

L1.0	Title Page
L1.1	Removals and Erosion Control Plan
L1.2	Dimension Site Plan
L1.3	Grading Plan
L1.4	Landscape Plan
L1.5	Landscape Details

Owner Review Set
March 9, 2018



SITE LOCATOR MAP:



SITE AND LANDSCAPE IMPROVEMENT
CONSTRUCTION PACKAGE FOR:

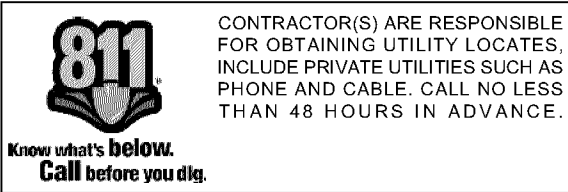
Cedar Office Park

Parking Addition Project
Bloomington, Minnesota

Site Data:

Existing Total Lot Area:	396,930sf (9.112 Acres)
Existing Building Area:	119,916sf
Existing Paved Area:	202,888sf
Existing Pervious Area:	74,126sf
Existing Parking Count:	443
Proposed Parking Area:	3,376sf
Proposed Parking Count:	464
Impervious Increase:	.01%

PRELIMINARY
NOT FOR
CONSTRUCTION



Consultant:

CALYX

DESIGN GROUP

Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102

telephone: 651.788.9018
internet: www.calyxdesigngroup.com

WELSH

ARCHITECTURE

WELSH

CONSTRUCTION

Property Owner:

Alidade

Capital

Project Name:

CEDAR
OFFICE
PARK

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

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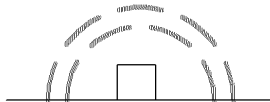
03/26/18: FUTURE ROW LINE

PRELIMINARY

TITLE SHEET

L1.0

LEGEND:

	Anticipated Disturbed Area		Construction Limits
	Construction Rock Log		Storm Sewer Sediment Protection Install Gravel Bags, 2 Rows High.
	Existing Tree To Remain		

Anticipated Disturbed
Area

_____ • _____ • _____

Storm Sewer Sediment Protection
Install Gravel Bags, 2 Rows High.

1. ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING. FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
2. BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
3. PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
4. CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
5. MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
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7. INSTALL 6" OF TOPSOIL OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
8. PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIPLINE.

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12"

6"

6"

1/2" RADIUS BULLNOSE

2 - #4 REBAR CONT.

PAVING SYSTEM - SEE OTHER DETAILS

6" MNDOT CLASS 5 BASE

COMPACTED OR UNDISTURBED SUBGRADE

This diagram shows a cross-section of a concrete curb and gutter assembly. The curb is 6 inches wide and 12 inches high. It features a 1/2-inch radius bullnose at the top outer corner and is reinforced with two #4 rebar. The curb is supported by a 6-inch MNDOT Class 5 base, which is placed on a compacted or undisturbed subgrade. The gutter is formed by a sloped paving system, indicated by a dashed line and a note to refer to other details. The gutter is filled with a layer of 6-inch MNDOT Class 5 base material, shown with a stippled pattern, and is bordered by a layer of compacted or undisturbed subgrade, shown with a hatched pattern. The curb itself is shown with a cross-hatched pattern.

3" MONOLITHIC BITUMINOUS LIFT
FIELD VERIFY EXISTING PARKING
LOT BITUMINOUS THICKNESS.

CLASS 5 BASE

CONTRACTOR PREPARED SUBGRADE

6"
6"

The diagram shows a cross-section of a pavement structure. From top to bottom, the layers are: a 3-inch monolithic bituminous lift (hatched pattern), a Class 5 base (stippled pattern), and a contractor prepared subgrade (horizontal line pattern). Dimensions on the left indicate a 6-inch thickness for the base layer and a 6-inch thickness for the subgrade layer. Arrows point from the text labels to their respective layers.

DETAILS AND NOTES:

8" CIP W

AMERICAN BOULEVARD EAST

PROPOSED RIGHT OF WAY

Planned future widening/reconstruction of Pedestrian/Bike facility along American Boulevard - Nokomis Minnesota River Regional Trail

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING SIDEWALK

EXISTING SIDEWALK

6" CONCRETE CURB, TYP. SEE DETAIL.

PIN NEW CURB TO EXISTING FLUSH CONDITION, ALL SIDES.

UGE

EXISTING TREES TO REMAIN

EXISTING SHRUBS TO REMAIN

12" WIDE FLUSH CONCRETE CONTAINMENT BAND.

