

DEVELOPMENT SUMMARY

WEST SITE:

GROSS PARCEL AREA	2.72 AC	118,626 SF
ROW DEDICATION	0.26 AC	11,218 SF
NET PARCEL AREA	2.46 AC	107,408 SF
RV STORAGE AREA (12'x30' STALLS)	28	
RV STORAGE AREA REQUIRED (10%)	10,741 SF	
RV STORAGE AREA PROVIDED	11,639 SF	

PARKING (9'x18' STALLS)	27	
(INCLUDES 4 INTERNAL SPACES)		
(900 UNITS @ 3 STALLS/UNIT)		

IMPERVIOUS AREA	81,214 SF	76%
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EAST SITE:

10' sidewalk/bikeway easement desired

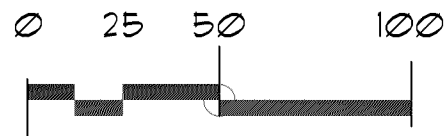
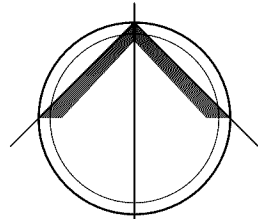
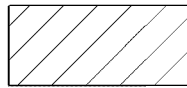
AREA	1.4 AC	61,031 SF
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PARKING (9'x18' STALLS)	68	
PARKING REQUIRED 1 STALL/185 SF BLDG		
68=12,500 SF/185		

IMPERVIOUS AREA	39,216 SF	64%
FLOOR AREA RATIO		0.22

A three-foot high screen for parking areas adjacent/visible to public streets is required (Sec. 19.52(d)(3-4)).

RV STORAGE AREA



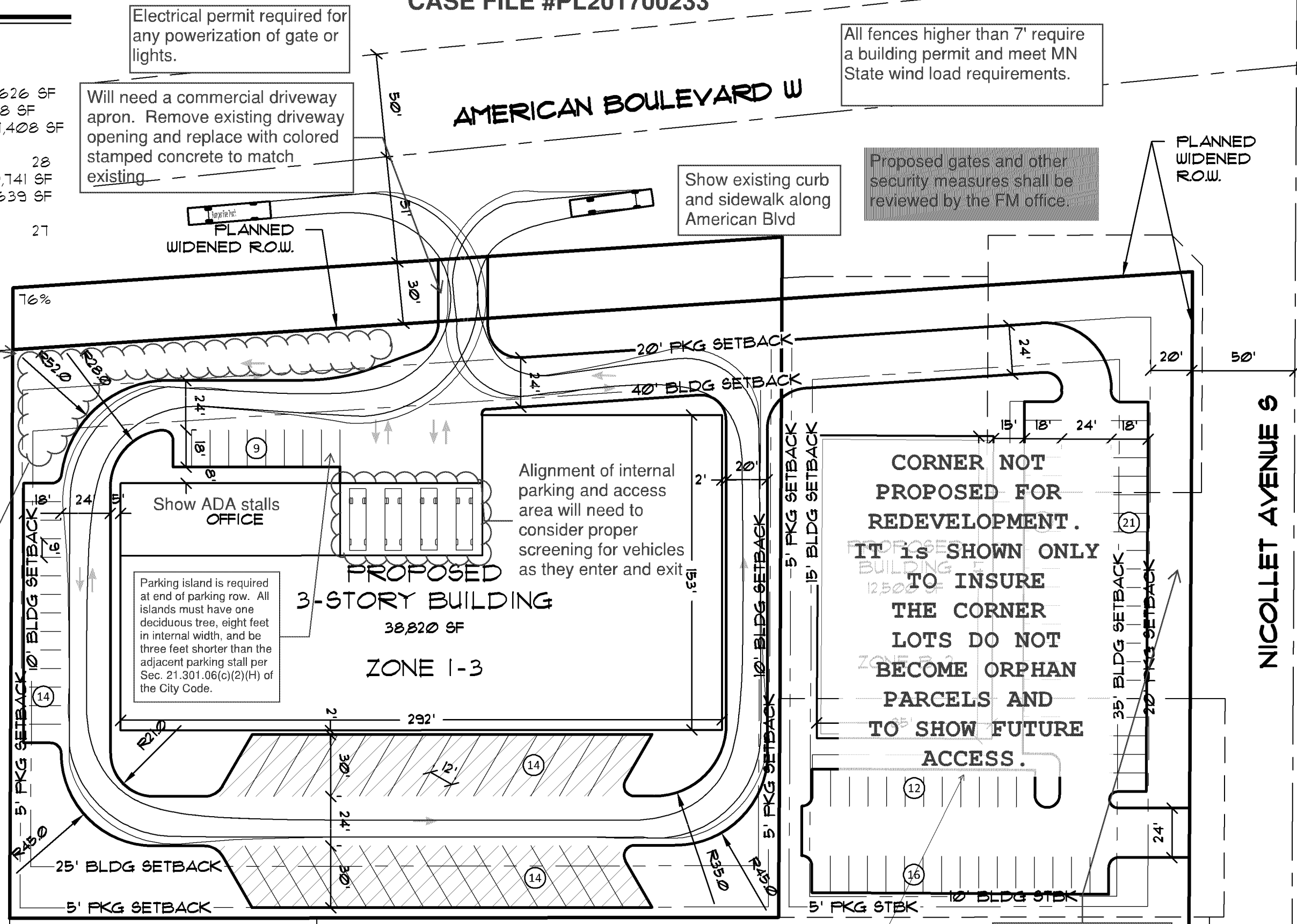
Electrical permit required for any powerization of gate or lights.

Will need a commercial driveway apron. Remove existing driveway opening and replace with colored stamped concrete to match existing.

