

Preliminary Site Development Plans for American Boulevard Storage

Bloomington, Minnesota

Presented by:
Cascade Storage Partners, LLC.

Client
CASCADE STORAGE PARTNERS, LLC.
700 E. MOOREHEAD ST., SUITE 100B
CHARLOTTE, NC 28202

Project
AMERICAN BOULEVARD STORAGE

Location
BLOOMINGTON, MN
101 AMERICAN BLVD W

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Brady D. Busselman
Registration No. 44579 Date: 12/01/2017
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Designed: BDB Drawn: JEB
Approved: BDB Book / Page:
Phase: PRELIMINARY Initial Issue: 12/01/2017

Revision History
No. Date By Submittal / Revision

Sheet Title
TITLE SHEET

Sheet No. Revision
C1.01

Project No. 21012

CONSULTANT CONTACT LIST:

DEVELOPER/OWNER
CASCADE STORAGE PARTNERS, LLC.
700 E. MOOREHEAD ST., SUITE 100B
CHARLOTTE, NC 28202
TEL 720-800-2142
CONTACT: JOSH DAVIS

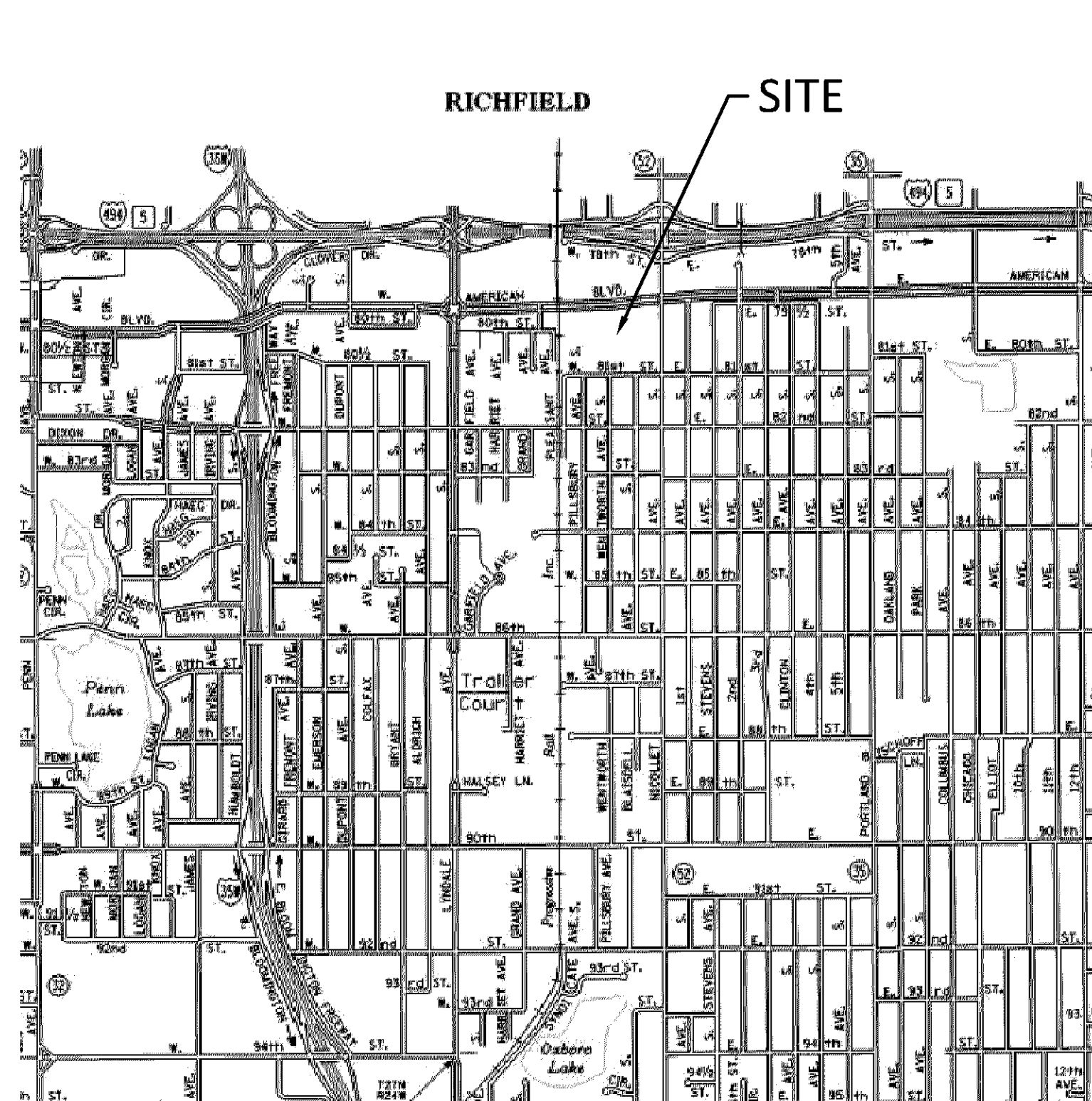
CIVIL ENGINEER
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: BRADY BUSSELMAN

