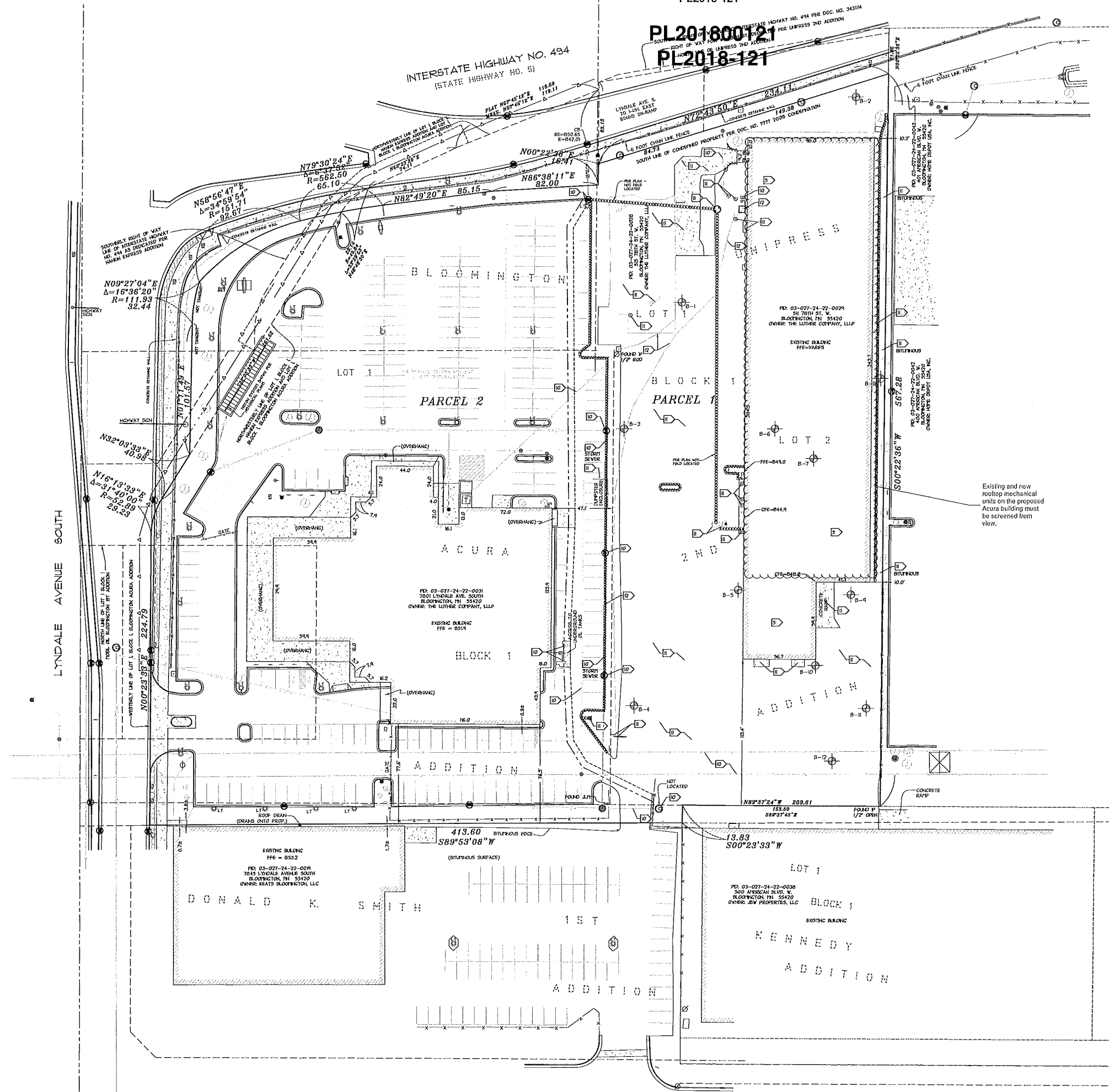


PL201800121
PL2018-121

PL201800121
PL2018-121



GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING.
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
- SEE SHEET C31 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
- BUILDING DEMOLITION SHEET WITH OWNER THAT BUILDING HAS BEEN CLEARED OF ISOLATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL.
- OPERATIONS SHOWN FOR REMOVAL ARE APPROPRIATE, COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
- REFER TO DETAILS FOR PAVEMENT SAVOUT, REMOVE CONCRETE WALES AND CURBS TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
- COMPLETE DEMOLITION WITH FINAL DISCUSSION OF TRAFFIC, PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
- PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
- PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
- REMOVE EXISTING SITE FEATURES INCLUDING BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBS, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APPLIANCE, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
- COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPOINTMENTS WITH THE UTILITY COMPANIES, BEFORE CONSTRUCTION. REMOVE ALL EXISTING UTILITIES, PIPES, AND STRUCTURES DESTROYED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
- EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
- HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.

LEGEND

- SOIL BORING
- EXISTING CONDORE
- EXISTING CONSTRUCTION LIMITS
- EXISTING PAVEMENT SAVOUT

DEVELOPER

MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55418
TEL: (612) 298-4000 FAX: (612) 298-4000

MUNICIPALITY



PROJECT

**LUTHER
BLOOMINGTON ACURA**
BLOOMINGTON, MN

SHEET INDEX

NO.	DESCRIPTION
C01	DEMOLITION
C02	DEMOLITION
C03	DEMOLITION
C04	DEMOLITION
C05	DEMOLITION
C06	DEMOLITION
C07	DEMOLITION
C08	DEMOLITION
C09	DEMOLITION
C10	DEMOLITION
C11	DEMOLITION
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C40	DEMOLITION
C41	DEMOLITION
C42	DEMOLITION
C43	DEMOLITION
C44	DEMOLITION
C45	DEMOLITION
C46	DEMOLITION
C47	DEMOLITION
C48	DEMOLITION
C49	DEMOLITION
C50	DEMOLITION

ISSUE / REVISION HISTORY

NO.	DATE	DESCRIPTION	BY	CHKD.
01	03/08/2018	ISSUED FOR PERMIT	JL	ML
02	03/08/2018	ISSUED FOR PERMIT	JL	ML

PROJECT MANAGER REVIEW

DATE: 03/08/2018
BY: JL
CHKD.: ML

CERTIFICATION

I hereby certify that this plan was prepared by a duly licensed and registered professional engineer or architect under the supervision of a duly licensed and registered professional engineer or architect.

CITY SUBMITTAL

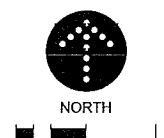
MARCH 30, 2018



105 South Fifth Avenue
Suite 613
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Email: info@landform.net
Web: landform.net

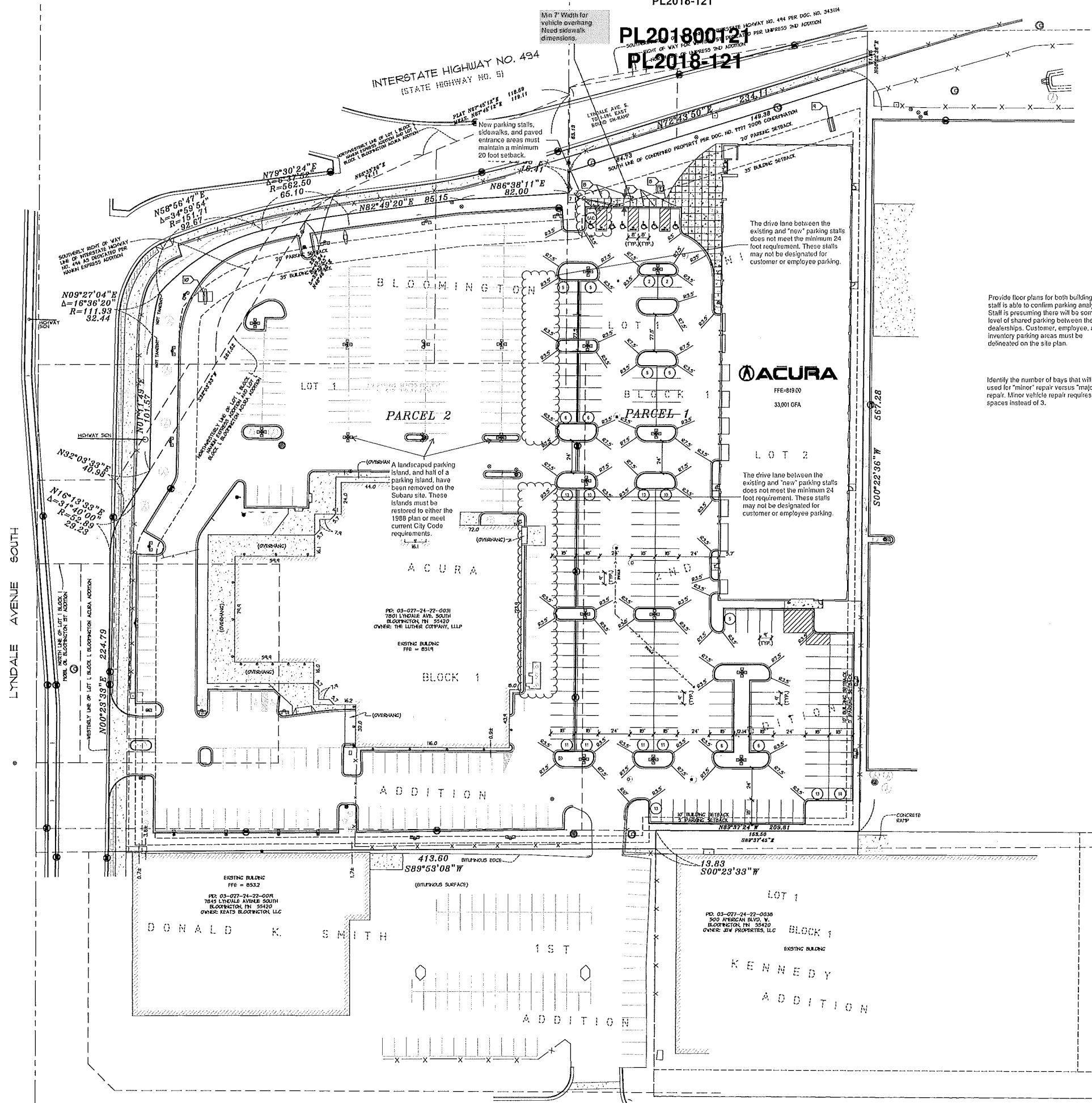
DEMOLITION

C1.2



PL201800121
PL2018-121

PL201800121
PL2018-121



GENERAL NOTES

- FOR CONSTRUCTION STAKE AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612-252-9070.
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN OR USE OF PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
- OVERSIZES SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- DELINEATE PARKING STALLS WITH A 4-INCH WIDE WHITE PAINTED STRIPE. DELINEATE ACCESS AISLES WITH 4-INCH WIDE WHITE PAINTED STRIPES ON CENTER AND AT 45 DEGREE ANGLE TO DIRECTION OF TRAVEL.

SITE PLAN NOTES

- STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARD PER DETAIL C12.1/L
 - STATE AND ADA APPROVED ACCESSIBLE CURB SIGN PER DETAIL C12.2/L
 - PROPOSED 20' TALL ALUMINA SIGN
 - PROPOSED 30' TALL SUBARU SIGN
- GREEN SPACE (LANDSCAPE AREA)

CITY OF BLOOMINGTON NOTES

- ALL PARKING STALLS TO BE PAINTED WITH WHITE STRIPES.
- TEMPORARY STREET SIGNS, LIGHTING, AND ADDRESSSES SHALL BE PROVIDED DURING CONSTRUCTION.
- ALL PUBLIC SIDEWALKS SHALL NOT BE OBSTRUCTED.
- ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING SHALL BE ON-SITE - NO ON-STREET PARKING, LOADING, UNLOADING ALLOWED.
- STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
- STREET LIGHTING AND INTERCONNECT CONDUIT MUST BE EXPOSED FOR CITY INSPECTION PRIOR TO PUBLIC CONCRETE OR BACKFILL EXCAVATIONS IN CITY RIGHT-OF-WAY.

PARKING SUMMARY

REQUIRED PARKING:	REQUIRED PARKING:	REQUIRED PARKING:	REQUIRED PARKING:
SERVICE AREA	THREE STALLS FOR EACH ENCLOSED SERVICE BAY	18 BAYS	54 STALLS
CAR WASH	ONE STALL PER 375 SF OF CFA	1,675 SF CAR WASH	5 STALLS
OFFICE	ONE STALL PER 265 SF OF OFFICE CFA	9,415 SF OFFICE AREA	33 STALLS
RETAIL	ONE STALL PER 100 SF OF RETAIL CFA	2,417 SF SHOWROOM AREA	14 STALLS
TOTAL PARKING STALLS REQUIRED			106 STALLS
* TOTAL STALLS USED TO CALCULATE REQUIRED AMOUNT OF ACCESSIBLE STALLS			
PROVIDED PARKING:			
CUSTOMER/EMPLOYEE STALLS	(40/8)	162 EA.	
SALES STALLS	(4/8)	15 EA.	
ACCESSIBLE STALLS	(4/8)	6 EA.	
TOTAL PARKING STALLS PROVIDED			183 EA.