All fences higher than 7' require a building permit and meet MN State wind load requirements.

Show existing curb and sidewalk along American Blvd

Proposed gates and other security measures shall be reviewed by the FM office.



CORNER NOT PROPOSED FOR REDEVELOPMENT. IT IS SHOWN ONLY TO INSURE THE CORNER LOTS DO NOT BECOME ORPHAN PARCELS AND TO SHOW FUTURE ACCESS.

Parking island is required at end of parking row. All islands must have one deciduous tree, eight feet in internal width, and be three feet shorter than the adjacent parking stall per Sec. 21.301.06(c)(2)(H) of the City Code.

Alignment of internal parking and access area will need to consider proper screening for vehicles as they enter and exit.

Show ADA stalls OFFICE

PROPOSED 3-STORY BUILDING
38,820 SF
ZONE 1-3

If corner will not be redeveloped, linetypes will need to be adjusted to differentiate future development vs. currently proposed

In future, sidewalk will need to move so it is not curb walk.

10/30/2017

AMERICAN BOULEVARD STORAGE

BLOOMINGTON, MN



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CASE FILE #PL201700233

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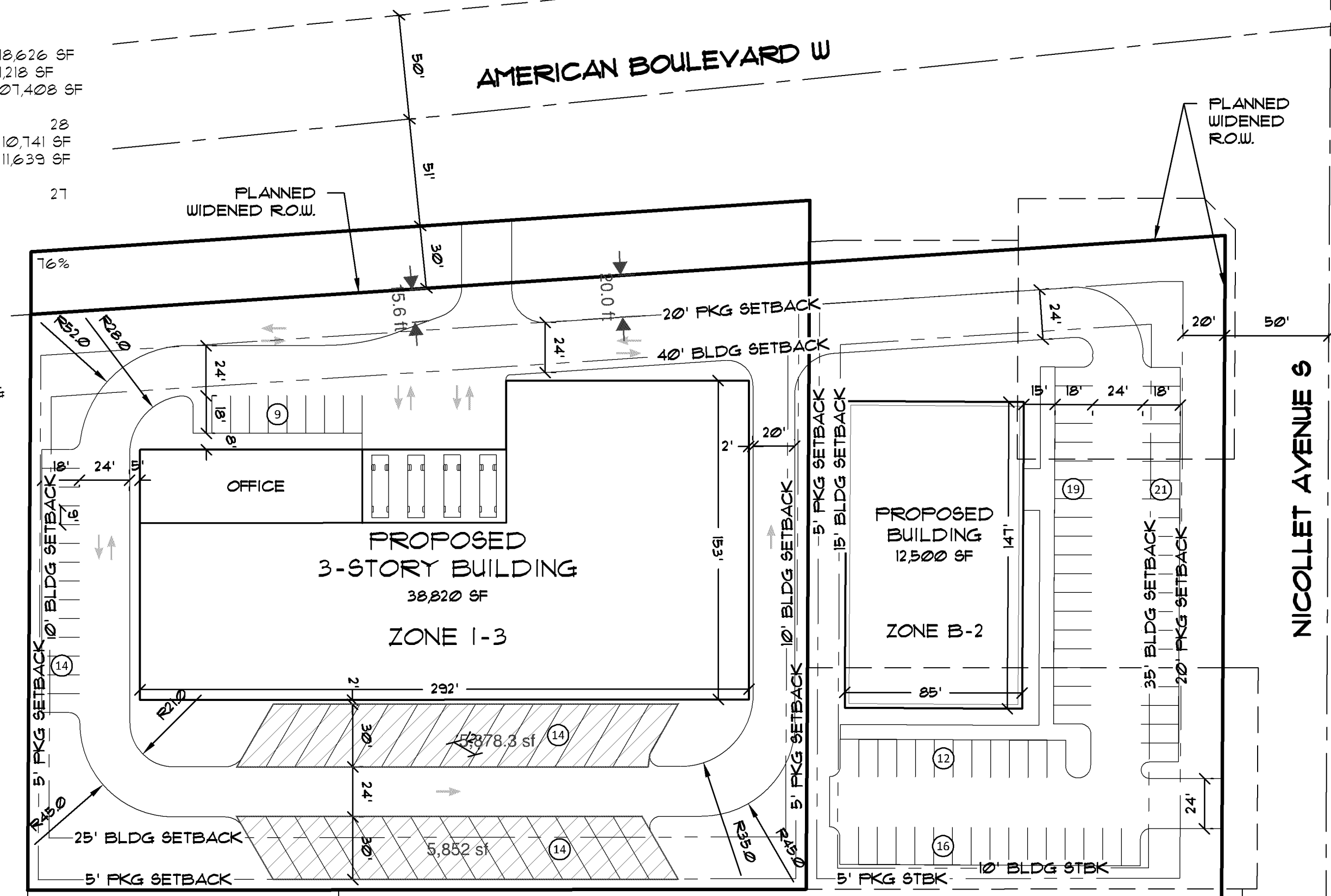
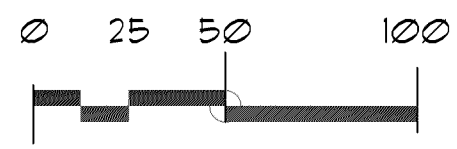
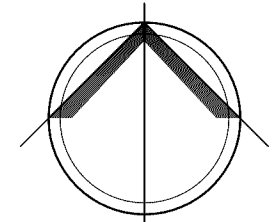
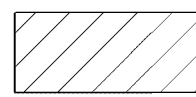
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RV STORAGE AREA



AMERICAN BOULEVARD STORAGE

Will need to provide further building information for more detailed Plan Review.

10/30/2017

BLOOMINGTON, MN

