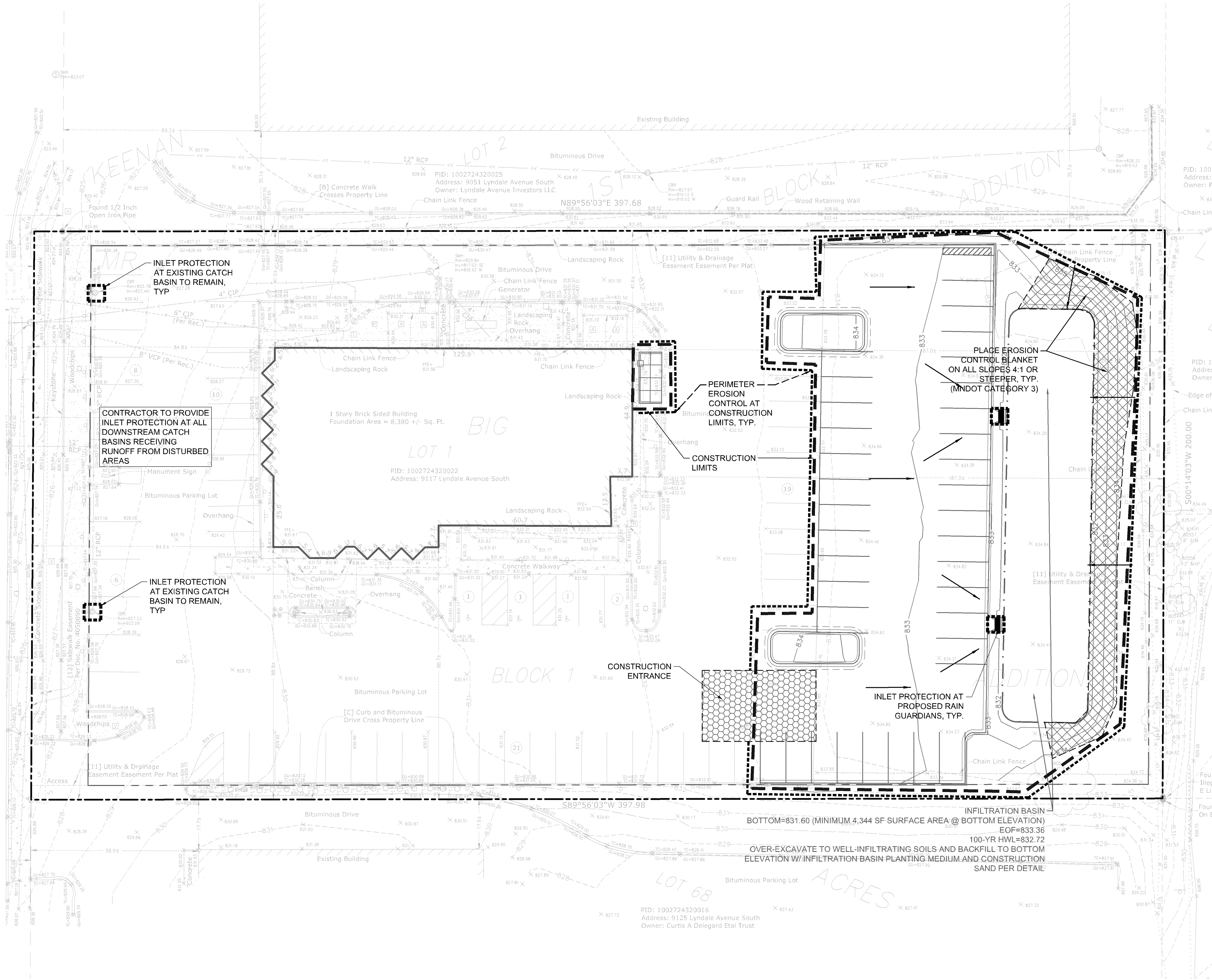
| PROJECT MANAGER | PLI NAME            |
|-----------------|---------------------|
| CONTACT NUMBER  | 612-615-0060 X 1000 |
| DRAWN BY        |                     |
| REVIEWED BY     |                     |
| PROJECT NUMBER  |                     |

| REVISION SUMMARY |             |
|------------------|-------------|
| DATE             | DESCRIPTION |
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SWPPP - PROPOSED CONDITIONS

# SW1.1

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## CITY OF XXXXX EROSION CONTROL NOTES:

1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

## SWPPP NOTES:

- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
- THIS PROJECT IS GREATER THAN ONE ACRE AND WILL REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
- SEE SHEETS SW1.0 - SW1.5 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
- SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
- CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

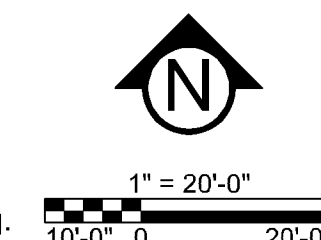
ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

## SWPPP LEGEND:

|                  |                                      |
|------------------|--------------------------------------|
| ----- 1125 ----- | EX. 1' CONTOUR ELEVATION INTERVAL    |
| ----- 1137 ----- | 1.0' CONTOUR ELEVATION INTERVAL      |
| →                | DRAINAGE ARROW                       |
| -----            | SILT FENCE / BIOROLL - GRADING LIMIT |
| □                | INLET PROTECTION                     |
| □                | STABILIZED CONSTRUCTION ENTRANCE     |
| □                | EROSION CONTROL BLANKET              |



Know what's below.  
Call before you dig.



  
Robert A. Latta

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