ZONING AND SETBACK SUMMARY

THE PROPERTY IS ZONED GENERAL RESIDENTIAL ZONE (R-3)

BUILDING SETBACK INFORMATION IS AS FOLLOWS:
 FRONT YARD = 33 FT.
 REAR = 25 FT.
 SIDE (INTERIOR) = 10 FT.
 SIDE (STREET) = 33 FT.

PARKING SETBACK INFORMATION IS AS FOLLOWS:
 FRONT YARD = 20 FT.
 REAR = 5 FT.
 SIDE = 5 FT.

SIGN SETBACK INFORMATION IS AS FOLLOWS:
 FRONT YARD = 5 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS:
 LOT WIDTH PERMIT = 100 FT.

AREA SUMMARY

EXISTING:	EXISTING:	EXISTING:
PERVIOUS	31,920 SF.	15.5%
IMPERVIOUS	244,478 SF.	60.5%
TOTAL (6.34 AC)	276,377 SF.	100.0%
PROPOSED:		
PERVIOUS	38,825 SF.	14.1%
IMPERVIOUS	237,262 SF.	65.9%
TOTAL (6.34 AC)	276,377 SF.	100.0%

DEVELOPER

MOTORS MANAGEMENT CORPORATION
 3701 ALABAMA AVENUE SOUTH
 ST. LOUIS PARK, MN 55416
 TEL: (612) 252-9070 FAX: (612) 252-9070

MUNICIPALITY



PROJECT

LUTHER BLOOMINGTON ACURA
 BLOOMINGTON, MN

SHEET INDEX

NO.	DESCRIPTION
C100	PLAN AND LANDSCAPE WITH SHEET
C101	CONTRACT CONDITIONS
C102	PERFORMANCE - FINAL VALUES
C103	PERFORMANCE - FINISHED VALUES
C104	CONTRACT - GENERAL
C105	CONTRACT - GENERAL
C106	CONTRACT - GENERAL
C107	CONTRACT - GENERAL
C108	CONTRACT - GENERAL
C109	CONTRACT - GENERAL
C110	CONTRACT - GENERAL
C111	CONTRACT - GENERAL
C112	CONTRACT - GENERAL
C113	CONTRACT - GENERAL
C114	CONTRACT - GENERAL
C115	CONTRACT - GENERAL

ISSUE/REVISION HISTORY

DATE	DESCRIPTION	ISSUE
30 MAR 2018	CITY SUBMITTAL	305

PROJECT MANAGER REVIEW

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

IF THE DRAWING IS USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED, THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS, OMISSIONS, OR INADEQUACIES. THE ENGINEER ASSUMES NO LIABILITY FOR SUCH USES.

CITY SUBMITTAL

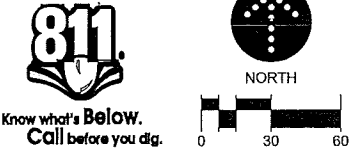
MARCH 30, 2018

LANDFORM

105 South Fifth Avenue Tel: 612-252-9070
 Suite 613 Fax: 612-252-9077
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C2018A051.DWG
 PROJECT NO.: BAA145H1

SITE PLAN C2.1



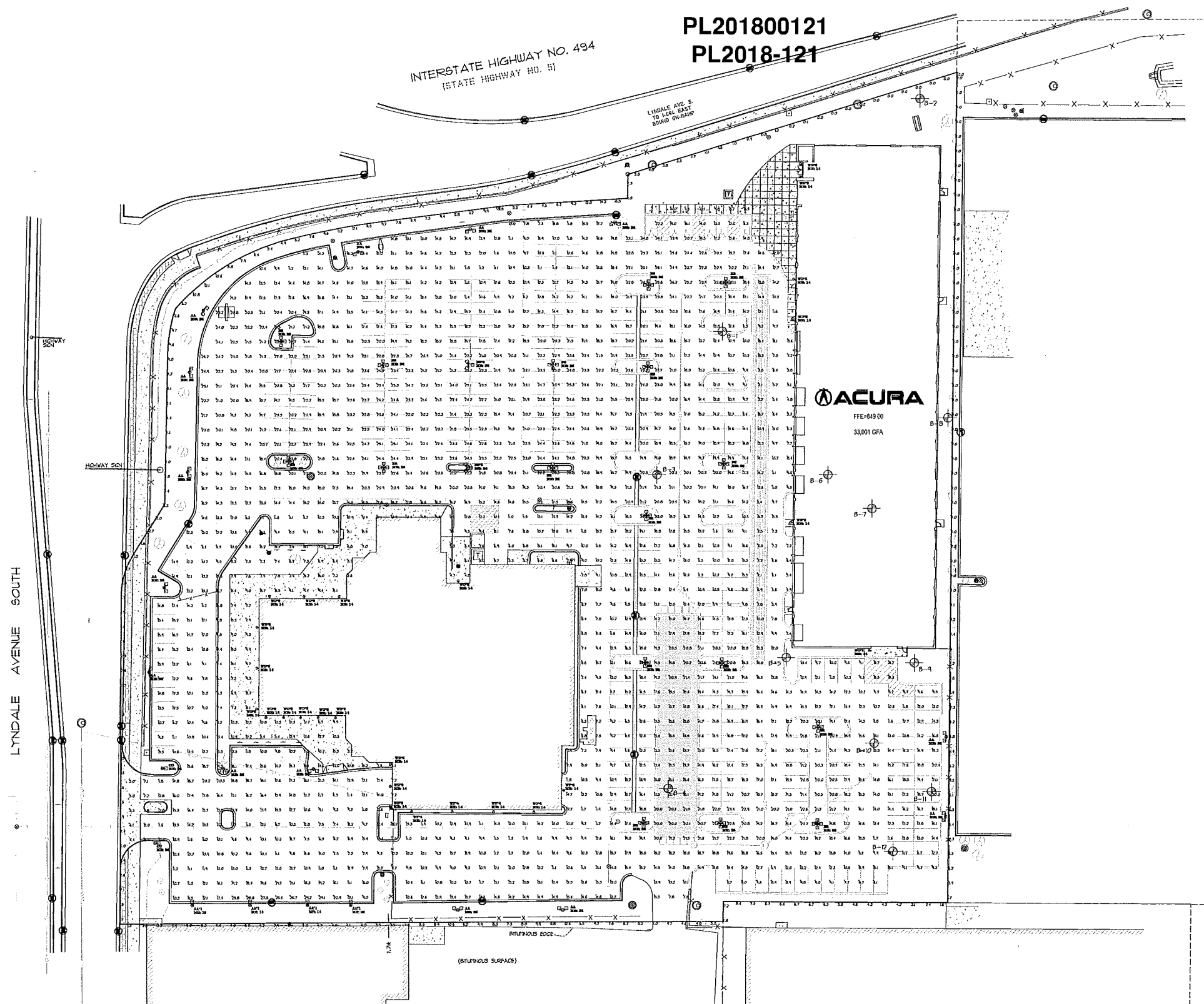
Know what's Below. Call before you dig.

PL201800121
PL2018-121

PL201800121
PL2018-121

INTERSTATE HIGHWAY NO. 494
(STATE HIGHWAY NO. 5)

LYNDALE AVE. S
TO THE WEST
BORING GR-8480



ACURA
FFE-819 00
33,001 GFA

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3101 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (612) 252-8000 FAX: (612) 252-8000

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

C-01	PLAN AND LAYOUTS
C-02	GENERAL NOTES
C-03	CONSTRUCTION
C-04	FINISHES
C-05	MECHANICAL
C-06	ELECTRICAL
C-07	PLUMBING
C-08	HEATING, VENTILATION & AIR CONDITIONING
C-09	PAINTS & COATINGS
C-10	LANDSCAPE ARCHITECTURE
C-11	CONSTRUCTION DETAILS
C-12	LANDSCAPE DETAILS
C-13	LANDSCAPE PLAN
C-14	LANDSCAPE DETAILS

ISSUE/REVISION HISTORY

DATE	ISSUE/REVISION	REVISION
30 MAR 2018	CITY SUBMITTAL	001

PROJECT MANAGER REVIEW

DATE: 03/30/2018

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

CITY SUBMITTAL

MARCH 30, 2018

LANDFORM
FROM THE 14 FLOOR

105 South Fifth Avenue Tel: 612-252-9070
Suite 613 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C2028A0611.DWG
PROJECT NO.: BAA14011

PHOTOMETRICS
INITIAL VALUES
C2.2

The Property is Bounded By A Major Commercial Street On The West, Freeway on the North
And Commercial Properties On The South And East.

All Luminaires Are Specified With LED Down Drivers.
Electrical Contractor Shall Install Two Of Day Lighting Control System.

Symbol	Qty	Label	Arrangement	ULF	Description	Lim. Watts	Arr. Watts	Lim. Lumens	BIG Rate
1	14	AA	TWIN	LOGO	Luminaire #ARB-3012-TW-1W-4-XX-700 Twin Mounted at 28ft on RFA Pole	262	574	20285	83-UG-C4
2	4	AA-1	SINGLE	LOGO	Luminaire #ARB-3012-TW-1W-4-XX-700 Single Mounted at 28ft on RFA Pole	262	282	20285	83-UG-C4
3	17	BB	4 @ 90 DEGREES	LOGO	Luminaire #ARB-3012-TW-1W-5-XX-700 Quad Mounted at 28ft on RFA Pole	262	1048	20630	85-UG-C3
4	2	BB-3	3 @ 120 DEGREES	LOGO	Luminaire #ARB-3012-TW-1W-5-XX-700 Triple at 28ft on RFA Pole	262	786	20630	85-UG-C3
5	2	CC	SINGLE	LOGO	Luminaire #ARB-3012-TW-1W-5-XX-700 Single on 28ft RFA Pole	25425	25425	28701	83-UG-C4
6	21	VD-3	SINGLE	LOGO	Now #BHC-ED7-LED-E1-BL-3-081 Downcast Without at H/L	46.8	46.8	5405	81-UG-C2
7	1	VF-3	SINGLE	LOGO	Luminaire #BHC-4M1-TW-1W-V-XX-550 Fullcast Without at H/L	87.3	87.3	8707	82-UG-C2
8	4	VF-4	SINGLE	LOGO	Luminaire #BHC-4M1-TW-1W-V-XX-550 Fullcast Without at H/L	82.7	82.7	8466	82-UG-C2

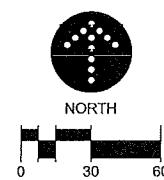
Calculation Summary

Label	CalcType	Units	Area	Flux	Flux/ft²	Flux/ft²
Let Surface	Bounce	Fc	19.1M	24.2	3.0	9.73
Plan Area Entrance	Bounce	Fc	0.00	0.0	0.0	N.A.
Property Line	Bounce	Fc	4.54	6.5	0.0	N.A.

LPD Area Summary

Label	Area	Total Watts	LPD
Lighting Power Density	207216	72016.6	0.307

Lighting by: Charlie Leavitt, LC, MIES
Lighting Fundamentals, LLC
PO Box 50827
Mendota, MN 55150-0827
651-399-7768
charlie@lightingfundamentalsllc.net

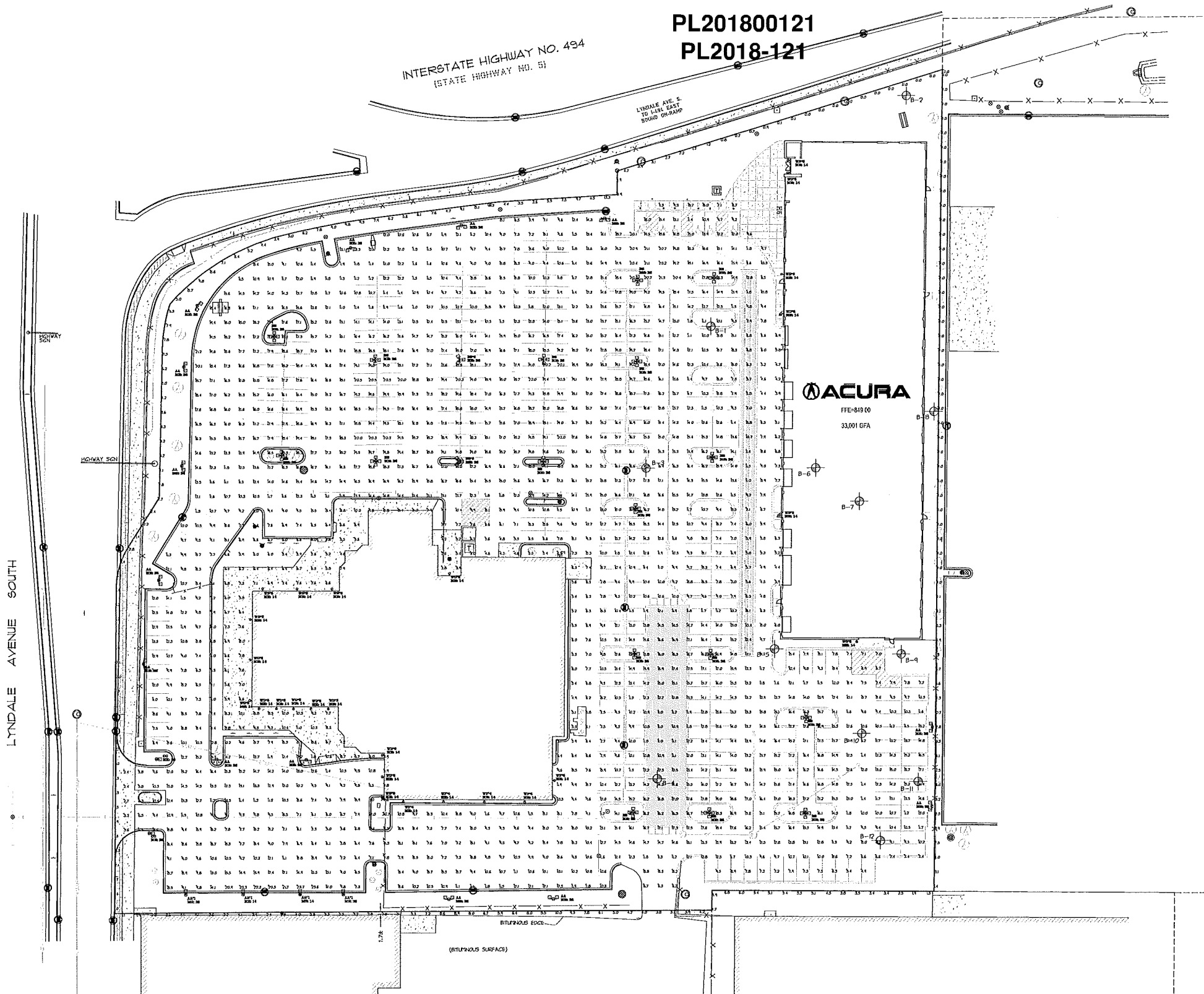


PL201800121
PL2018-121

PL201800121
PL2018-121

INTERSTATE HIGHWAY NO. 494
(STATE HIGHWAY NO. 51)