6" CONCRETE CURB, TYP. SEE DETAIL.

PIN NEW CURB TO EXISTING FLUSH CONDITION, ALL SIDES.

433 SF PERMEABLE PAVERS SEE DETAILS AND NOTES.

6" CONCRETE CURB, TYP. SEE DETAIL.

PIN NEW CURB TO EXISTING FLUSH CONDITION, ALL SIDES.

12" WIDE FLUSH CONCRETE CONTAINMENT BAND.

CONSTRUCTION LIMITS, TYP. EX. CURB TO REMAIN, TYP.

4" WIDE WHITE PARKING STRIPES, TYP. (7)

NEW BITUMINOUS ASPHALT PARKING LOT. MATCH EXISTING FULL-DEPTH. SEE DETAIL.

EXISTING PARKING LOT

EXISTING PARKING LOT

EXISTING PARKING LOT

EXISTING PARKING LOT

1701 AMERICAN BOULEVARD EAST BUILDING

1801 AMERICAN BOULEVARD EAST BUILDING

12" RCP ST S

0 15' 30'

SCALE: 1"=15'-0"

NORTH

Consultant:

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SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS:

3/26/18: FUTURE ROW LINE

PRELIMINARY

DIMENSION
SITE PLAN

L1.2

0 15' 30'

SCALE: 1"=15'-0"

NORTH

LEGEND:



GENERAL NOTES:

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9. REFER TO SHEET 1.1.5 FOR PLANT LEGEND AND PLANTING NOTES.

ON CENTER SPACING AS STATED ON PLAN

WIDTH OF HOLE EXCAVATION SHALL EXTEND A MINIMUM OF 6 INCHES BEYOND THE PLANTS ROOT SYSTEM.

PREPARED PLANTING SOIL BED 6" MIN. PER NOTES.

3" DEPTH WATERING BASIN

MULCH

FINISHED GRADE

PLANT ACCORDING TO PLANTING DETAILS FOR ISOLATED PLANTING LOCATIONS WITH THE EXCEPTION OF REDUCED HOLE WIDTH.

NOTE: NO WEED MAT IN RAIN GARDEN OR CONSERVATION EASEMENT AREAS.

1 TYPICAL SHRUB PLANTING DETAIL
L1.4 NOT TO SCALE

NOTES:
DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSEVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

FIELD STAKE TREE LOCATIONS FOR THE
APPROVAL OF THE LANDSCAPE ARCHITECT

INSTALL 4 WHITE PERFORATED
TRUNK GUARDS BY OCTOBER 15

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 IN. HIGHER IN SLOWLY DRAINING SOILS.

WOOD MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR AFTER PLANTING.

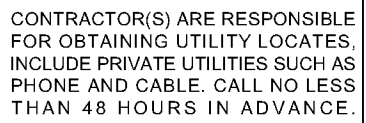
NOTE: FOR DIMENSIONS OF PLANTING AREAS SEE PLAN. SOIL BACKFILL SHALL BE GARDEN BLEND SOIL (EQUAL MIX OF COMPOST, SAND & SOIL) PER NOTES.

INSTALL TOMAHAWK SUB-SURFACE TREE ROOT BALL STABILIZER HOOKS, MINIMUM OF (2) PER TREE. ABOVE-GRADE STAKES AND GUY WIRES ARE STRICTLY PROHIBITED.

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2 TYPICAL TREE PLANTING DETAIL
L1.4 NOT TO SCALE

Revised landscaping plan must be approved per the requirements in Section 19.52.



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ATTACHED DOCUMENTS.	
SCALE:	AS NOTED
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CONTAINS FIVE (5) PAGES	