ARCHITECT
DJR ARCHITECTURE, INC.
333 WASHINGTON AVE N, SUITE 210
UNION PLAZA
MINNEAPOLIS, MN 55401
TEL 612-676-2736
FAX 612-676-2796
CONTACT: CHRIS WHITEHOUSE

SURVEYOR
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: MARK SALO

GEOTECHNICAL
PROFESSIONAL SERVICE INDUSTRIES, INC.
2915 WATERS ROAD, SUITE 112
EAGAN, MN 55121
TEL 651-646-8148
FAX 651-646-8258
CONTACT: KEVIN MILLER

LANDSCAPE ARCHITECT
SAMBATEK
12800 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MN 55343
TEL 763-476-6010
FAX 763-476-8532
CONTACT: WILLIAM DELANEY



VICINITY MAP
NO SCALE

SHEET INDEX

SHEET	DESCRIPTION
C1.01	TITLE SHEET
C2.01	EXISTING CONDITIONS
C2.02	PRELIMINARY PLAT
C3.01	SITE PLAN
C4.01	GRADING PLAN
C5.01	EROSION CONTROL PHASE I
C5.02	EROSION CONTROL PHASE II
C5.03	EROSION CONTROL NOTES & DETAILS
C6.01	UTILITY PLAN
C9.01	DETAILS
C9.02	DETAILS
C9.03	DETAILS
L1.01	LANDSCAPE PLAN

Client
CASCADE STORAGE PARTNERS, LLC.
700 E. MOOREHEAD ST., SUITE 100B
CHARLOTTE, NC 28202

Project
AMERICAN BOULEVARD STORAGE

Location
BLOOMINGTON, MN
101 AMERICAN BLVD W

Certification

Summary

Designed: Drawn:
Approved: Book / Page:
Phase: PRELIMINARY Initial Issue: 12/01/2017

Revision History
No. Date By Submittal / Revision

Sheet Title
EXISTING CONDITIONS

Sheet No. Revision
C2.01

Project No. 21012

DESCRIPTION

THE WEST 373 FEET OF TRACT V, REGISTERED LAND SURVEY NO. 861, FILES OF REGISTRAR OF TITLES, COUNTY OF HENNEPIN.

HENNEPIN COUNTY, MINNESOTA
TORRENS PROPERTY.

PROPERTY SUMMARY

1. ADDRESS: 101 AMERICAN BOULEVARD WEST (P.I.D. 0302724210015).
2. THE GROSS AREA OF THE SUBJECT PROPERTY IS 118,652 SQUARE FEET OR 2.7239 ACRES.
3. THE BUILDING(S) AND EXTERIOR DIMENSIONS OF THE OUTSIDE WALL AT GROUND LEVEL ARE SHOWN ON THE SURVEY. IT MAY NOT BE THE FOUNDATION WALL.

BENCHMARKS

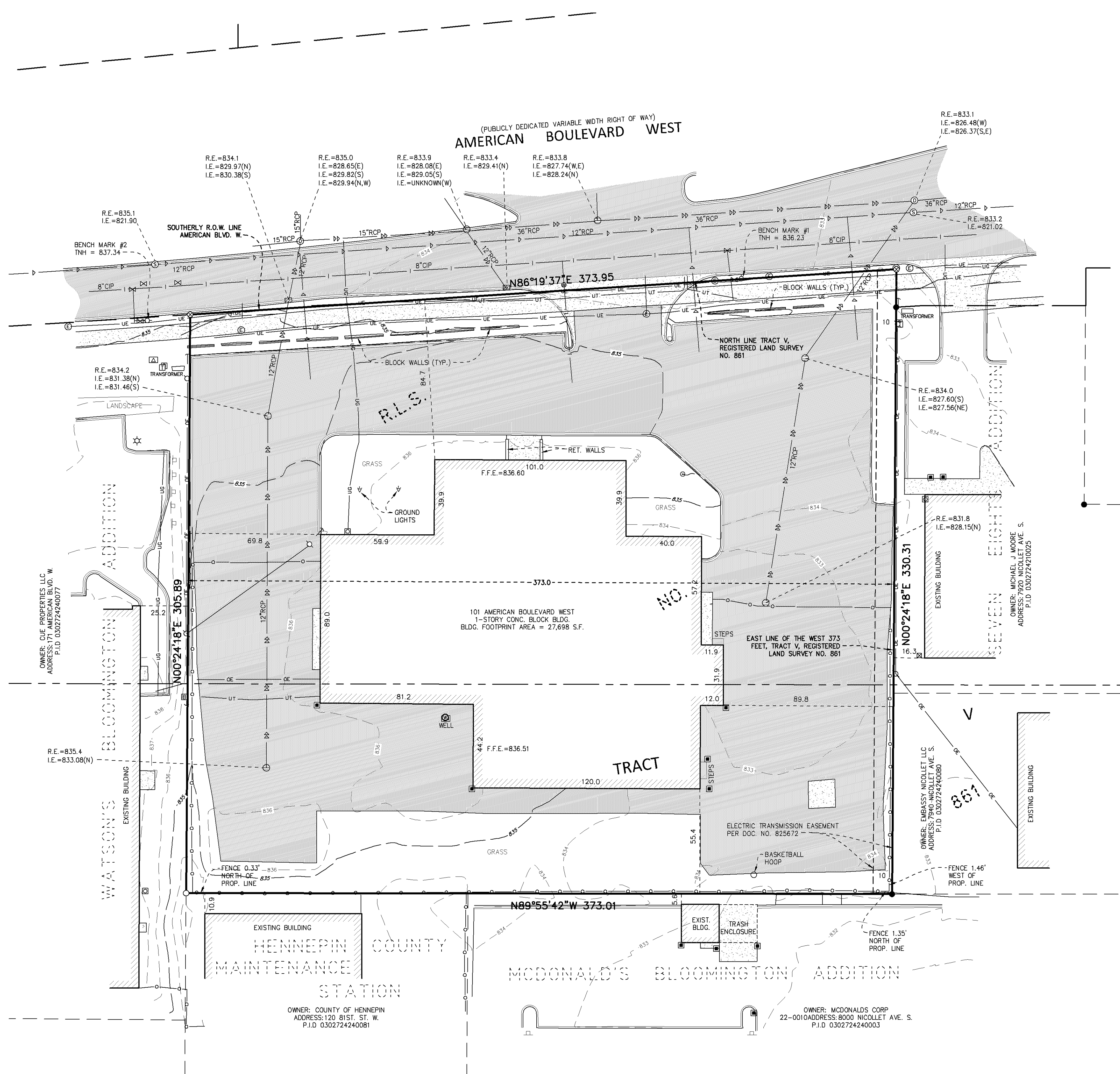
1. THE VERTICAL DATUM IS BASED ON NAVD88.
- BENCHMARK #1
TOP NUT OF HYDRANT LOCATED ON THE NORTHEASTERLY CORNER OF SUBJECT PROPERTY
ELEV.=836.23
- BENCHMARK #2
TOP NUT OF HYDRANT LOCATED ON THE NORTHWESTERLY CORNER OF SUBJECT PROPERTY
ELEV.=837.34

SURVEY NOTES

1. THE BEARING SYSTEM IS BASED ON THE HENNEPIN COUNTY COORDINATE SYSTEM, NAD83 (1986 ADJUST), WITH AN ASSUMED BEARING OF N86°12'46"E FOR THE NORTH LINE OF TRACT V.

LEGEND

● FOUND MONUMENT	— — WATERMAIN	- - - EASEMENT LINE
○ SET MONUMENT MARKED LS 47481	— — SANITARY SEWER	- - - SETBACK LINE
⊙ ELECTRIC METER	— — STORM SEWER	▬ CONCRETE CURB
⊙ AIR CONDITIONER	— — FLARED END SECTION	▬ BUILDING LINE
⊙ GUY ANCHOR	⊙ ELECTRIC TRANSFORMER	▬ BUILDING CANOPY
⊙ UTILITY POLE	⊙ TELEPHONE PEDESTAL	⊙ DECIDUOUS TREE
⊙ POST	⊙ WOOD FENCE	⊙ BITUMINOUS SURFACE
⊙ SIGN	⊙ FLAG POLE	⊙ CONIFEROUS TREE
	⊙ CHAIN LINK FENCE	⊙ CONCRETE SURFACE



LEGEND

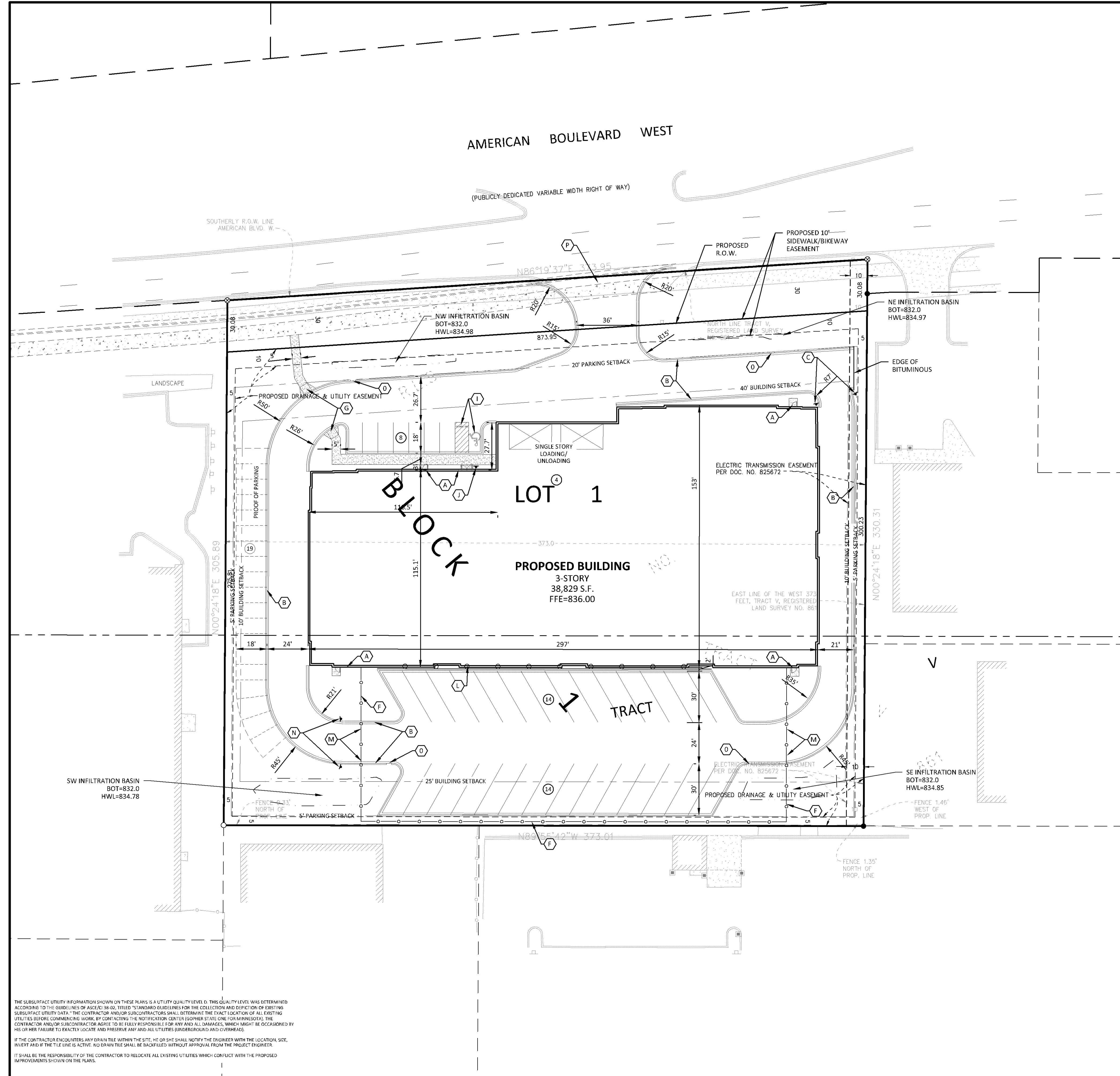
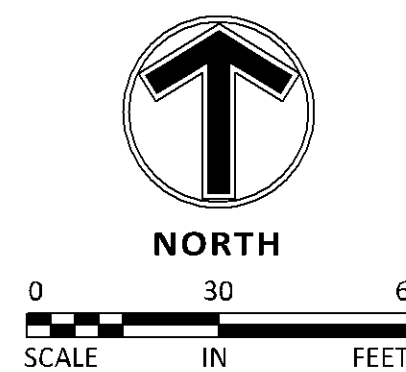
	PROPOSED	EXISTING	FUTURE AMERICAN BLVD IMPROVEMENTS
PROPERTY LIMIT	---	---	---
CURB & GUTTER	---	---	---
EASEMENT	---	---	---
BUILDING	---	---	---
RETAINING WALL	---	---	---
WETLAND LIMITS	---	---	---
TREELINE	---	---	---
SAWCUT LINE	---	---	---
SIGN	---	---	---
PIPE BOLLARD	---	---	---
NUMBER OF PARKING STALLS PER ROW	---	---	---
KEY NOTE	---	---	---
		STANDARD DUTY ASPHALT PAVING	---
		HEAVY DUTY ASPHALT PAVING	---
		CONCRETE PAVING	---
		CONCRETE SIDEWALK	---