LYNDALE AVE. S
TO LINDSEY BLVD
DR-3450



ACURA

FFE-819 00
33,001 GFA

LYNDALE AVENUE SOUTH

The Property is Bounded By A Major Commercial Street On The West, Freeway on the North
And Commercial Properties On The South And East.

All Luminaires Are Specified With LED Downy Drivers.
Electrical Contractor Shall Install Two Of Dry Lighting Control System.

Symbol	Qty	Label	Arrangement	LF/F	Description	Lim. Watts	Avg. Watts	Lim. Lumens	BAC Rating
AA	4	AA-1	TWIN	0.810	Luminaire #ARB-3012-NV-NV-4-XX-700 Trim Mounted at 26ft on RTA Pole	262	524	26785	B3-U0-C4
BB	4	BB-3	SINGLE	0.810	Luminaire #ARB-3012-NV-NV-4-XX-700 Trim Mounted at 26ft on RTA Pole	262	262	26785	B3-U0-C4
CC	7	CC	4 @ 90 DEGREES	0.810	Luminaire #ARB-3012-NV-NV-5-XX-700 Trim Mounted at 26ft on RTA Pole	262	1048	26630	B5-U0-C3
DD	2	DD-3	3 @ 120 DEGREES	0.810	Luminaire #ARB-3012-NV-NV-5-XX-700 Trim on RTA Pole	262	766	20630	B5-U0-C3
EE	2	EE	SINGLE	0.810	Luminaire #ARB-3012-NV-NV-3-XX-700 Trim on RTA Pole	294.25	294.25	28721	B3-U0-C4
FF	21	FF-3	SINGLE	0.810	Trim #RNC-E07-LED-EI-EL3-D11 Decorative Without at 14ft	46.9	46.9	5405	B1-U0-C2
GG	1	GG-3	SINGLE	0.810	Luminaire #ESI-481-NV-NV-W-XX-530 Functional Without at 14ft	82.3	82.3	8707	B2-U0-C2
HH	4	HH-4	SINGLE	0.810	Luminaire #ESI-481-NV-NV-PT-XX-530 Functional Without at 14ft	82.7	82.7	8466	B2-U0-C2

Label	Code/Type	Uses	Area	Fsr	Tn	Avg/Fsr	Fsr/Fn
Lot Surface	Barriers	Fc	0.31	23.7	2.4	5.10	9.86
Plan Acure Entrance	Barriers	Fc	0.00	0.0	0.0	N.A.	N.A.
Property Line	Barriers	Fc	3.67	13.3	0.0	N.A.	N.A.

Label	Area	Total Watts	LPD
Lighting Power Density	207276	27076.6	0.107

Lighting by: Charlie Leavitt, LC, MIES
Lighting Fundamentals, LLC
PO Box 50827
Mendota, MN 55150-0877
651-399-7768
charlie@lightingfundamentalsllc.net

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (652) 268-8000 FAX: (652) 268-8900

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

Code	Title
C01	CONTRACT AND LANDSCAPE SITE SHEET
C02	EXISTING CONDITIONS
C03	SITE PLAN
C04	PROPOSED - FINAL VALUES
C05	PROPOSED - MAINTAINED VALUES
C06	CONTRACT - OVERALL
C07	CONTRACT - OVERALL
C08	CONTRACT - OVERALL
C09	CONTRACT - OVERALL
C10	CONTRACT - OVERALL
C11	CONTRACT - OVERALL
C12	CONTRACT - OVERALL
C13	CONTRACT - OVERALL
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C45	CONTRACT - OVERALL
C46	CONTRACT - OVERALL
C47	CONTRACT - OVERALL
C48	CONTRACT - OVERALL
C49	CONTRACT - OVERALL
C50	CONTRACT - OVERALL

ISSUE/REVISION HISTORY

DATE	ISSUE/REVISION	NO.
30 MAR 2018	ISSUE/REVISION	001

PROJECT MANAGER REVIEW

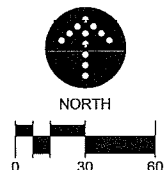
CERTIFICATION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

CITY SUBMITTAL

MARCH 30, 2018

LANDFORM
105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-0070
Fax: 612-252-0077
Web: landform.net



PHOTOMETRICS
MAINTAINED VALUES
C2.3

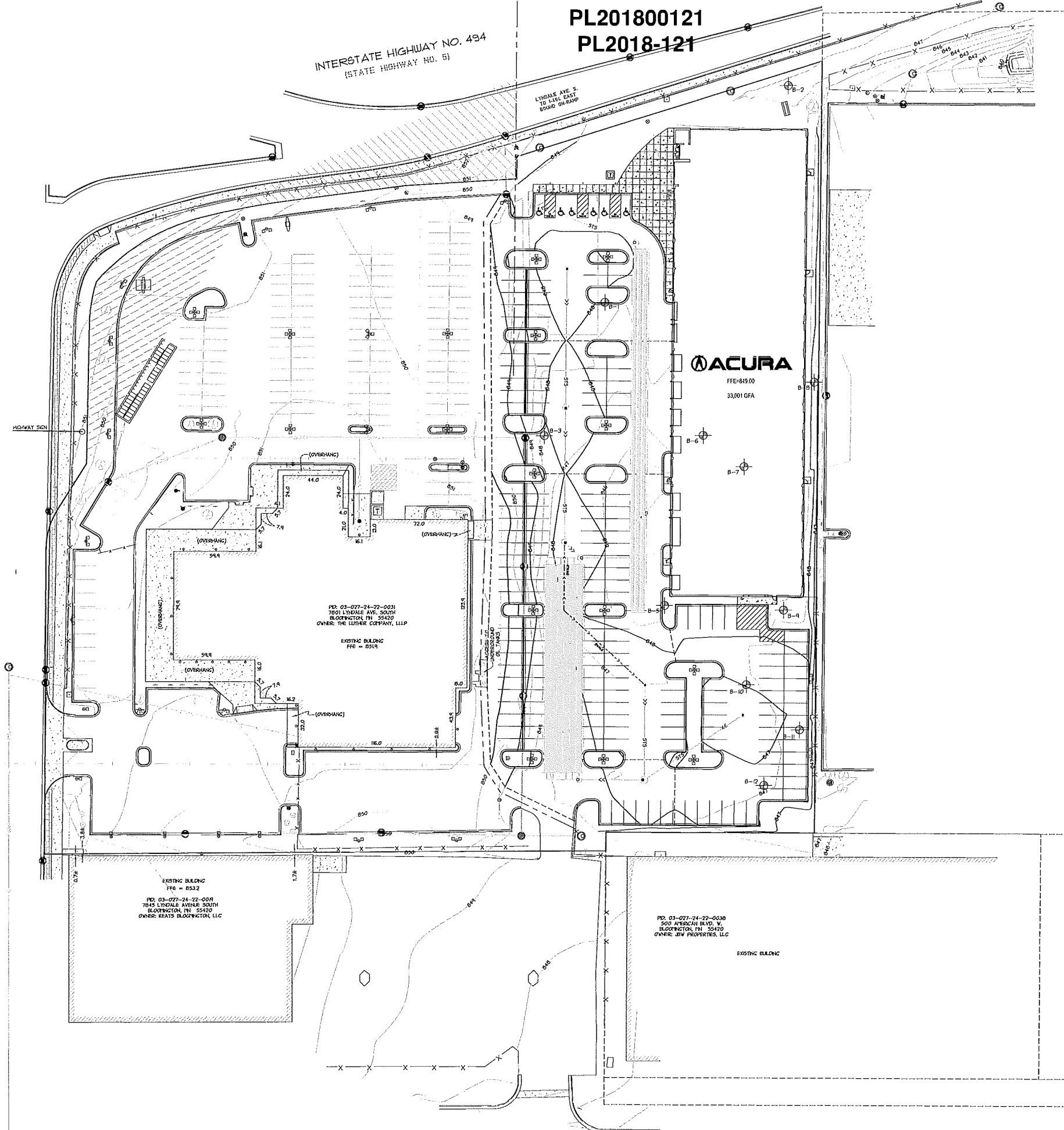
PL201800121
PL2018-121

PL201800121
PL2018-121

INTERSTATE HIGHWAY NO. 494
(STATE HIGHWAY NO. 5)

LYNDALE AVE. S.
TO LANE EAST
BOUND (R-2500)

LYNDALE AVENUE SOUTH



DEVELOPER
MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (626) 450-4000 FAX: (626) 450-4000

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

NO.	DESCRIPTION
C01	GRADING AND LANDSCAPE TITLE SHEET
C02	EXISTING CONDITIONS
C03	DEMOLITION
C04	SITE PLAN
C05	SITE PHOTOGRAPHS - NATURAL VALUES
C06	SITE PHOTOGRAPHS - PLANNED VALUES
C07	GRADING, DRAINAGE, PAVING & SLOPES
C08	CONTROL - ORIGINAL
C09	GRADING, DRAINAGE, PAVING & SLOPES
C10	CONTROL - PROPOSED
C11	CONSTRUCTION DETAILS
C12	CONSTRUCTION DETAILS
C13	LANDSCAPE PLAN
C14	LANDSCAPE DETAILS

ISSUE / REVISION HISTORY

DATE	DESCRIPTION	REVISION
30 MAR 2018	CITY SUBMITTAL	001

PROJECT MANAGER REVIEW
BY: [Signature]

CERTIFICATION
I hereby certify that the information on this plan is true and correct to the best of my knowledge and belief.