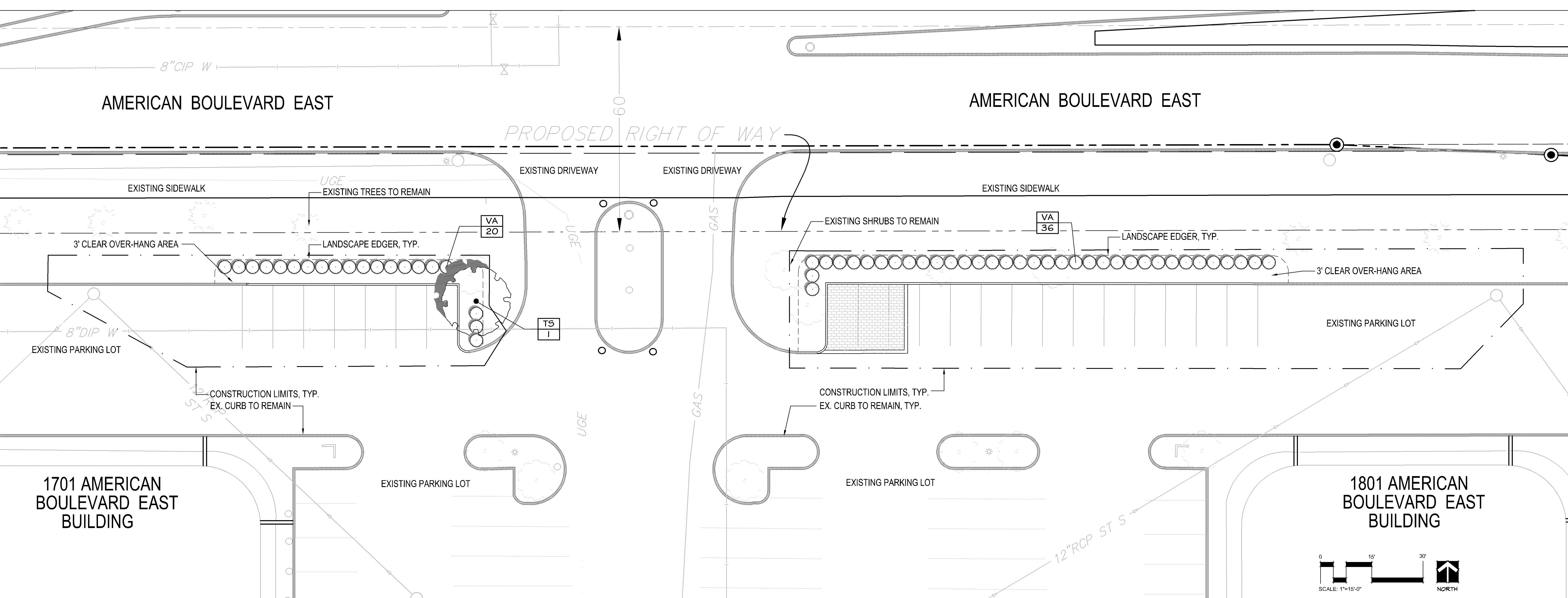
REVISIONS:
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PRELIMINARY

LANDSCAPE PLAN

L1.4

DETAILS AND NOTES:



LANDSCAPE PLAN

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- REFER TO SHEET L1.4 FOR LANDSCAPE LAYOUT PLAN AND DETAILS.

PL201800113
PL2018-113

Landscape Notes:

- Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- The contractor shall guarantee newly planted material through TWO calendar years from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- Replacement and repairs requested by the Owner during the warranty period must be made within 14 business days of the request.

18. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.

19. Irrigation: the landscape contractor is responsible for the function and protection of the existing irrigation system outside the proposed work limits, during construction. Landscape contractor to adjust head spray and zone run times as necessary to ensure turf and plants within and outside the work limits, remains irrigated. Remove and salvage existing irrigation equipment within construction limits for re-use ahead of excavation work. Sleeve under new paving as necessary to irrigate areas now isolated from the original system. Clearly mark underground piping and coordinate line & stub locations with General Contractor. Provide a new layout that irrigates all new landscape areas and connects to the existing system.

20. All sod areas shall be prepared prior to planting with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc. Any alternate seed mixtures, rates, & application method noted shall be submitted to the landscape architect for approval.

21. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.

22. The Landscape Contractor shall clear and grub underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted on the civil plan, including the stump to 30" below grade.

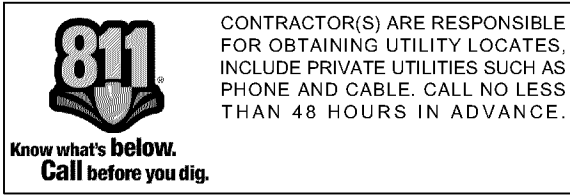
23. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.

24. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.

25. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.

26. Landscape contractor shall be responsible for coordinating the trimming of existing trees to remain, providing shape & form in accordance with arboricultural standards. A state licensed arborist shall be engaged as part of this project to assess the site prior to submission of bids and trim trees prior to all other side work, upon general contractor's authorization to proceed.

27. Do not place woody plant materials in easement areas. Coordinate field staking of easements with General Contractor.



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PRELIMINARY

LANDSCAPE
DETAILS

L1.5

DETAILS AND NOTES: