

PL201600167  
PL2016-167



A LIFESPACE COMMUNITY  
8100 HIGHWOOD DRIVE, BLOOMINGTON, MN

**Redevelopment Plan  
Conceptual Design**

**EXISTING SITE**

- RESIDENTIAL LIVING:**
- 296 APARTMENTS (448 BEDS)
  - GARAGE PARKING: 77 SPACES (DETACHED GARAGES)

- BOARD AND CARE (ASSISTED LIVING / MEMORY SUPPORT)**
- 23 ASSISTED LIVING SUITES (26 BEDS)
  - 23 MEMORY SUPPORT SUITES (26 BEDS)
  - TOTAL: 46 SUITES (52 BEDS)
  - PARKING GARAGE: 17 SPACES
  - REQUIRED PARKING: 45 TOTAL SPACES

- HEALTH CENTER (SKILLED NURSING)**
- 52 SUITES (68 BEDS)
  - REQUIRED PARKING: 26 TOTAL SPACES

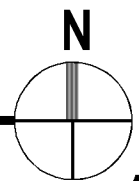
- TOWNHOUSES**
- 6 TOWNHOUSES (12 APARTMENTS)
  - GARAGE PARKING: 24 SPACES
  - REQUIRED PARKING: 32 TOTAL SPACES

- FITNESS CENTER**
- COMMONS/PAVILION**

- PARKING SUMMARY**
- TOTAL REQUIRED PARKING: 574 TOTAL SPACES
  - EXISTING PARKING: 393 TOTAL SPACES
  - ADDITIONAL STREET PARKING: 44 SPACES
  - OFF-SITE PARKING: 54 SPACES
  - TOTAL EXISTING PARKING COUNT: 491 SPACES (83 BELOW REQ. INCLUDING STREET PARKING)

EXISTING SITE PLAN / TOPOGRAPHY

SCALE: 1"=60'-0"



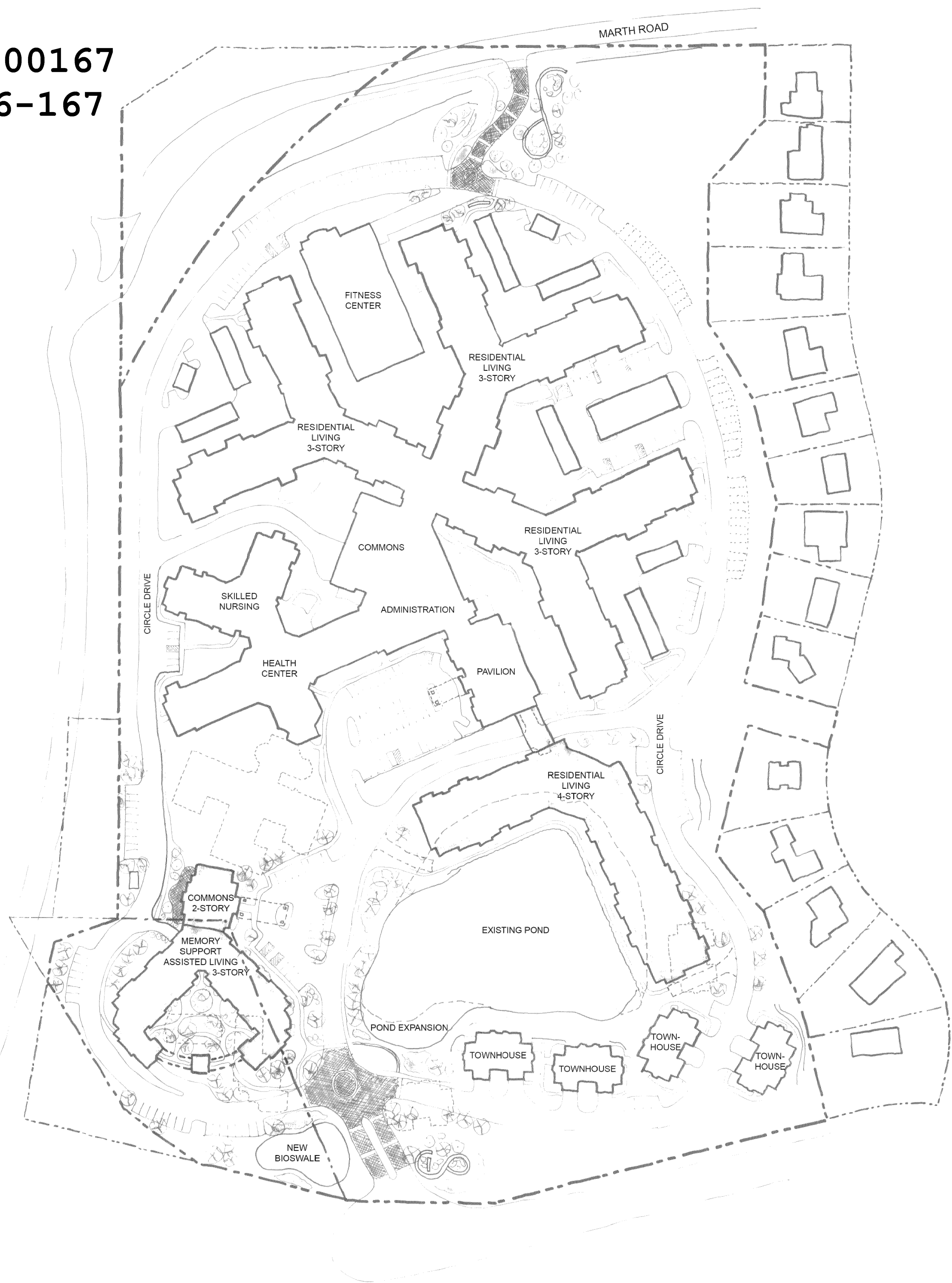
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PHASE 1

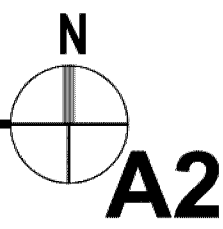
- RESIDENTIAL LIVING:
- 4 STORY W/ LOWER LEVEL PARKING
  - 198,757 SF TOTAL BUILDING
  - 109 TOTAL APARTMENTS
  - PARKING GARAGE: ± 81 HEATED PARKING SPACES
  - REQUIRED PARKING: 164 SPACES
  - CODE ANALYSIS:
    - OCCUPANCY: R-2 CONSTRUCTION TYPE: V-A
    - FULLY SPRINKLERED
    - 1-HR BEARING WALLS, COLUMNS AND BEAMS
    - 1-HR FLOOR AND ROOF ASSEMBLIES
    - 2-HR EXIT STAIRS/SHAFTS
    - LOWER LEVEL PARKING OCCUPANCY: S-2 (2 HR SEPARATION BETWEEN OCCUPANCIES)
  - STRUCTURAL SYSTEMS
    - CONCRETE SPREAD FOOTINGS (ASSUMING 3000 PSF SOIL)
    - CIP CONCRETE LOWER PARKING LEVEL AND FIRST FLOOR STRUCTURE
    - LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS (FLOORS 1-4)
    - LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF TRUSSES (FLOORS 2-ROOF)
    - ALTERNATE: WOOD FRAMING R1 - FLOORS, WALLS, ROOFS
  - MECHANICAL SYSTEMS
    - VTAC (MAGIC-PAK) IN EACH RESIDENT APARTMENT
    - ROOF TOP UNITS FOR COMMON AREAS
  - EXTERIOR MATERIALS
    - NATURAL STONE (20%), BRICK (50%), CEMENT FIBER SIDING (30%)
    - FIBER CEMENT SOFFIT AND TRIM
    - VINYL WINDOWS
    - ARCHITECTURAL FIBERGLASS SHINGLES & EPDM/TPO ROOFING AT FLAT AREAS
    - PRE-ENGINEERED ALUMINUM BALCONIES

- MEMORY SUPPORT/ASSISTED LIVING:
- 3 STORY W/ LOWER LEVEL PARKING
  - 111,200 SF TOTAL BUILDING
  - 74 TOTAL APARTMENTS (32 MS APARTMENTS/42 AL APARTMENTS)
  - PARKING GARAGE: ± 80 HEATED PARKING SPACES
  - REQUIRED PARKING: 75 SPACES
  - CODE ANALYSIS:
    - OCCUPANCY: I-2 CONSTRUCTION TYPE: II-A
    - FULLY SPRINKLERED
    - 1-HR BEARING WALLS, COLUMNS AND BEAMS
    - 1-HR FLOOR AND ROOF ASSEMBLIES
    - 1-HR EXIT STAIRS/SHAFTS
    - LOWER LEVEL PARKING OCCUPANCY: S-2
    - ALTERNATE: 2 HR SEPARATION BETWEEN PARKING AND UPPER FLOORS
  - STRUCTURAL SYSTEMS
    - CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
    - CIP CONCRETE LOWER PARKING LEVEL AND FIRST FLOOR STRUCTURE
    - LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS
    - LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF TRUSSES
    - ALTERNATE: CIP CONCRETE LOWER LEVEL PARKING STRUCTURE AND FIRST FLOOR SLAB
  - MECHANICAL SYSTEMS
    - VTAC (MAGIC-PAK) IN EACH RESIDENT APARTMENT
    - ROOF TOP UNITS FOR COMMON AREAS
  - EXTERIOR MATERIALS
    - NATURAL STONE (20%), BRICK (50%), CEMENT FIBER SIDING (30%)
    - CEMENT FIBER SOFFIT AND TRIM
    - VINYL WINDOWS
    - ARCHITECTURAL FIBERGLASS SHINGLES & EPDM OR TPO AT FLAT ROOF AREAS

- SITE WORK:
- SITE ENTRANCE ENHANCEMENTS AND SIGNAGE
  - POND/WETLANDS - STORM WATER EXPANSION/WETLANDS REMEDIATION
  - ROAD WORK
  - DEMOLITION OF 2 TOWNHOUSES
  - DEMOLITION OF BOARD AND CARE BUILDING (PRIOR TO PHASE II)

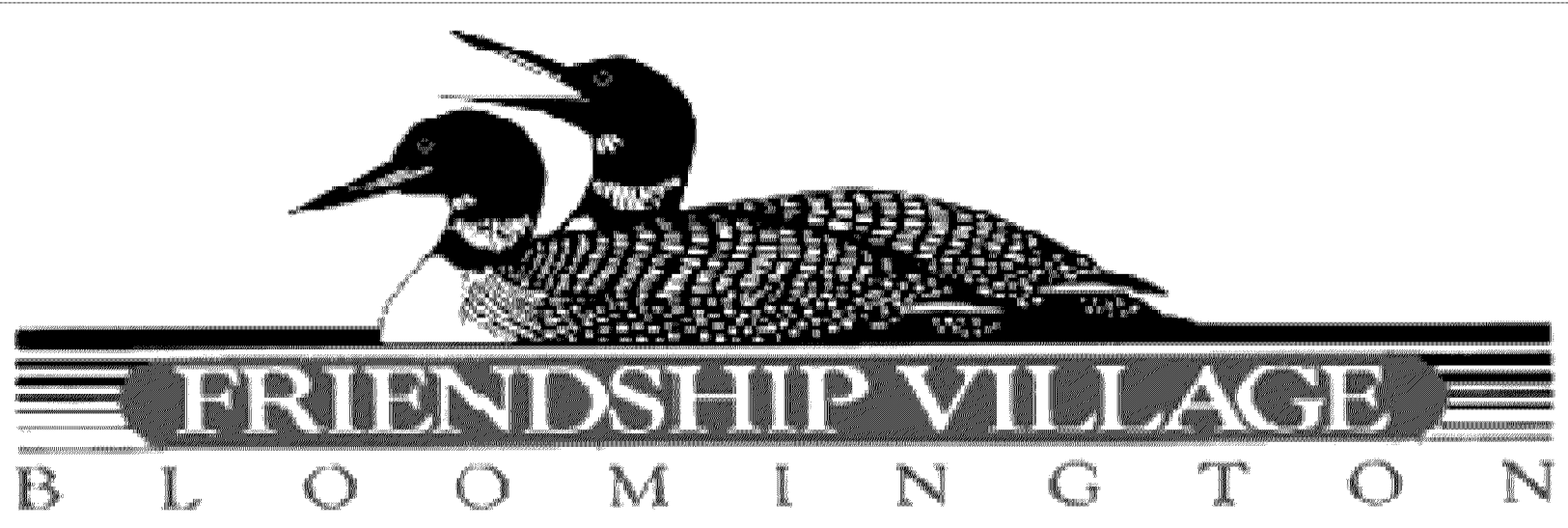
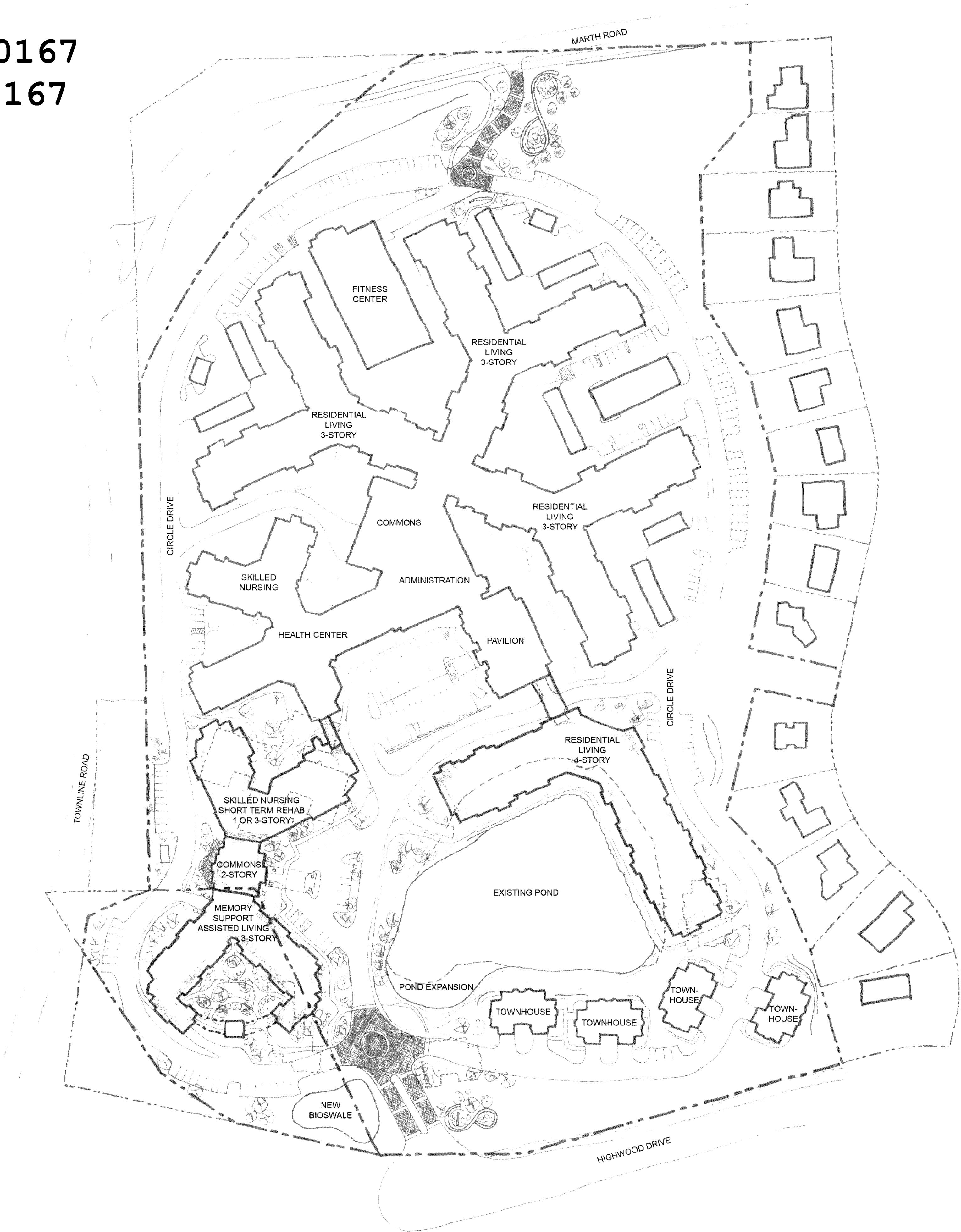
CONCEPTUAL SITE PLAN - PHASE I

SCALE: 1"=60'-0"





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PHASE 2

- SKILLED NURSING/SHORT TERM REHAB:
- 3 STORY SKILLED NURSING/SHORT TERM REHAB ADDITION W/ LOWER LEVEL PARKING GARAGE (TO REPLACE EXISTING SKILLED NURSING)
    - 56 TOTAL SUITES (16 SUITES SHORT TERM REHAB, 50 SUITES SKILLED NURSING)
    - TOTAL SQUARE FOOTAGE: 85,182 SF
    - PARKING GARAGE: ± 60 (4HC) HEATED PARKING SPACES
    - REQUIRED PARKING: 25 SPACES
  - STRUCTURAL SYSTEMS
    - CONCRETE SPREAD FOOTINGS (ASSUMING 3,000 PSF SOIL)
    - CIP CONCRETE LOWER PARKING LEVEL AND FIRST FLOOR STRUCTURE
    - LIGHT GAUGE METAL FRAMING BEARING AND NON-BEARING WALLS
    - LIGHT GAUGE METAL FRAMING FLOOR JOISTS AND ROOF TRUSSES
  - MECHANICAL SYSTEMS
    - VTAC (MAGIC-PAK) IN EACH RESIDENT APARTMENT
    - ROOF TOP UNITS FOR COMMON AREAS
  - EXTERIOR MATERIALS
    - NATURAL STONE (20%), BRICK (50%), CEMENT FIBER SIDING (30%)
    - FIBER CEMENT SOFFIT AND TRIM
    - VINYL WINDOWS
    - EPDM OR TPO AT FLAT ROOF AREAS
  - CODE ANALYSIS:
    - OCCUPANCY: I-2
    - CONSTRUCTION TYPE: II-A
    - FULLY SPRINKLERED
    - 1-HR BEARING WALLS, COLUMNS AND BEAMS
    - 1-HR FLOOR AND ROOF ASSEMBLIES
    - 1-HR EXIT STAIRS/SHAFTS
    - LOWER LEVEL PARKING OCCUPANCY: S-2 (2 HOUR SEPARATION BETWEEN OCCUPANCIES)

ZONING DATA				
DESCRIPTION	CODE REQUIREMENTS	EXISTING	PROPOSED (PHASES I+2)	PROPOSED (EXISTING TO REMAIN + PROPOSED)
ZONING CATEGORY	RM-50 (PUD)	R-1 (PUD)	RM-50 (PUD)	RM-50 (PUD)
USE	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY	SENIOR LIVING COMMUNITY
UNIT COUNT - DU/ACRE	406 UNITS 20 DU/ ACRE MIN 50 DU/ACRE MAX	406 UNITS 16.97 DU/ACRE 1,024,403 SF (23.93 ACRES)	249 UNITS 655 UNITS 1,103,042 SF (25.32 ACRES)	25.87 DU/ACRE 655 UNITS 1,103,042 SF (25.32 ACRES)
GROSS SITE AREA	MIN. 80,000 SF			
BUILDING AREA	-	446,432 SF	309,957 SF	712,191 SF
FLOOR AREA RATIO (FAR)	1.0	58	-	65
IMPERVIOUS AREA	90% MAX COVERAGE	485,892 SF (47.4%)	-	530,534 SF (48.1%)
STREET (FRONT) SETBACKS	40 FEET	225'-0" N / 34'-2" S	225'-0" N / 34'-2" S	225'-0" N / 34'-2" S
REAR SETBACKS	30 FEET	225'-0"	225'-0"	225'-0"
SIDE SETBACKS	10 FEET + 25'/FT OVER 30' 50 FEET (ALONG R-1 ADJ.)	55'-2" W / 17'-11" E	30'-9" W / 17'-11" E	30'-9" W / 17'-11" E
HEIGHT	4 STORIES/60 FEET	-	60 FEET	60 FEET
PARKING	SEN. CIT. HOUSING 15 SPACE/DU RESIDENTIAL CARE 15 SPACES/BED TOWNHOUSES 2.6 SPACES/DU	574 REQUIRED 437 PROVIDED (INCLUDING 44 STREET PARKING)	264 REQUIRED 294 PROVIDED (9 ACCESSIBLE)	757 REQUIRED 665 PROVIDED (20 HC SPACES)

\*PER 21.301.01 - RM-50 ZONING  
\*\* PER 21.302.06 - INSTITUTIONAL USE STANDARDS

UNIT ANALYSIS			
DESCRIPTION	EXISTING	PROPOSED PHASE I	PROPOSED PHASE I + II
RESIDENTIAL LIVING	296 APARTMENTS	109 APARTMENTS	109 APARTMENTS
ASSISTED LIVING	23 APTS (26 BEDS)	42 APTS (46 BEDS)	42 APTS (46 BEDS)
SKILLED NURSING	52 SUITES (68 BEDS)	0 SUITES	50 SUITES (50 BEDS)
SHORT TERM NURSING	0 SUITES	0 SUITES	16 SUITES (16 BEDS)
MEMORY SUPPORT	0 SUITES	32 SUITES	32 SUITES
BOARD AND CARE	23 APTS (26 BEDS)	0 SUITES	0 SUITES
INDEPENDENT LIVING COTTAGES	6 COTTAGES (12 APTS)	0 COTTAGES (2 DEMOLISHED)	0 COTTAGES
TOTALS (PROPOSED NEW)	406 "UNITS"	183 "UNITS"	249 "UNITS"
TOTALS (NEW+EXIST. TO REMAIN)	-	539 "UNITS"	553 "UNITS"

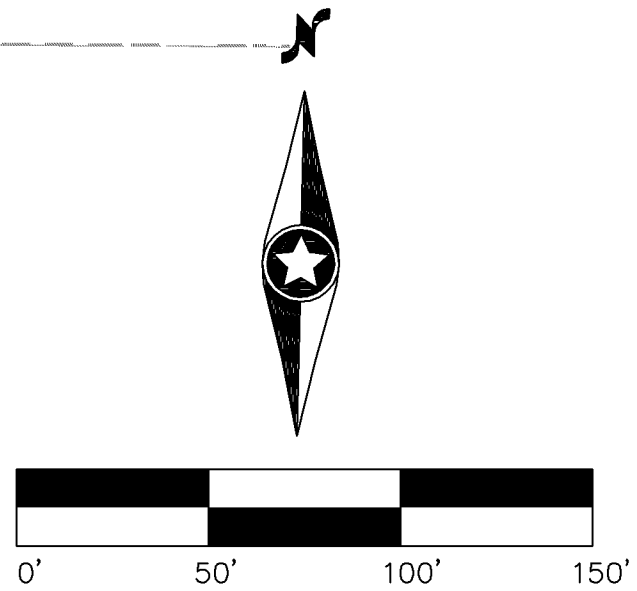
CONCEPTUAL SITE PLAN - FINAL/PHASE III  
SCALE: 1"=60'-0"



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LEGEND

	SANITARY MANHOLE		TELEPHONE BOX
	SEWER CLEANOUT		TELEPHONE MANHOLE
	STORM MANHOLE		CABLE TV BOX
	CATCH BASIN		TRAFFIC CONTROL BOX
	BEEHIVE CATCH BASIN		HAND HOLE
	FLARED END SECTION		TRAFFIC LIGHT
	POWER POLE		STREET LITE
	GUY WIRE		BUSH/SHRUB
	ELECTRIC BOX		CONIFEROUS TREE
	ELECTRIC METER		DECIDUOUS TREE
	ELECTRIC MANHOLE		WETLAND
	ELECTRIC TOWER		TREE LINE
	GATE VALVE		CABLE TV
	HYDRANT		GAS LINE
	WATER METER		POWER OVERHEAD
	CURB STOP BOX		POWER UNDERGROUND
	WATER MANHOLE		SANITARY SEWER
	WELL		STORM SEWER
	GAS METER		TELEPHONE OVERHEAD
	STEEL/WOOD POST		TELEPHONE UNDERGROUND
	SIGN-TRAFFIC/OTHER		WATERMAIN
	SIGN-TRAFFIC/OTHER		FENCE LINE
	MAIL BOX		CURB & GUTTER
	HANDICAPPED STALL		ACCESS CONTROL
	PERC TEST		CONCRETE SURFACE
	MONITORING WELL		BITUMINOUS SURFACE
	FIRE HOSE CONNECTION		GRAVEL SURFACE



NOT FOR CONSTRUCTION

Date: 09/20/16 Sheet: 1 OF 2

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Westwood

Phone (952) 937-5150 7699 Anagram Drive  
Fax (852) 937-5822 Eden Prairie, MN 55344  
Toll Free (888) 937-5150 westwoodps.com  
Westwood Professional Services, Inc.

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Ryan M. Bluhm  
Date: 09/20/16 License No. 41257

Revisions:


Designed:

Checked:

Drawn:

Record Drawing by/date

Prepared for:

Greystone Communities

225 E. John Carpenter Freeway, Suite 700  
Irving, Texas 75062

Friendship  
Village

Bloomington, Minnesota

Existing Conditions



PL201600167  
PL2016-167

Trunk Highway No. 169  
C.S.A.H. No. 18  
PUBLIC ROAD  
WIDTH VARIES

TOWNLINER ROAD

SKILLED NURSING

ADMINISTRATION

HEALTH CENTER

PAVILION

PROPOSED  
BUILDING CONNECTION

RAIN GARDEN

WETLAND/POND FILL

3 STORY  
SKILLED NURSING &  
SHORT TERM NS REHAB

HC  
COMMONS

FFE=860.0  
BSMT=849.0

3 STORY  
MS & AL

PROPOSED  
RETAINING WALL

EXISTING POND

DELINEATED WETLAND

PROPOSED  
UNDERGROUND  
STORMWATER  
TREATMENT

EXISTING  
TOWNHOUSE

EXISTING  
TOWNHOUSE

EXISTING  
TOWNHOUSE

EXISTING  
TOWNHOUSE

RAIN GARDEN

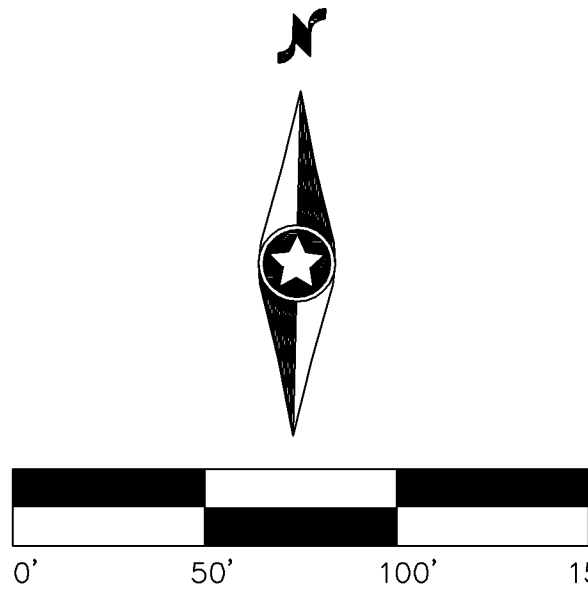
SIGN

HIGHWOOD DRIVE

Highwood Drive

PUBLIC ROAD

(FKA West 82nd Street)



NOT FOR CONSTRUCTION

Date: 09/20/16 Sheet: 2 OF 2

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Drawn: \_\_\_\_\_  
Record Drawing by/date: \_\_\_\_\_

Prepared for:

Greystone Communities

225 E. John Carpenter Freeway, Suite 700  
Irving, Texas 75062

Friendship  
Village

Bloomington, Minnesota

Concept Civil Site Plan