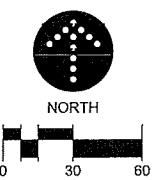
**PRELIMINARY
NOT FOR
CONSTRUCTION**

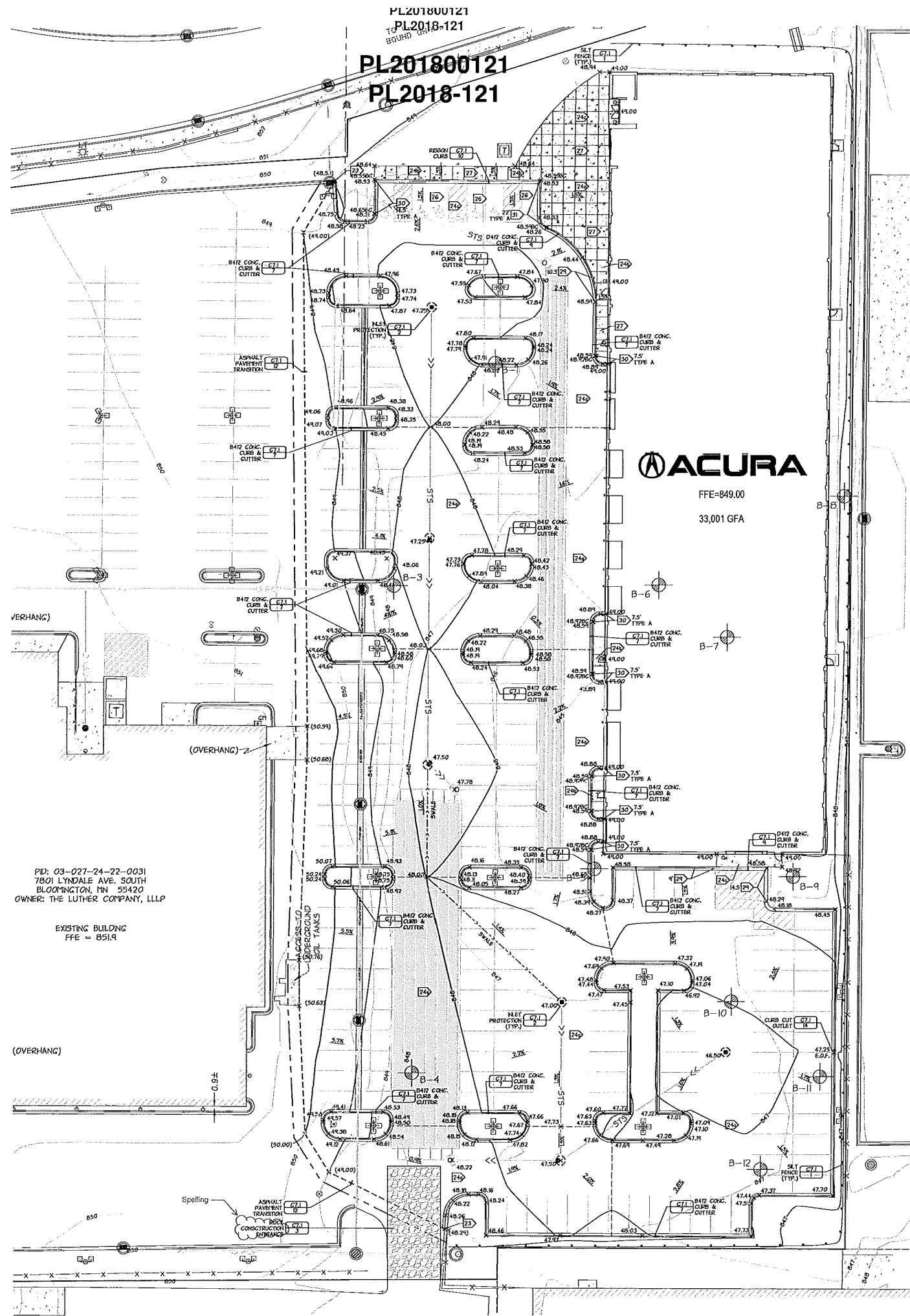
CITY SUBMITTAL
MARCH 30, 2018

LANDFORM
FIRM Inc. & Co.

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C318AAG1.DWG
PROJECT NO.: BAA14014
GRADING, DRAINAGE, PAVING & EROSION CONTROL - OVERALL
C3.1





PL201800121
PL2018-121

ACURA
FFE=849.00
33,001 GFA

PD: 03-027-24-22-0031
7801 LYNDALE AVE. SOUTH
BLOOMINGTON, MN 55420
OWNER: THE LUTHER COMPANY, LLLP

EXISTING BUILDING
FFE = 851.9

- GENERAL NOTES**
- FOR CONSTRUCTION STAFFING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
 - EROSION PREVENTION AND SEDIMENT CONTROL NOTES**
 - INSTALL PERMEABLE SEDIMENT CONTROLS PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUNOFF ARE PERMANENTLY STABILIZED AND DEPOSED OFF SITE.
 - LEFT SOIL DISTURBANCE TO THE GRADING LEFTS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
 - MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
 - REFER TO SWPPP NOTES ON SHEET C3.3 FOR ADDITIONAL REQUIREMENTS.
 - CONTRACTOR SHALL PREVENT SEWAGE LAUGH WATER FROM ENTERING THE INFILTRATION SYSTEM UNTIL THE SITE IS COMPLETELY STABILIZED.
 - ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA.
 - SEED, SOO, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS INDICATED:

ITEM	SELECTION NUMBER
SEED	INDOT 3015
MULCH	INDOT 3015
FERTILIZER	INDOT 3082
 - SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
 - SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN VESIBLY.
- GRADING NOTES**
- CONTACT UTILITY SERVICES PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
 - REFER TO THE GEOTECHNICAL REPORT PREPARED BY LANDMARK ENVIRONMENTAL LLC, DATED NOVEMBER 2008, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
 - REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE FROD FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
 - REMOVE SURFACE AND GRAUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LEFTS OF STABLE FOUNDATION MATERIALS IN EXPOSED SOILS ARE VET AND UNSTABLE.
 - REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
 - AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS. SOIL CORRECTION AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
 - PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LEFT.
 - COMPACT COHESIVE SOILS IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D998) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 90%. COMPACT TO 90% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET. THE SOILS SHALL BE WITHIN 3% OF GRIFFITH HULLSHIRE CONTENT, IN GRANULAR SOILS ALL PORTIONS OF THE STRAINMENT SHALL BE COMPACTED TO NOT LESS THAN 90% OF MODIFIED PROCTOR DENSITY (ASTM D1557).
 - COORDINATE WITH ARCHITECTURAL FOR BUILDING STAIR LOCATIONS. SLOPES SHOWN ON ADJACENT WALLS AND PAVEMENTS SHOULD CONTROL OVER STAIRS.
 - AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.
- PAVING NOTES**
- SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR SPOT ELEVATIONS OF CATCH BASINS.
 - GRADES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND NON-VARIABLE. SPOT ELEVATIONS SHALL COVER OVER CONTOUR LINES.
 - MEET AND MATCH EXISTING CURB. TRANSITION AS NEEDED.
 - PAVING SECTIONS (PRELIMINARY)
 - a. BITUMINOUS PAVING (LIGHT DUTY)
 - 1.5-INCH BITUMINOUS WEAR (INDOT 2360, SPRING/2008)
 - TACK COAT (INDOT 2307)
 - 1.5-INCH BITUMINOUS BASE (INDOT 2360, SPRING/2008)
 - 6-INCH AGGREGATE BASE (INDOT 3130, CLASS 5)
 - COMPACTED SUBSOIL
 - b. CONCRETE WALKWAYS
 - 4-INCH CONCRETE WALK, 4000 PSI, 5% AIR ENTRAINMENT, MAX. 4" SLEEP (INDOT 2301)
 - 4-INCH AGGREGATE BASE (INDOT 3130, CLASS 5)
 - COMPACTED SUBSOIL
 - c. CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
 - 6-INCH CONCRETE, 4000 PSI, 5% AIR ENTRAINMENT, MAX. 4" SLEEP (INDOT 2301)
 - 8-INCH AGGREGATE BASE (INDOT 3130, CLASS 5)
 - CONCRETE JOINTS
 - INSTALL JOINTS AS SHOWN AND ALIGN ACROSS SEWMALES, CURBS, AND PAVEMENT. PAYING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
 - a. TYPICAL JOINTS: LAYE PANELS INTO NORMALLY EQUAL AREAS UNLESS SHOWN OTHERWISE.
 - b. EXPANSION JOINTS: SEWMALES - 40 FEET MAX; CURBS - 60 FEET MAX; PAVEMENTS 80 FEET MAX; ADJACENT TO BUILDING FOUNDATIONS AND STAIRS.
 - c. CONTRACTION JOINTS: SEWMALES - 8 TO 10 FEET; CURBS AND APRONS - 8 TO 15 FEET.
 - ACCESSIBLE PARKING STALLS AND ADJACENT ACCESS AISLES SHALL NOT EXCEED A 2.00% SLOPE IN ANY DIRECTION.
 - ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM RUNNING SLOPE OF 5.00%.
 - ADJUST ALL STRUCTURES REFS TO MATCH PAVEMENT ELEVATIONS.
 - TRANSITION FROM 8412 CONCRETE CURB AND CUTTER TO 8412 CONCRETE REBORN CURB. SEE DETAIL C7.1/B.
 - TRANSITION FROM 8412 CONCRETE CURB AND CUTTER TO CONCRETE REBORN CURB. SEE DETAIL C7.1/E.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	SHEET PROTECTION	10 EACH
	SALT FENCE	800 FEET
	VEHICLE TRACKING PAD	1 EACH
	STRIP OUT CURB	
	PAVEMENT SAWCUT	
	CONSTRUCTION LIFTS	

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55118
TEL: (612) 835-6200 - FAX: (612) 835-6200

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

NO.	TITLE
C01	DATE AND LANDSCAPE SITE SHEET
C02	PAVING GRADING
C03	SEWAGE
C04	SEWAGE - METAL VALVES
C05	SEWAGE - STAIRWAYS
C06	SEWAGE - STAIRWAYS
C07	SEWAGE - STAIRWAYS
C08	SEWAGE - STAIRWAYS
C09	SEWAGE - STAIRWAYS
C10	SEWAGE - STAIRWAYS
C11	SEWAGE - STAIRWAYS
C12	SEWAGE - STAIRWAYS
C13	SEWAGE - STAIRWAYS
C14	SEWAGE - STAIRWAYS
C15	SEWAGE - STAIRWAYS
C16	SEWAGE - STAIRWAYS
C17	SEWAGE - STAIRWAYS
C18	SEWAGE - STAIRWAYS
C19	SEWAGE - STAIRWAYS
C20	SEWAGE - STAIRWAYS

ISSUE/REVISION HISTORY

NO.	DATE	DESCRIPTION	BY
01	03/30/2016	ISSUE FOR PERMITS	JK
02	03/30/2016	ISSUE FOR PERMITS	JK

PROJECT MANAGER REVIEW
DATE: 03/30/2016
BY: JK

CERTIFICATION
I hereby certify that the information shown on this sheet is true and correct to the best of my knowledge and belief, and that I am a duly licensed professional engineer in the State of Minnesota.
DATE: 03/30/2016
BY: JK

PRELIMINARY NOT FOR CONSTRUCTION

CITY SUBMITTAL
MARCH 30, 2016

LANDFORM
P.M. Inc. MN

105 South Fifth Avenue
Suite 813
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C302BAASH.DWG
PROJECT NO.: BAA16041

811
Know what's Below.
Call before you dig.

LANDFORM
P.M. Inc. MN

105 South Fifth Avenue
Suite 813
Minneapolis, MN 55401
Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

FILE NAME: C302BAASH.DWG
PROJECT NO.: BAA16041

GRADING, DRAINAGE, PAVING & EROSION CONTROL - ENLARGED

C3.2

PL201800121
PL2018-121

NOTES PERMIT AND SWPPP COMPONENTS

1. THE CURRENT TN NOTES PERMIT DATED AUGUST 1, 2015 IS REFERENCED IN THIS DOCUMENT AS THE PERMIT.
2. THE SWPPP INCLUDES THE FOLLOWING COMPONENTS:
 - CONSTRUCTION PREVENTION, MAINTENANCE, INSPECTION AND REPAIRS TO THE PERMIT
 - STORMWATER MANAGEMENT PLAN/NARRATIVE PREPARED BY LANDFORM
 - MAINTENANCE PLAN FOR PERMANENT STORMWATER BMP'S

SITE EVALUATION/ASSESSMENT/PLANNING

1. CONTACT INFORMATION/RESPONSIBLE PARTIES
THE OPERATOR SHALL HAVE PRIMARY RESPONSIBILITY AND SIGNIFICANT AUTHORITY FOR THE DEVELOPMENT, IMPLEMENTATION, MAINTENANCE, INSPECTION AND REPAIRS TO THE APPROVED SWPPP. DUTIES INCLUDE BUT ARE NOT LIMITED TO:
 - IMPLEMENTING ALL ELEMENTS OF THE SWPPP, INCLUDING BUT NOT LIMITED TO:
 - IMPLEMENTING PROPER AND EFFECTIVE EROSION AND SEDIMENT CONTROL MEASURES
 - IMPLEMENTING ALL NON-STORM WATER MANAGEMENT AND GOOD HOUSEKEEPING BMP'S INCLUDING THAT NO MATERIALS OTHER THAN STORM WATER ARE DISCHARGED IN QUANTITIES WHICH WILL HAVE AN ADVERSE EFFECT ON RECEIVING WATERS OR STORM DRAIN SYSTEMS, ETC.
 - CONDUCTING ROUTINE INSPECTIONS AND MAINTENANCE
 - ENSURING REMEDIATION OF ALL UNAUTHORIZED DISCHARGES
 - COORDINATING TO ASSURE ALL OF THE NECESSARY CORRECTIONS/REPAIRS ARE MADE IMMEDIATELY, AND THAT THE PROJECT COMPLIES WITH THE SWPPP, THE PERMIT, AND APPROVED PLANS AT ALL TIMES.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

1. OWNERS/OPERATOR MUST DEVELOP POLLUTION PREVENTION MANAGEMENT MEASURES, PREVENT GOOD HOUSEKEEPING BMP'S FROM FOLLOWING ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA), AND THE GENERAL CONDITIONS AND GENERAL REQUIREMENTS OF THE CONSTRUCTION CONTRACT.
2. THE OPERATOR SHALL MINIMIZE THE EXPOSURE TO STORMWATER OF ANY OF THE PROJECTS, MATERIALS, OR WASTES STORED ON SITE.
3. BUILDING PRODUCTS THAT HAVE THE POTENTIAL TO LEACH POLLUTANTS MUST BE UNDER COVER.
4. CHEMICALS AND LANDSCAPE MATERIALS SHALL BE UNDER COVER TO PREVENT THE DISCHARGE OF POLLUTANTS.
5. OPERATOR TO TRACE PROGRESS OF THE FOLLOWING ITEMS ON SITE MAPS:
 - PORTABLE TOILETS
 - MATERIAL STORAGE AREAS
 - VEHICLES AND EQUIPMENT PUBLIC AND MAINTENANCE AREAS
 - CONCRETE WASHOUTS
 - PAINT AND STORAGE WASHOUTS
 - DUMPSTERS OR OTHER TRASH AND DEBRIS CONTAINERS
 - SOIL PITS
 - STOCKPILES
 - ANY OTHER NON-STRUCTURAL NON-STORM WATER MANAGEMENT BMP'S
 - ANY TEMPORARILY REMOVED STRUCTURAL BMP'S
 - ANY CHANGES TO THE STRUCTURAL BMP'S
6. SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE FILINGS, FLOATING DEBRIS, PAINTS, PLASTIC FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH NPDES DISPOSAL REQUIREMENTS.
7. HAZARDOUS WASTE: OIL, CASABANE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED INCLUDING SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT HANDLING, STORAGE AND DISPOSAL OF HAZARDOUS WASTE OR MATERIALS MUST BE IN COMPLIANCE WITH TNN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
8. PORTABLE TOILETS MUST BE POSITIONED SO THAT THEY ARE SECURE AND WILL NOT BE TIPPED OR INJECTED OVER.
9. CONCRETE AND OTHER WASHOUT WASTE: OPERATOR MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHOUT OPERATIONS. THE LIQUID AND SOLID WASTES MUST NOT CONTACT THE DRAINAGE AND THE CONTAINMENT MUST BE DESIGNED SO THAT IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISPOSED ADJACENT TO EACH WASHOUT FACILITY THAT EMPLOYS SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASHOUT WASTES.
10. EXTERNAL VEHICLE WASHING: EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE. RUNOFF MUST BE CONTAINED AND WASTE PROPERLY DISPOSED OF. NO ENGINE OIL/DRAINAGE IS ALLOWED ON SITE.

