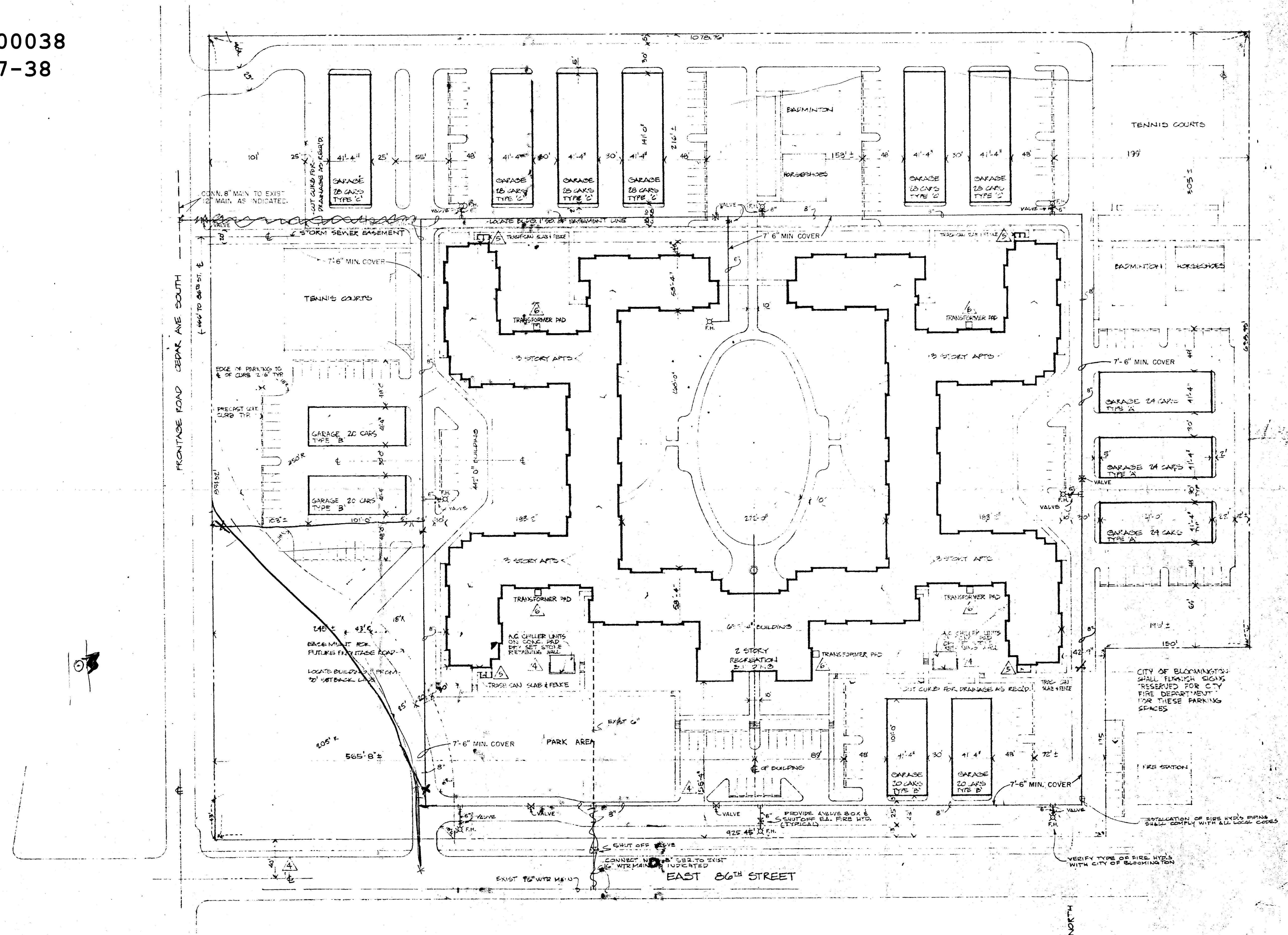


# INDEX TO DRAWINGS

- 1 SITE PLAN
- 2 GRADING PLAN
- 3 LANDSCAPING PLAN
- 4 FLOOR PLAN
- 5 PARTIAL FLOOR PLAN
- 6 PARTIAL FLOOR PLAN
- 7 UNIT PLANS
- 8 BUILDING ELEVATIONS
- 9 WALL SECTION & DETAILS
- 10 RECREATION BUILDING FLOOR PLANS
- 11 RECREATION BUILDING DETAILS
- S5 PARTIAL FLOOR PLAN W/FOOTINGS
- S6 PARTIAL FLOOR PLAN W/FOOTINGS
- S10 REC. BUILDING FLOOR PLAN W/FOOTINGS

PL201700038  
PL2017-38



## NOTES

- ALL DRIVEWAYS & PARKING AREAS BITUMINOUS SURFACING.
- ALL DRIVEWAYS 25'-0" WIDE EXCEPT AS SHOWN.
- ALL PARKING SPACES 10'-0" x 20'-0" (MIN).
- ALL DRIVEWAYS & PARKING AREAS W/ BITUMINOUS CURBS EXCEPT WHERE PRECAST CONC CURBS ARE SHOWN.
- TYPICAL CURB RADIUS 10'-0".
- ALL SIDEWALKS POLISHED CONCRETE.
- ALL SIDEWALKS 5'-0" WIDE EXCEPT AS SHOWN.
- EXPANSION JOINTS EVERY 10' CONTROL JOINTS EVERY 6'

- LOCATE APT. BLDG. 1' MIN. FROM STORM SEWER BASEMENT & FRONTAGE ROAD SETBACK LINE AS SHOWN.
- APT. BLDG. & ALL GARAGES PARALLEL/PERPENDICULAR TO SOUTH PROPERTY LINE.

## STATISTICS

### TYPE III CONSTRUCTION

#### APARTMENT TYPES

|                 |       |
|-----------------|-------|
| STUDIO UNITS    | - 24  |
| 1 BEDROOM UNITS | - 156 |
| 2 BEDROOM UNITS | - 120 |
| TOTAL UNITS     | - 300 |

LOT AREA REQUIRED - 879,180 SQ. FT.  
LOT AREA PROVIDED - 874,615 SQ. FT.

|         |                              |
|---------|------------------------------|
| PARKING | OPEN SPACES PROVIDED - 185   |
|         | GARAGE SPACES PROVIDED - 320 |
|         | TOTAL CARS - 505             |
|         | NO. CARS REQUIRED - 459      |

24 STUDIOS @ 440' = 11,160  
156 ONE BR @ 715' = 111,740  
120 TWO BR @ 720' = 86,400  
TOTAL LOT AREA REQ'D = 879,180 SQ. FT.

GROSS FLOOR AREA  
APTS & RECREATION BLDGS. = 321,669 SQ. FT.

## △ △ △ SITE PLAN SCALE 1" = 30'

BASED ON SURVEY BY ROBERT A. CARP,  
REGISTERED SURVEYOR #1089

NOTE  
ADDED FIRE HYD. AND PIPING 4-16-69

| REVISIONS | NO.     | DATE | BY |
|-----------|---------|------|----|
| 1         | 5-16-69 |      |    |
| 2         | 5-16-69 |      |    |
| 3         | 5-16-69 |      |    |
| 4         | 5-16-69 |      |    |
| 5         | 5-16-69 |      |    |

GINGOLD-PINK  
ARCHITECTURE  
Minneapolis & Los Angeles

SITE PLAN  
APARTMENT COMPLEX  
EAST 86TH STREET & CEDAR AVE. SO.  
BLOOMINGTON, MINNESOTA

314 TITLE INSURANCE BLDG. MINNEAPOLIS, MINN. 55401

PL201700038

PL2017-38

AVE

APPROX. LOCATION OF  
EROSION CONTROL TO  
BE MAINTAINED THROUGHOUT  
CONSTRUCTION

12" YARD DRAIN  
RIM=807.6  
INV.=804.6

COORDINATE  
GRADING AND  
DRAINAGE  
SHOWN ON  
SHEET L-8.

12" YARD DRAIN  
RIM=807.53  
INV.=803.28

12" YARD  
DRAIN  
RIM=808.23  
INV.=805.23

RIPRAP

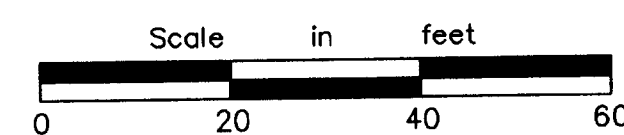
HAY BALES AROUND  
FLARED END SECTION

CONNECT 12" RCP  
INTO EXISTING CB  
& RECONSTRUCT  
INVERT

INV 803.50 (E)

12" RCP  
@ 8.5%  
12" FES  
W/ RIPRAP  
INV. 805.2

CEDAR

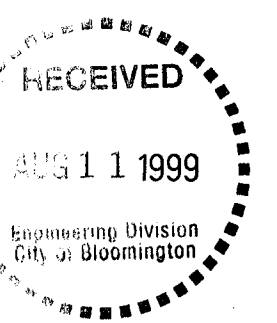


#### BENCH MARKS

|     |                           |
|-----|---------------------------|
| BM1 | TOP NUT OF HYDRANT 810.86 |
| BM2 | TOP NUT OF HYDRANT 809.99 |
| BM3 | TOP NUT OF HYDRANT 811.91 |
| BM4 | TOP NUT OF HYDRANT 810.33 |
| BM5 | TOP NUT OF HYDRANT 819.53 |
| BM6 | TOP NUT OF HYDRANT 817.35 |
| BM7 | TOP NUT OF HYDRANT 814.78 |

#### LEGEND

|                |      |           |
|----------------|------|-----------|
| IRON MONUMENT  | MAP  | MAPLE     |
| MANHOLE        | SPR  | SPRUCE    |
| CATCH BASIN    | PIN  | PINE      |
| HYDRANT        | APP  | APPLE     |
| WATER VALVE    | EVER | EVERGREEN |
| LIGHT POLE     | LOC  | LOCUST    |
| POWER POLE     |      |           |
| GAS GRILL      |      |           |
| WATERMAIN      |      |           |
| SANITARY SEWER |      |           |
| STORM SEWER    |      |           |
| TELEPHONE      |      |           |
| TELEVISION     |      |           |
| ELECTRIC       |      |           |
| GAS            |      |           |



| REVISIONS |            |
|-----------|------------|
| 6/25/99   | ADDENDUM A |
| 7/30/99   | BULLETIN 1 |

|           |         |
|-----------|---------|
| DRAWN     | DRC     |
| DESIGNED  | SMV/MJB |
| CHECKED   | LAJ     |
| PROJ. NO. | 98-006  |

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered Professional Engineer under the laws of the State of Minnesota.

*Laurie A. Johnson*  
Laurie A. Johnson  
Reg. 18506 Date 6-1-99

**HT** Hansen Thorp  
**PO** Pellinen Olson Inc.  
7555 Office Ridge Circle  
Eden Prairie, MN 55344-3644  
(612) 828-0700 FAX (612) 828-7806  
Engineers Surveyors  
Landscape Architects

**VILLAGE PARK OF BLOOMINGTON  
BLOOMINGTON, MN**

**DETAILS**

**C-4**

PL201700038

PL2017-38

ADDITION

M.C.M.L.

201

ADDITION

SEE SHEETS L-7, L-8, I-3, C-2, C-4  
FOR WORK IN THIS AREA

AVE

CEDAR

DUMPSTER ENCLOSURE  
-SEE SHEET L-13  
(TYPICAL)BARRIER FREE RAMP  
-SEE DETAIL 1, SHEET L-10SEE SHEETS L-3, L-4, I-2,  
C-2 FOR WORK AROUND POOLBARRIER FREE RAMP  
RAMP - SEE DETAIL 1,  
SHEET L-10BARRIER FREE RAMP  
-SEE DETAIL ON SHEET L-10NEW  
TOT LOT

639.10

S0°06'22"W

S89°58'29"W 150.00

NOTES: CONTRACTORS SHALL DETERMINE LOCATION OF EXISTING PUBLIC  
AND PRIVATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE  
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DUE TO CONTRACTORS OPERATIONS SHALL BE MADE AT  
CONTRACTORS EXPENSE.

BEFORE DIGGING CALL: GOPHER STATE ONE CALL 651/454-0002

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POSSIBLE. CREATE SMOOTH TRANSITIONS BETWEEN EXISTING  
AND NEW BITUMINOUS. ALL ASPHALT SHALL BE SAWCUT. NO  
JACKHAMMERING.EROSION CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING  
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EXCEPT FOR HANDICAP PARKING STALL THAT SHALL BE BLUE.AFTER REPAIRS ARE COMPLETE TO PARKING AND CURB THEN CHIP SEAL ASPHALT  
THEN RESTRIPE ENTIRE LOT, REPAINT FIRE LANE CURB.

EAST

86TH

STREET

SEE SHEETS L-3, L-4, I-1  
FOR WORK AT BLDG. ENTRANCE

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|     |                           |
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## LEGEND

|                |      |           |
|----------------|------|-----------|
| IRON MONUMENT  | MAP  | MAPLE     |
| MANHOLE        | SPR  | SPRUCE    |
| CATCH BASIN    | PIN  | PINE      |
| HYDRANT        | APP  | APPLE     |
| WATER VALVE    | EVER | EVERGREEN |
| LIGHT POLE     | LOC  | LOCUST    |
| POWER POLE     |      |           |
| GAS GRILL      |      |           |
| WATERMAIN      |      |           |
| SANITARY SEWER |      |           |
| STORM SEWER    |      |           |
| TELEPHONE      |      |           |
| TELEVISION     |      |           |
| ELECTRIC       |      |           |
| GAS            |      |           |

REPLACED BITUMINOUS

REPLACE B612 CURB &amp; GUTTER

REPLACED INTEGRAL SIDEWALK &amp; CURB

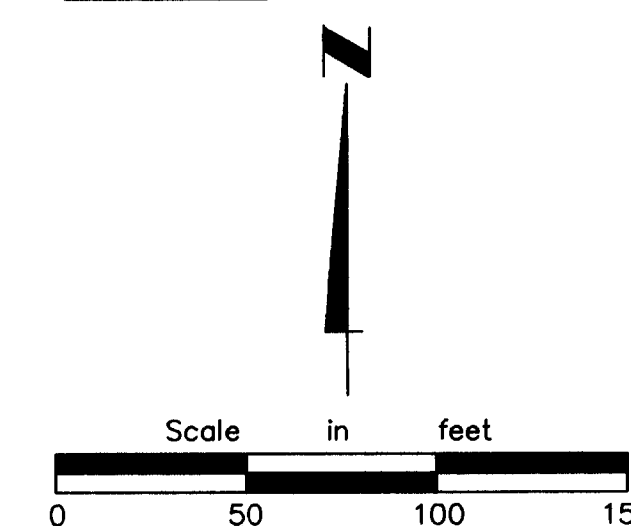
REPLACED SIDEWALK

ASPHALT OVERLAY

REMOVE &amp; REPLACE ASPHALT

CRACKFILL

ASPHALT MILLING



## REVISIONS

|         |            |
|---------|------------|
| 6/25/99 | ADDENDUM A |
| 7/30/99 | BULLETIN 1 |

|           |         |
|-----------|---------|
| DRAWN     | DRC     |
| DESIGNED  | SMV/MJB |
| CHECKED   | LAJ     |
| PROJ. NO. | 98-006  |

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*Ladrie A. Johnson*  
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Reg. 18506 Date 6-1-99

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**VILLAGE PARK OF BLOOMINGTON**  
**BLOOMINGTON, MN**

**ASPHALT PAVEMENT, CONC. SIDEWALK,**  
**CONC. CURB REPLACEMENT PLAN**

C-3



PL201700038

PL2017-38

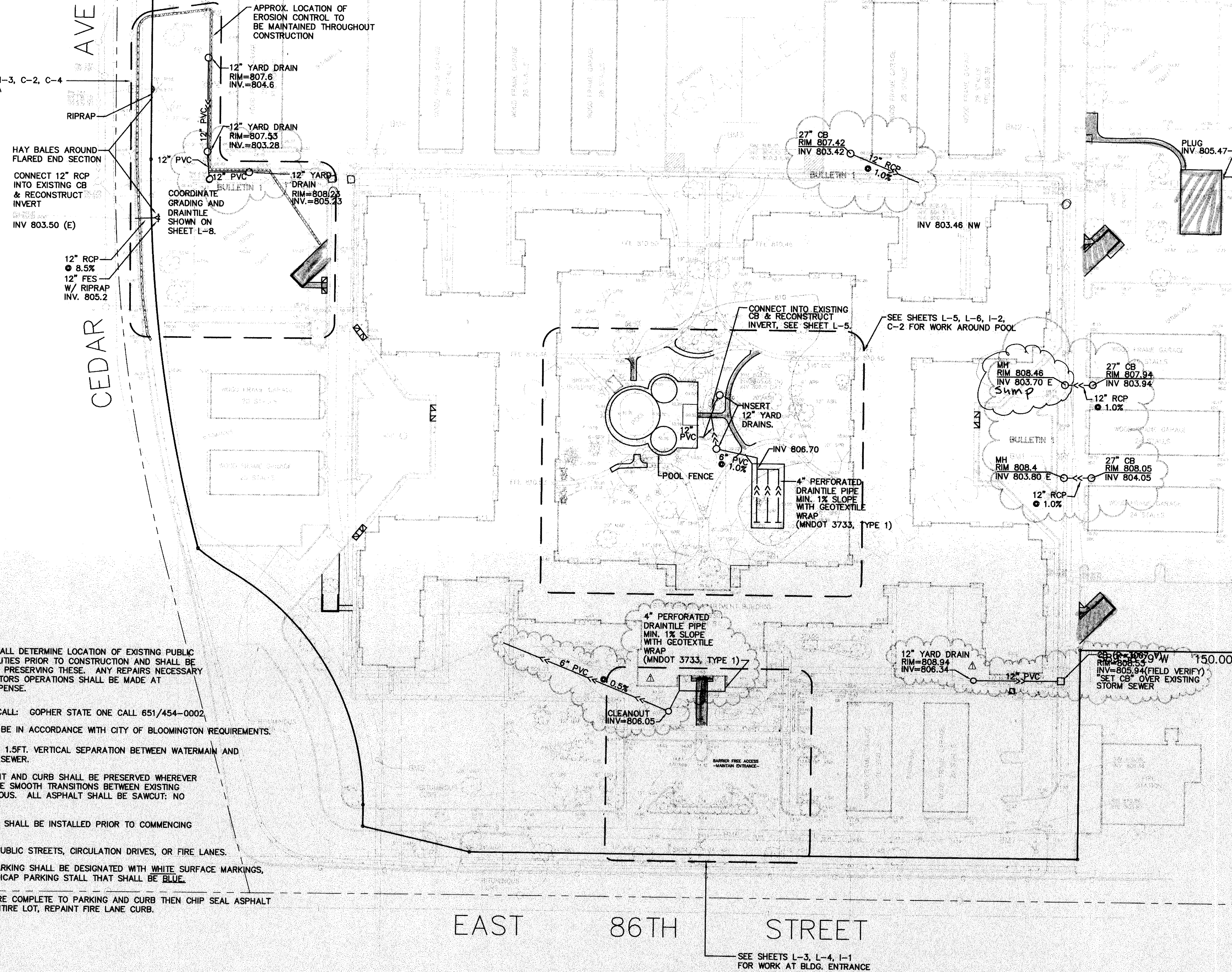
ADDITION

ADDITION

ADDITION

ADDITION

SEE SHEETS L-7, L-8, I-3, C-2, C-4  
FOR WORK IN THIS AREA



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| BM6 | TOP NUT OF HYDRANT 817.35 |
| BM7 | TOP NUT OF HYDRANT 814.78 |

# LEGEND

|   |                |      |           |
|---|----------------|------|-----------|
| ○ | IRON MONUMENT  | MAP  | MAPLE     |
| ○ | MANHOLE        | SPR  | SPRUCE    |
| ○ | CATCH BASIN    | PIN  | PINE      |
| ○ | HYDRANT        | APP  | APPLE     |
| ○ | WATER VALVE    | EVER | EVERGREEN |
| ○ | LIGHT POLE     | LOC  | LOCUST    |
| ○ | POWER POLE     |      |           |
| ○ | GAS GRILL      |      |           |
| ○ | WATERMAIN      |      |           |
| ○ | SANITARY SEWER |      |           |
| ○ | STORM SEWER    |      |           |
| ○ | TELEPHONE      |      |           |
| ○ | TELEVISION     |      |           |
| ○ | ELECTRIC       |      |           |
| ○ | GAS            |      |           |

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| REVISIONS |            |
|-----------|------------|
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| 7/30/99   | BULLETIN 1 |

|           |         |
|-----------|---------|
| DRAWN     | DRC     |
| DESIGNED  | SMV/MJB |
| CHECKED   | LAJ     |
| PROJ. NO. | 98-006  |

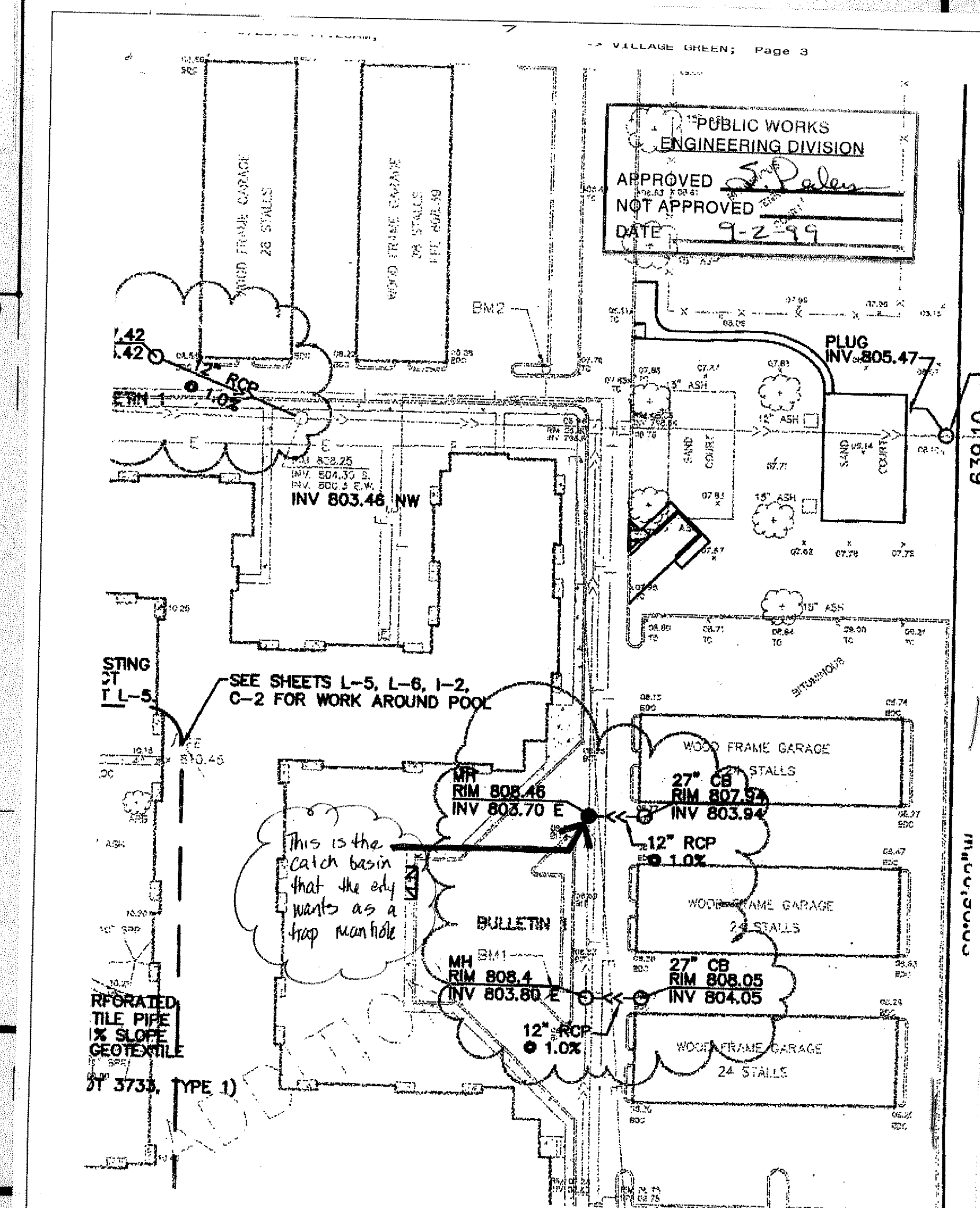
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Reg. 18506 Date 6-1-99

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Engineers Surveyors  
Landscape Architects

**VILLAGE PARK OF BLOOMINGTON, MN**

**GRADING,**



PL2017-38

NOTE: SEE SHEET C-3 FOR ASPHALT LAYOUT

 Curb and Gutter Repair Key

| ID | Number | Dimension | Description                      |
|----|--------|-----------|----------------------------------|
| 36 | 38     | LF        | Remove and replace w/trash, L-13 |
| 40 | 33     | LF        | Remove and replace curb          |
| 43 | 24     | LF        | Remove and replace w/trash, L-13 |
| 44 | 5      | LF        | Remove and replace w/BF ramp     |
| 51 | 27     | LF        | Remove and replace w/trash, L-13 |
| 54 | 36     | LF        | Remove and replace w/trash, L-13 |
| 66 | 15     | LF        | Remove and replace w/BF ramp     |
| 67 | 20     | LF        | Remove and replace w/BF ramp     |
| 68 | 17     | LF        | Remove and replace w/BF ramp     |

### Bituminous Repair Key

| ID Number | Dimension | Description                    |
|-----------|-----------|--------------------------------|
|           | 29,517 SF | Remove and replace parking lot |
| 36        | 1440 SY   | Remove tennis court            |

## BENCH MARKS

|     |                    |        |
|-----|--------------------|--------|
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### LEGEND

|   |                |           |
|---|----------------|-----------|
| ○ | IRON MONUMENT  | MAPLE     |
| ○ | MANHOLE        | SPRUE     |
| ○ | CATCH BASIN    | MAP       |
| ○ | HYDRANT        | PIN       |
| ○ | WATER VALVE    | APPLE     |
| ○ | LIGHT POLE     | EVER      |
| ○ | POWER POLE     | EVERGREEN |
| ○ | GAS GRILL      | LOC       |
| ○ | WATERMAIN      | ★         |
| ○ | SANITARY SEWER | ✕         |
| ○ | STORM SEWER    | ✕         |
| ○ | TELEPHONE      | ▨         |
| ○ | TELEVISION     | ▨         |
| ○ | ELECTRIC       | —         |
| ○ | GAS            | △         |
|   |                | △         |
|   |                | △         |

SEE SHEETS L-7, L-8, I-3, C-2, C-4  
FOR WORK IN THIS AREA

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86TH STREET

— SEE SHEETS L-3, L-4, I-1  
FOR WORK AT BLDG. ENTRANCE

**VILLAGE PARK OF BLOOMINGTON  
BLOOMINGTON, MN**

## DEMOLITION PLAN

**C-1**

| REVISIONS |                                                                                              |
|-----------|----------------------------------------------------------------------------------------------|
| 6/25/99   | ADDENDUM  |
| 7/30/99   | BULLETIN 1                                                                                   |

|                  |                |
|------------------|----------------|
| <b>DRAWN</b>     | <u>DRC</u>     |
| <b>DESIGNED</b>  | <u>SMV/MJB</u> |
| <b>CHECKED</b>   | <u>LAJ</u>     |
| <b>PROJ. NO.</b> | <u>98-006</u>  |

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Laurie A. Johnson  
Laurie A. Johnson  
Reg. 18506 Date 6-1-99

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