SWPPP CONTACT AND TRAINING INFORMATION

1. OWNER:
THE LUTHER COMPANY LLLP
ATTN: LINDA FORTNEY
3701 ALABAMA AVE S
ST. LOUIS PARK, MN 55416
PHONE: 952-258-0000
LINDA.FORTNEY@LUTHERAUTO.COM
2. OPERATOR:
TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR IS SELECTED.
3. LONG TERM MAINTENANCE AND OPERATION:
THE LUTHER COMPANY LLLP
ATTN: LINDA FORTNEY
3701 ALABAMA AVE S
ST. LOUIS PARK, MN 55416
952-258-0000
LINDA.FORTNEY@LUTHERAUTO.COM
4. SWPPP DESIGNER:
STEVE BERGASO, P.E.
LANDFORM PROFESSIONAL SERVICES
805 SOUTH FIFTH AVENUE, SUITE 513
MINNEAPOLIS, MN 55401
612-252-0070
SBERGASO@LANDFORMTNE.COM
CERTIFICATION U OF TN, DESIGN OF CONSTRUCTION SWPPP, EXP. MAY 31, 2018
5. SWPPP INSPECTOR/MANAGER:
TO BE DETERMINED. CONTACT OWNER UNTIL CONTRACTOR AND SWPPP INSPECTOR/MANAGER IS SELECTED.
6. BMP INSTALLATION AND REPAIR:
TO BE DETERMINED. CONTACT OWNER UNTIL BMP INSTALLER AND MAINTAINER IS SELECTED.

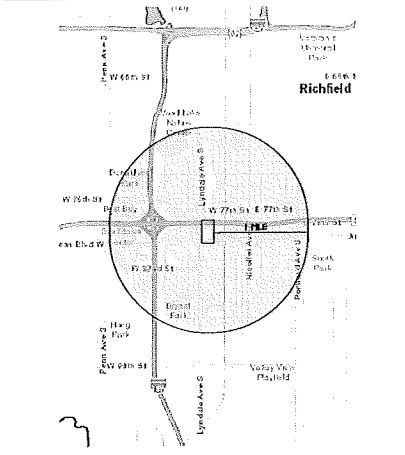
DESCRIPTION OF CONSTRUCTION ACTIVITY

1. CONSTRUCTION ACTIVITY INCLUDES EROSION AND SEDIMENT CONTROL, BMP'S INSTALLATION, CLEANING AND GRUBBING, SITE GRADING, UTILITY INSTALLATION, PAVING, AND LANDSCAPING.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

1. INSTALL PERMITTED SEDIMENT CONTROL, BMP'S PRIOR TO START OF OTHER SITE WORK. REFER TO GRADING, DRAINAGE, PAVING AND EROSION CONTROL SHEET(S) FOR INITIAL LOCATION OF BMP'S.
2. PROTECT INFILTRATION AREAS WITH CONSTRUCTION FENCING.
3. PERFORM WORK IN PHASES TO MINIMIZE DISTURBED AREA AT ANY ONE TIME.
4. STOP WORK FROM AREAS TO BE DISTURBED AND STOCKPILE WITH PERMITTER SEDIMENT CONTROL, BMP'S. PROVIDE STABILIZATION IF LEFT LONGER THAN 14 DAYS.
5. ROAD GRADE SITE.
6. INSTALL UTILITIES.
7. INSTALL SMALL UTILITIES (GAS, ELECTRIC, COMMUNICATIONS).
8. FINAL GRADE PAVEMENT AREAS AND CONTACT SUBGRADE.
9. LAY DOWN PAVEMENT AGGREGATE AND COMPACT.
10. INSTALL CURB AND GUTTER. BACKFILL AFTER A MINIMUM OF THREE DAYS.
11. CONSTRUCT SITE FEATURES.
12. CONSTRUCT SITE WALKS AND PATIOS.
13. REMOVE FINAL STABILIZATION.
14. CONNECT INFILTRATION PRACTICES TO STORM SEWER INLETS.
15. REMOVE TEMPORARY BMP'S.

WATERS WITHIN ONE MILE OF SITE



PL201800121
PL2018-121

PL201800121 PL2018-121

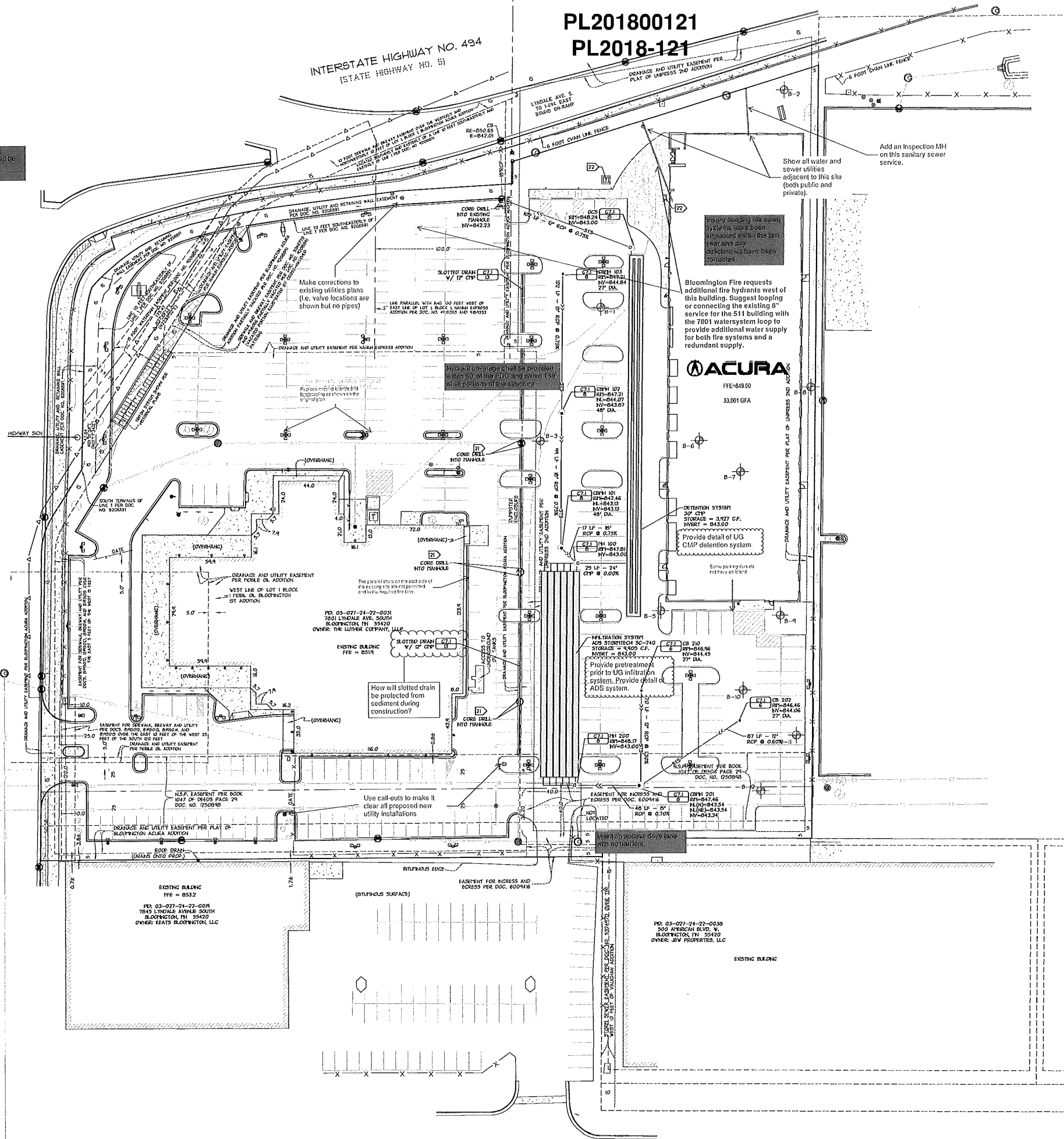
INTERSTATE HIGHWAY NO. 494
(STATE HIGHWAY NO. 51)

Change building address
from 511 WY 7500 to
Lyndale Avenue S
per city address

Final building address
511 WY 7500
per city address

Utility records for this project should be
obtained through the property and within the
structures.

LYNDALE AVENUE SOUTH



- GENERAL NOTES**
- FOR CONSTRUCTION STAFF AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.0070.
- UTILITY NOTES**
- PPE MATERIALS
STORM SEWER
PVC SCHEDULE 40 (ASTM D1785, D3034, D2665, & F401)
12" - 36" CLASS 5 (ASTM C76)
CIP ALLWEATHER STEEL TYPE 2, 12" - 120" (AASHTO M36, M274; ASTM A569, A700, A708)
 - CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
 - CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITY PORTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.
 - CONTRACTOR TO PROVIDE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
 - PROVIDE TRENS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
 - PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
 - INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
 - CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF BLOOMINGTON STANDARDS.
 - DEFLECT WATER TO MAINTAIN 18" MIN PERIMETER SEPARATION AT SEWER CROSSINGS. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
 - ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, PART 4714.
 - ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE CASTIRON OR WATER TIGHT. APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATER TIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES.
 - ROCK FROTA IN INFILTRATION OR FILTRATION SYSTEMS SHALL BE ANGLULAR, NON-CALCAREOUS ROCK.
 - ROCKATION SLEEVE TO BE 4" SCHEDULE 40 PVC BURIED 24" BELOW GRADE. EXTEND SLEEVES 3' BEYOND THE EDGE OF PAVEMENT. COORDINATE WITH EDUCATION CONTRACTOR.
 - COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRICAL, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
 - SEE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.
 - PROVIDE CONCRETS FOR CABLE TELEVISION AND OTHER ELECTRONIC COMMUNICATION.
 - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTRIBUTION OF SERVICES WITHIN BUILDING.
 - CONTACT CONCRETE SOBS IN PAVED AREAS TO 10% OF MAXIMUM DRY DENSITY. STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. CONTACT TO 90% DENSITY WHERE FULL DEPTH EXCEEDS 10 FEET. THE SOBS SHALL BE WITHIN 3% OF OPTIMAL MOISTURE CONTENT. IN CRACKLEUR SOBS ALL PORTIONS OF THE EMBANKMENT SHALL BE COMPACTED TO NOT LESS THAN 90% OF MAXIMUM PROCTOR DENSITY (ASTM D698).
 - ADJUST STRUCTURES TO PAUL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. TEST REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
 - REPLACE EXISTING CURB INLETS WITH NEWAH R-1742-FC CASTING OR APPROVED EQUAL.
 - THE PRIMARY ELECTRIC FEED, TRANSFORMER, AND TRER ARE PROVIDED AND INSTALLED BY THE UTILITY. THE TRANSFORMER PAD DESIGN IS PROVIDED BY THE UTILITY AND CONTRIBUTION IS BY THE CONTRACTOR. CONTACT UTILITY FOR PAD DETAIL. THE SECONDARY ELECTRIC AND CONDUITS SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
 - RELOCATE GAS MAN FROM DEMOLISHED BLAST WALL TO BUILDING WALL.

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (612) 252-6300 - FAX: (612) 252-6300

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

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ISSUE / REVISION HISTORY

DATE	DESCRIPTION	BY
03/14/2018	ISSUE	LANDFORM
03/14/2018	REVISION	LANDFORM
03/14/2018	REVISION	LANDFORM

PROJECT MANAGER REVIEW
DATE: 03/13/2018

CERTIFICATION
I hereby certify that this plan and specification were prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer in the State of Minnesota.

PRELIMINARY NOT FOR CONSTRUCTION

CITY SUBMITTAL
MARCH 30, 2018

LANDFORM
105 South Fifth Avenue
Suite 613
Minneapolis, MN 55401

TEL: 612-252-0070
FAX: 612-252-0077
Web: landform.net

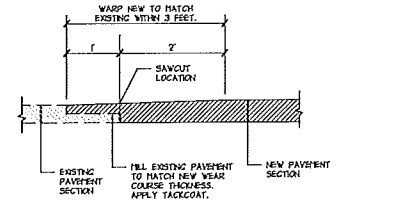
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PROJECT NO.: BAA11041

811
Know what's Below.
Call before you dig.

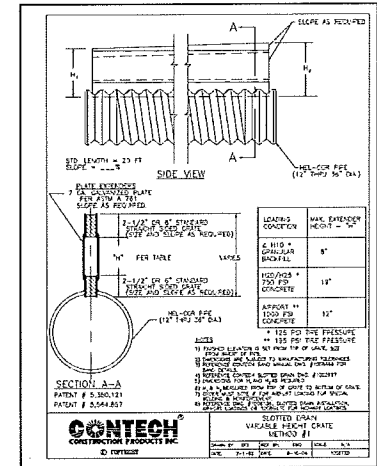
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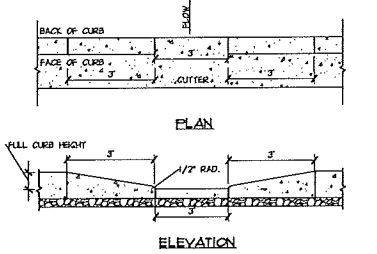
UTILITIES
C4.1



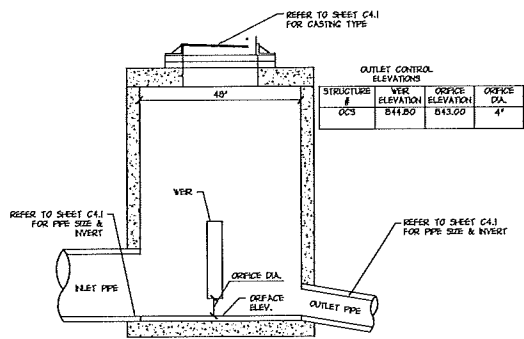
12 ASPHALT PAVEMENT TRANSITION NO SCALE



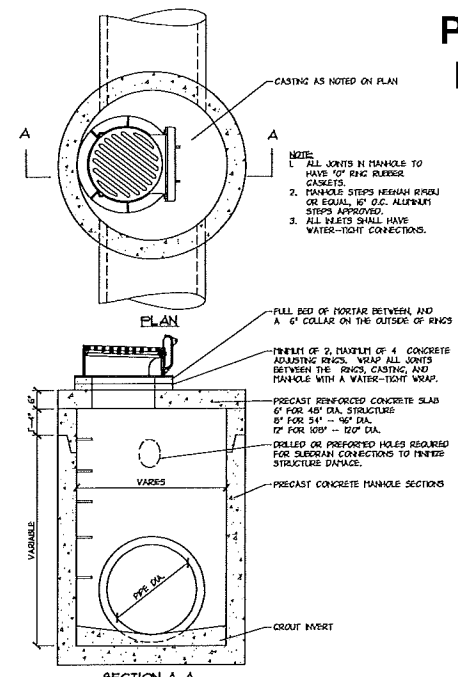
13 SLOTTED DRAIN NO SCALE



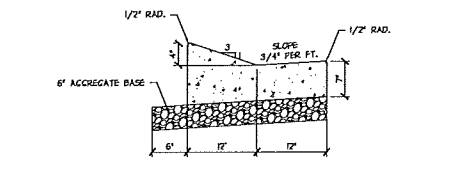
14 CURB CUT OUTLET NO SCALE



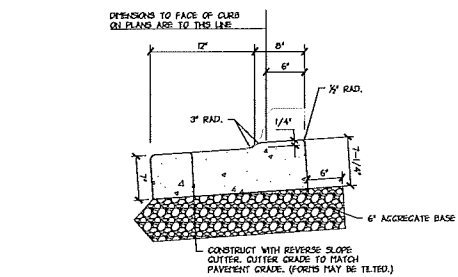
15 OUTLET CONTROL STRUCTURE NO SCALE



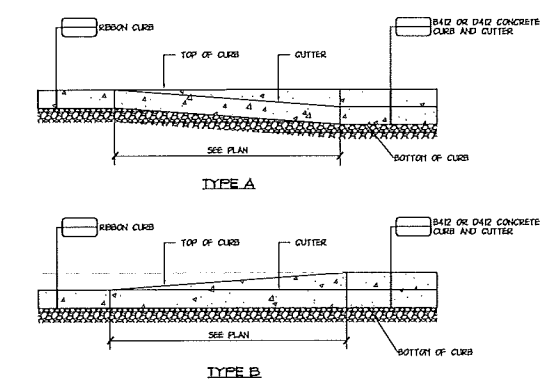
8 STORM SEWER CATCH BASIN MANHOLE NO SCALE



9 D412 SURMOUNTABLE CURB AND GUTTER NO SCALE

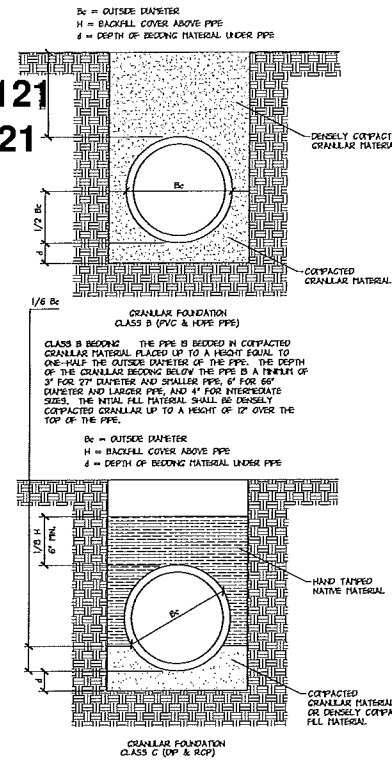


10 12" CONCRETE RIBBON CURB NO SCALE

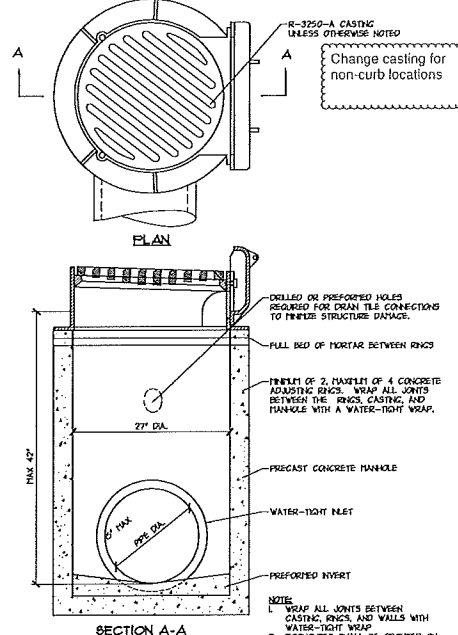


11 CONCRETE CURB TRANSITION NO SCALE

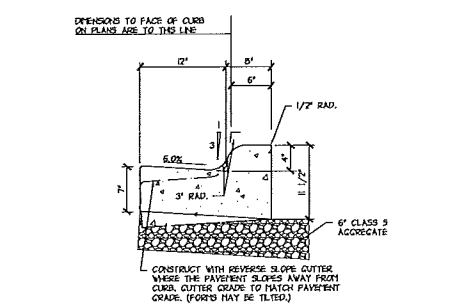
PL201800121
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PL201800121
PL2018-121



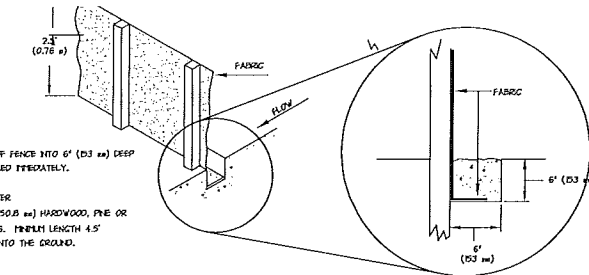
5 PIPE BEDDING NO SCALE



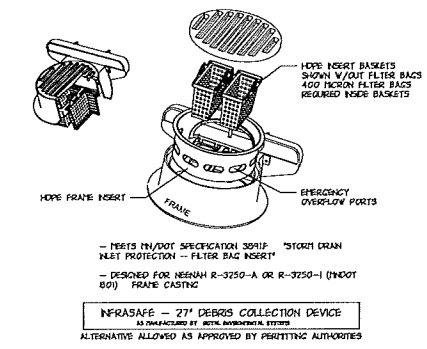
6 27" STORM SEWER CATCH BASIN NO SCALE



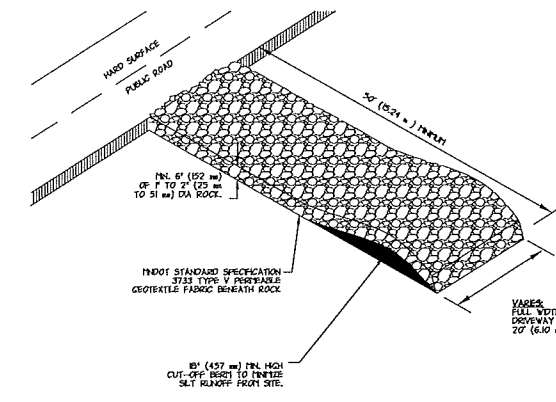
7 B412 CONCRETE CURB AND GUTTER NO SCALE



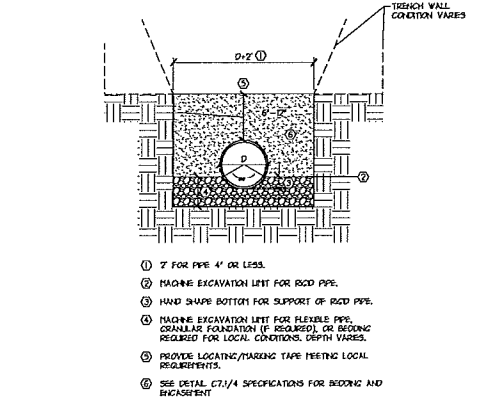
1 SILT FENCE CITY OF BLOOMINGTON NO SCALE



2 INLET PROTECTION NO SCALE



3 ROCK CONSTRUCTION ENTRANCE CITY OF BLOOMINGTON NO SCALE



4 UTILITY TRENCHING NO SCALE

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3101 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (612) 292-6000 FAX: (612) 292-6000

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

NO.	DESCRIPTION
001	DATE AND LOCATION TITLE SHEET
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003	DATE AND LOCATION
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ISSUE/REVISION HISTORY

NO.	DATE	DESCRIPTION	BY	CHKD.
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PROJECT MANAGER REVIEW
CERTIFICATION
CITY SUBMITTAL
MARCH 30, 2018

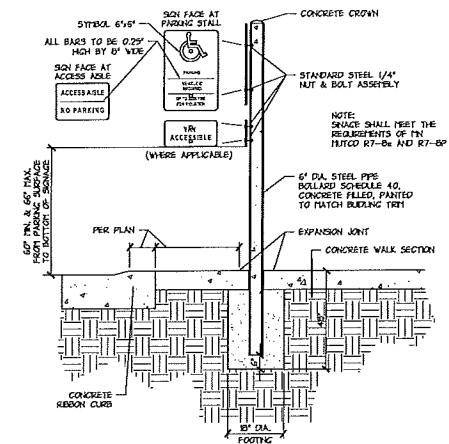
LANDFORM
From the Earth

105 South Fifth Avenue
Suite 613
Minneapolis, MN 55401

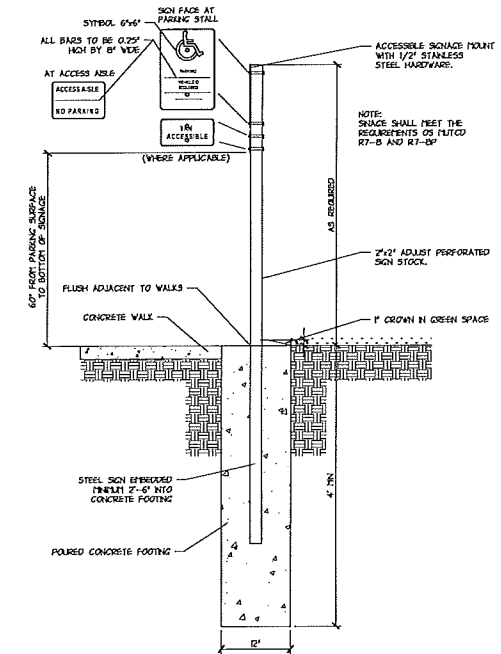
Tel: 612-252-6070
Fax: 612-252-6077
Web: landform.net

FILE NAME: C71/BA041.DWG
PROJECT NO.: BAA1041
CIVIL CONSTRUCTION DETAILS
C7.1

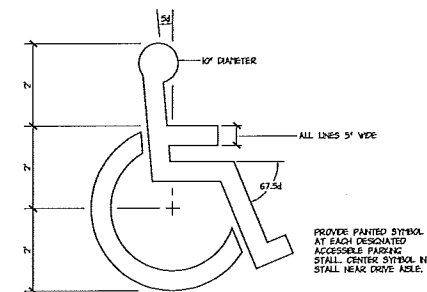
PL201800121
PL2018-121



1 PIPE BOLLARD/ACCESSIBLE SIGN - MN
NO SCALE



2 STEEL SIGN POST W/ ACCESSIBLE SIGNAGE
NO SCALE



3 INTERNATIONAL SYMBOL OF ACCESS
NO SCALE

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (612) 252-6000 FAX: (612) 252-6700

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

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C01	CONTRACT ADMINISTRATION SHEET
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C100	GENERAL NOTES - MATERIAL VALUES

ISSUE / REVISION HISTORY

DATE	DESCRIPTION	BY
NO DATE	NO DATE	NO DATE

PROJECT MANAGER REVIEW

DATE: _____

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

CITY SUBMITTAL
MARCH 30, 2018

LANDFORM
FROM THE FUTURE

105 South Fifth Avenue
Suite 613
Minneapolis, MN 55401

Tel: 612-252-0070
Fax: 612-252-0077
Web: landform.net

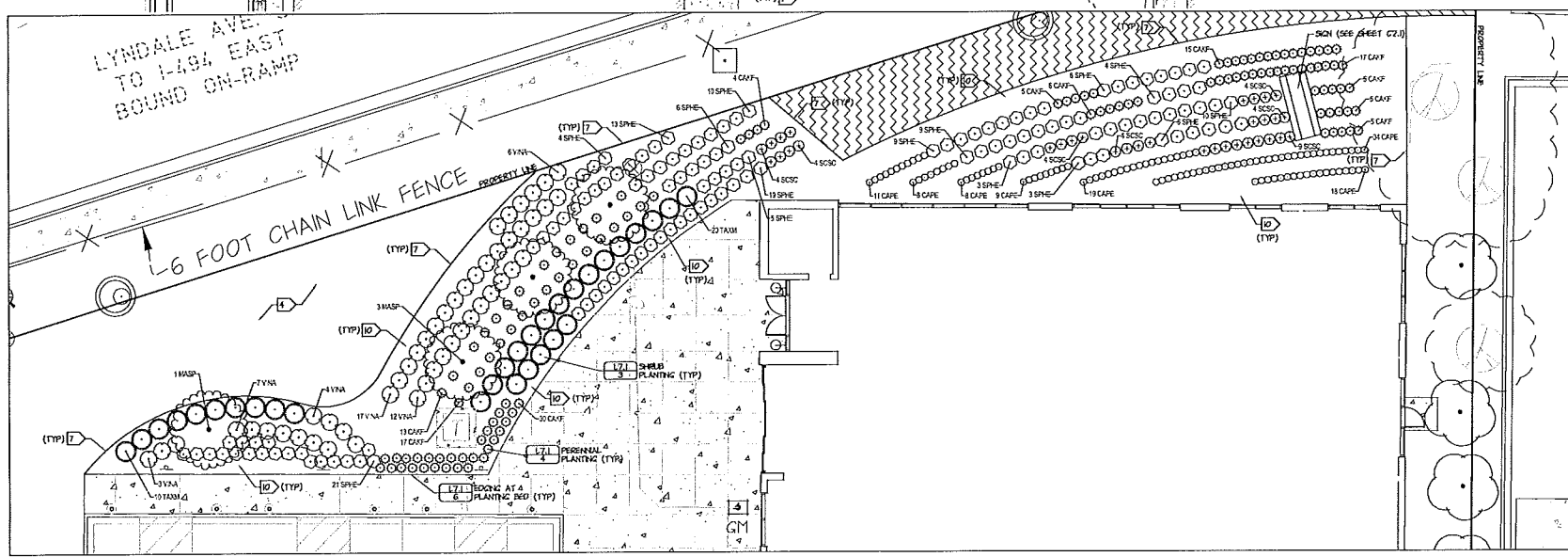
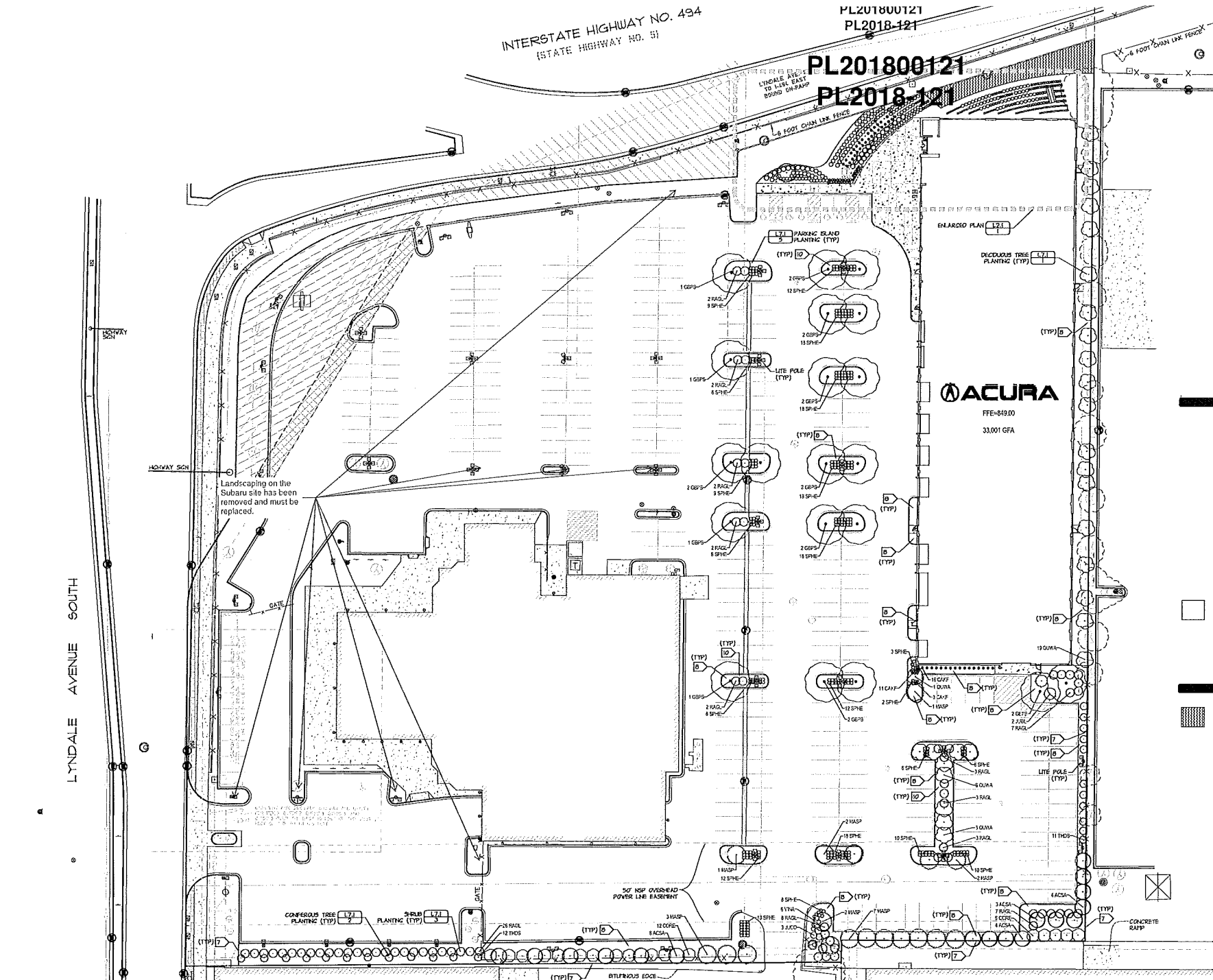
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PROJECT NO.: B4114011

CIVIL CONSTRUCTION DETAILS
C7.2

INTERSTATE HIGHWAY NO. 494
(STATE HIGHWAY NO. 5)

PL201800121
PL2018-121

PL201800121
PL2018-121



- LANDSCAPE NOTES**
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
 - COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
 - CONTRACTOR IS RESPONSIBLE FOR VISITING SITE TO FAMILIARIZE WITH SITE CONDITIONS AND CONSTRAINTS.
 - SOIL FEATURE IN STATE SHALL BE 25-30" PROVIDE VERIFYING DOCUMENTATION TO THE LANDSCAPE ARCHITECT 30 DAYS PRIOR TO INSTALLATION. SPREAD A MINIMUM OF 6 HOURS OF TOPSOIL AND SOIL ALL TURF AREAS DISTURBED BY CONSTRUCTION.
 - ALL PLANT MATERIALS SHALL CONFORM WITH THE MOST CURRENT EDITION OF THE AMERICAN ASSOCIATION OF ARBORICULTURISTS STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM INFESTATIONS, DISEASES, DAMAGE AND DEFOLIATION. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
 - PLANTING SOIL FOR PERENNIALS, SHRUBS AND TREES SHALL CONSIST OF FINDOT SELECT TOPSOIL BROWN UNLESS OTHERWISE NOTED. SEE DETAILS FOR DEPTH OF PLANTING SOIL.
 - EDGE PLANTING BEDS AND SEPARATE MULCH TYPES WITH 6-INCH BLACK VINYL EDGING (BLACK DANDA OR APPROVED EQUAL).
 - INSTALL 4-INCH DEPTH 2"-3" (NOMINAL SIZE) CRAY TRAP ROCK IN ALL PLANTING BEDS UNLESS OTHERWISE NOTED. LANDSCAPE FABRIC SHALL BE INSTALLED UNDER ALL AREAS OF ROCK MULCH.
 - AUTOMATIC Drip IRRIGATION SYSTEM TO BE USED TO IRRIGATE ALL LANDSCAPE BEDS. DIRECTIONAL SPRAY IRRIGATION TO BE USED FOR TURF AND TREES IN TURF AREAS. IRRIGATION CONTRACTOR TO SUBMIT SHOP DRAWING TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTING SOIL FOR PARKING LOT ISLANDS SHALL BE A 50% MIX OF SOIL, COMPOST AND SAND.
 - SEED, SOIL, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS INDICATED:

SEED	SEED SPECIFICATION NUMBER
SEED	BVSR SEED TIX 33-721 TYP SEED TIX 25-311
MULCH (FINDOT TYPE 1 & 2 10%/AC, DSC ANCHORED) FOOT 3802	FINDOT 3801
FERTILIZER	FINDOT 2373
GENERAL PLACEMENT	

PLANT SCHEDULE

TREE	QTY	BOTANICAL NAME / COMMON NAME	NATIVE SIZE	PLANTING SIZE	ROOT CODE	NOTES
ACSA	7	ACER SACCHARINE / SUGAR MAPLE	25 H X 2 W	25 CAL	B & B	MALE ONLY
CPSP	20	QUERCUS BLANDA / PRINCETON SENTINEL / PRINCETON SENTRY QUERCUS	50 H X 30 W	3 CAL	B & B	
QSPA	24	QUERCUS X MARSHAL PRINCE / PRINCE PRINCE OAK	25 H X 20 W	25 CAL	B & B	
THOS	23	TAXUS OCCIDENTALIS / DEERHORN 5 SPINE / DEERHORN 5 SPINE ARBORVITAE	30 H X 6 W	6 HEIGHT	B & B	

FLOWERING TREE	QTY	BOTANICAL NAME / COMMON NAME	NATIVE SIZE	PLANTING SIZE	ROOT CODE
FLSP	72	MALUS X SPRING SNOW / SPRING SNOW CRAB APPLE	25 H X 20 W	15 CAL	POT

SHRUB	QTY	BOTANICAL NAME / COMMON NAME	NATIVE SIZE	PLANTING SIZE	ROOT CODE
CSSE	17	CORNUS SERICEA / RED TWIG DOGWOOD	10 H X 10 W	3 CAL	POT
JBL	2	JUNIPERUS HORIZONTALIS BLUE OAF / BLUE OAF JUNIPER	1 H X 10 W	3 CAL	POT
JUCO	3	JUNIPERUS HORIZONTALIS COMPACTA / AMERICA COMPACT JUNIPER	15 H X 5 W	3 CAL	POT
RALC	37	RIBES ARBITRARIA / LOW / LOW-FRAGRANT SALAM	4 H X 4 W	3 CAL	POT
TANT	30	TAXUS X PEA / TANTON / TANTON YEW	2 H X 3 W	3 CAL	POT
VNA	25	VERONICA CRILLIS / MAULE / MAULE EUROPEAN VEEVERUM	2 H X 3 W	3 CAL	POT

GRASS	QTY	BOTANICAL NAME / COMMON NAME	NATIVE SIZE	PLANTING SIZE	ROOT CODE
CAZE	152	CALAMAGROSTIS X ACUTIFLORA / EARL POEPPER / FEATHER REED GRASS	4 H X 2 W	2 CAL	POT
SCOC	107	CAREX PENNSYLVANICA / PENNSYLVANIA SEDGE	1 H X 1 W	1 CAL	POT
SPVE	357	SPOROBOLUS HETEROLEPIS / PRINCE DROPSIDE	4 H X 2 W	2 CAL	POT

- SEEDED TURF**
IN STATE SEED TIX 25-311 LOW-MAINTENANCE TURF
SEED AT RATE OF 27000 LBS/ACRE, LIVE SEED.
- SEED MIX SPECIES:**
RED FESCUE
CHICKEN FESCUE
LOW MAINTENANCE KENTUCKY BLUEGRASS
HARD FESCUE
SHEEP FESCUE
PERENNIAL RITCGRASS
- NATIVE SEED MIX**
BVSR SEED TIX 33-721 (INCLUDES OATS OR WHEAT COVER CROP, PLANTING SEASON DEPENDENT)
SEED AT RATE OF 36500 LBS/ACRE, LIVE SEED
- SEED MIX SPECIES (COARSE):**
BLUE GRASS PEEPCO
LEAD PLANT
BUTTERFLY PLEASSED
CANADA FLX VETCH
BIRD'S FOOT COCKSPOUR
WHITE PRINCE CLOVER
PURPLE PRINCE CLOVER
CANADA TICK TRIFOLIUM
STIFF SUNFLOWER
ROUGH BILLYARD
VELD BENCANT
STEE GOLDENROD
LARGE FLOWERING BEARD TONGUE
BLACK-BEED SUSAN
GRAY GOLDENROD
HEATH ASTER
SMOOTH ASTER
HOARY VERVAIN
- SEED MIX SPECIES (FINE):**
BIG BLUESTEM
SIDE OATS GRAMA
BLUE GRASS
KALIN'S BROME
MOODING VELD RYE
JANECRASS
LITTLE BLUESTEM
NOAN GRASS
PRINCE DROPSIDE

LANDSCAPE CALCULATIONS

PER CITY CODE SEC. 11.02:

TOTAL DEVELOPABLE LANDSCAPE AREA 276,396 SF.
1 TREE PER 2500 SF. DEVELOPABLE LANDSCAPE AREA
1 SHRUB PER 1000 SF. DEVELOPABLE LANDSCAPE AREA

REQUIRED	PROVIDED
276,396 SF. / 2,500 = 110 TREES	111
276,396 SF. / 1,000 = 277 SHRUBS	277 (174 SHRUBS + 412 PERENNIALS (EQUIV. TO 103 SHRUBS))

LEGEND

APPROXIMATE CANOPY OF EXISTING TREE

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (612) 292-8100 FAX: (612) 292-8100

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

NO.	DATE AND LANDSCAPE TITLE SHEET
L21	DATE AND LANDSCAPE TITLE SHEET
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L49	DATE AND LANDSCAPE TITLE SHEET
L50	DATE AND LANDSCAPE TITLE SHEET

ISSUE/REVISION HISTORY

DATE	DESCRIPTION	BY
03/30/2018	ISSUE FOR PERMITS	RENEE
03/30/2018	CITY SUBMITTAL	RENEE

PROJECT MANAGER REVIEW

DATE: 03/30/2018

BY: RENEE

CERTIFICATION

I, the undersigned, being a duly licensed and bonded landscape architect, do hereby certify that this plan and specification were prepared by me or under my direct supervision and that I am a duly licensed and bonded landscape architect in the State of Minnesota.

DATE: 03/30/2018

BY: RENEE

CITY SUBMITTAL
MARCH 30, 2018

LANDFORM
FIRM # 18-111

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net
FILE NAME: L2018A041.DWG
PROJECT NO.: BAA14031

PRELIMINARY NOT FOR CONSTRUCTION

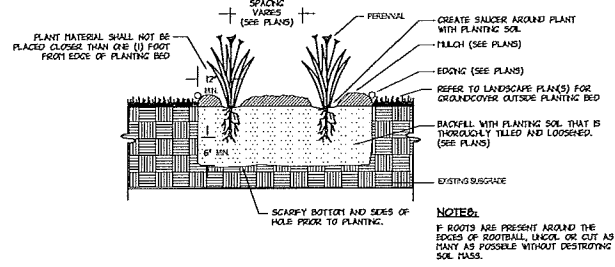
LANDSCAPE PLAN
L2.1

811
Know what's Below. Call before you dig.

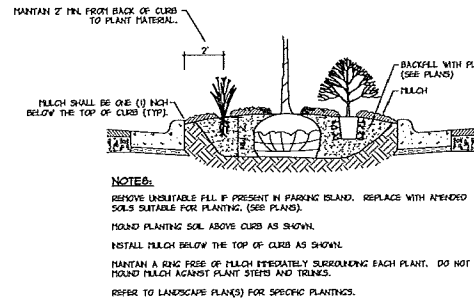
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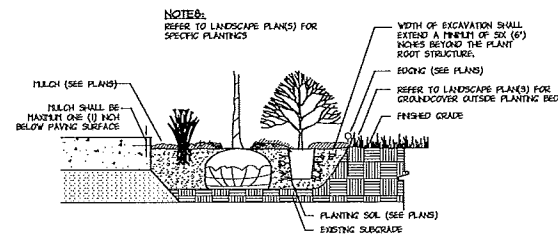
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PL2018-121



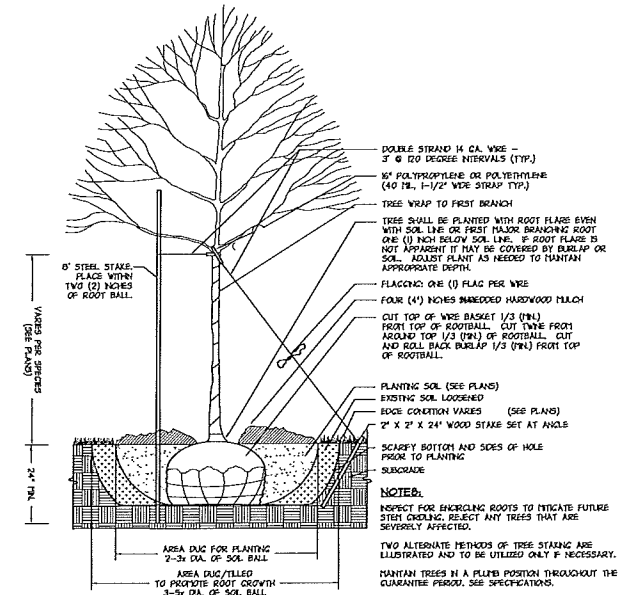
4 PERENNIAL PLANTING NO SCALE



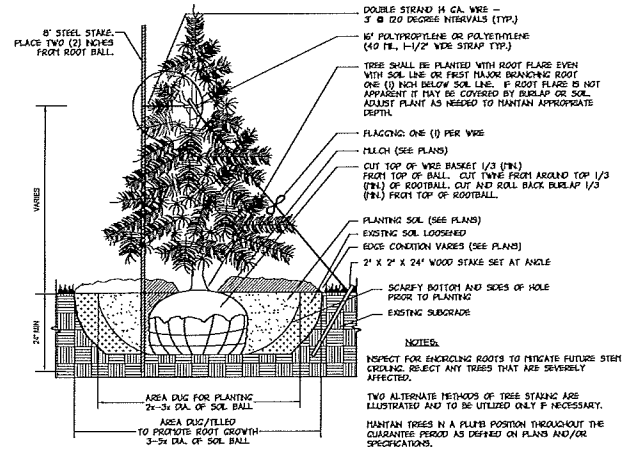
5 PLANTED PARKING ISLAND NO SCALE



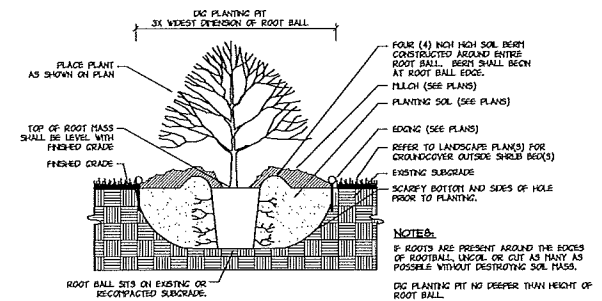
6 EDGING AT PLANTING BED NO SCALE



1 DECIDUOUS TREE PLANTING NO SCALE



2 CONIFEROUS TREE PLANTING NO SCALE



3 SHRUB PLANTING NO SCALE

DEVELOPER
MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: 612.292.8000 - FAX: 612.292.4900

MUNICIPALITY
BLOOMINGTON

PROJECT
LUTHER
BLOOMINGTON ACURA
BLOOMINGTON, MN

SHEET INDEX

NO.	TITLE
001	DCI AND LANDSCAPE TREE SHAPE
002	PERENNIAL CONDITIONS
003	PERENNIAL
004	PERENNIAL
005	PERENNIAL
006	PERENNIAL
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ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVISOR
30 MAR 2008	CITY SUBMITTAL	SEE

PROJECT MANAGER REVIEW
DATE: 04/13/2018

CERTIFICATION
I hereby certify that the work shown on these drawings was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
Name: [Signature]
License No.: [Number]
Date: [Date]
Title: [Title]

CITY SUBMITTAL
MARCH 30, 2018

LANDFORM
FROM FILE TO FIELD
105 South Fifth Avenue Suite 613 Minneapolis, MN 55401
Tel: 612-252-9070 Fax: 612-252-9077 Web: landform.net
FILE NAME: L2018A041.DWG
PROJECT NO.: BAA14041



LANDSCAPE DETAILS
L7.1

PL201800121
PL2018-121

BA
BAKER ASSOCIATES, INC.
ARCHITECTS

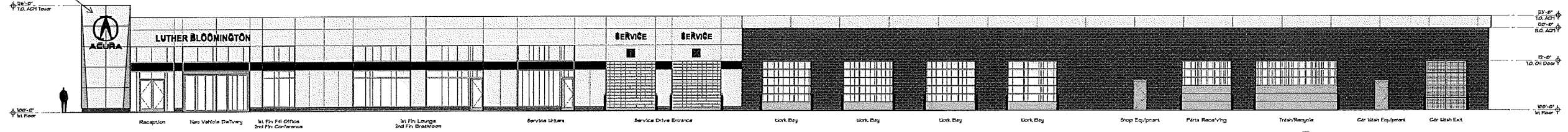
150 SOUTH FIFTH STREET
SUITE 1425
MINNEAPOLIS, MN 55402-1200
TEL: (612) 339-8001
FAX: (612) 339-5968

Luther
Bloomington Acura

Bloomington, MN
Remodel

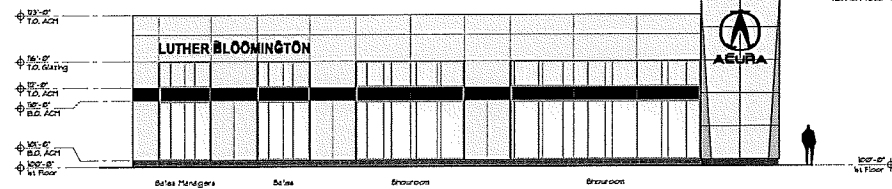
Issue:
City Submittal 30 March 2018

The tower is in the required setback. Any change in height or reduced setback from the existing structure would require a variance.



E6 West Elevation
3/32"=1'-0"

The tower is in the required setback. Any change in height or reduced setback from the existing structure would require a variance.



D2 North Elevation
3/32"=1'-0"

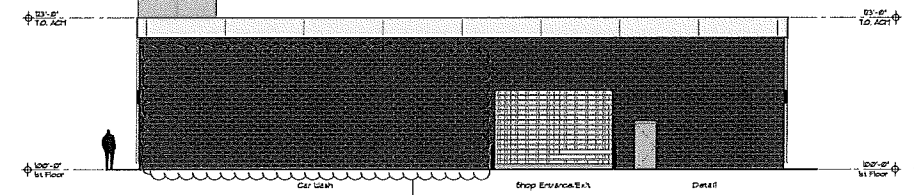
EXTERIOR FINISH KEY

[Pattern]	Clay, Loure, Painted Gating
[Pattern]	Silver Alumina Composite Material (ACH-1)
[Pattern]	Blue Alumina Composite Material (ACH-2)
[Pattern]	Grey Painted existing CMU

Provide specification and warranty information for the ACM panels.

BUILDING SIGNAGE KEY

[Symbol]	6'-2 1/8" x 2
[Symbol]	8'-1 1/4" x 2
[Symbol]	22'-1 1/2" x 2
[Symbol]	1'-5 1/2" x 2



D6 South Elevation
3/32"=1'-0"

The portion of the south elevation that is not already exposed to the exterior may not be coated. Integral color masonry or some other code-complying material must be used.



C6 East Elevation
3/32"=1'-0"

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of MINNESOTA.
Nguyen T. Hoang

Date: 03/20/2018
Reg No: 0000000000
Sheet Title: Exterior Elevations

Scale: 3/32"=1'-0" | Sheet Number: A-201
Date: 03/20/2018
Comm No: 25664
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