DEVELOPMENT SUMMARY

AREA	
GROSS SITE AREA	118,652 SF 2.72 AC
LESS R.O.W.	11,632 SF 0.27 AC
NET SITE AREA	107,020 SF 2.46 AC
BUILDING COVERAGE	36%
FLOOR AREA RATIO	1.09
IMPERVIOUS AREA	75%
BUILDING SETBACKS	
FRONT YARD	40 FEET
REAR YARD	25 FEET
SIDE YARD	10 FEET
PARKING SETBACKS	
FRONT YARD	20 FEET
REAR YARD	5 FEET
SIDE YARD	5 FEET
ZONING	
EXISTING ZONING	I-3
PROPOSED ZONING	I-3
PARKING REQUIREMENTS	
9'x18' STALLS (3/100 UNITS) * 900 UNITS	27 STALLS
9'x18' STALLS (1/285 SF OFFICE) * 1200 SF	4 STALLS
TOTAL	31 STALLS
RV STORAGE REQUIRED	10,702 SF
PARKING PROVIDED	
ADA STALLS	1 STALL
INTERNAL STALLS	4 STALLS
9'x18' STALLS	7 STALLS
TOTAL (INITIAL BUILD @ (1.35/100 UNITS) * 900 UNITS)	12 STALLS
TOTAL W/ PROOF OF PARKING (19 STALLS)	31 STALLS
OUTDOOR RV STORAGE PROVIDED	11,639 SF
PERCENTAGE OF SITE DEDICATED TO	10.8%

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.

- KEY NOTES**
- BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS
 - B-612 CONCRETE CURB AND GUTTER
 - "DO NOT ENTER" SIGN, MN MUTCD R5-1
 - CONCRETE APRON
 - FLAT CURB SECTION
 - AMERISTAR MAJESTIC 6 FOOT 2-RAIL STEEL FENCE
 - ACCESSIBLE RAMP
 - TRANSFORMER
 - ACCESSIBLE STALL STRIPING
 - ACCESSIBLE PARKING SIGN
 - CONCRETE SIDEWALK
 - GUARD RAIL
 - FENCE GATES
 - "BEGIN ONE WAY" SIGN
 - 3' CURB CUT WITH RAIN GUARDIAN
 - COMMERCIAL DRIVEWAY APRON



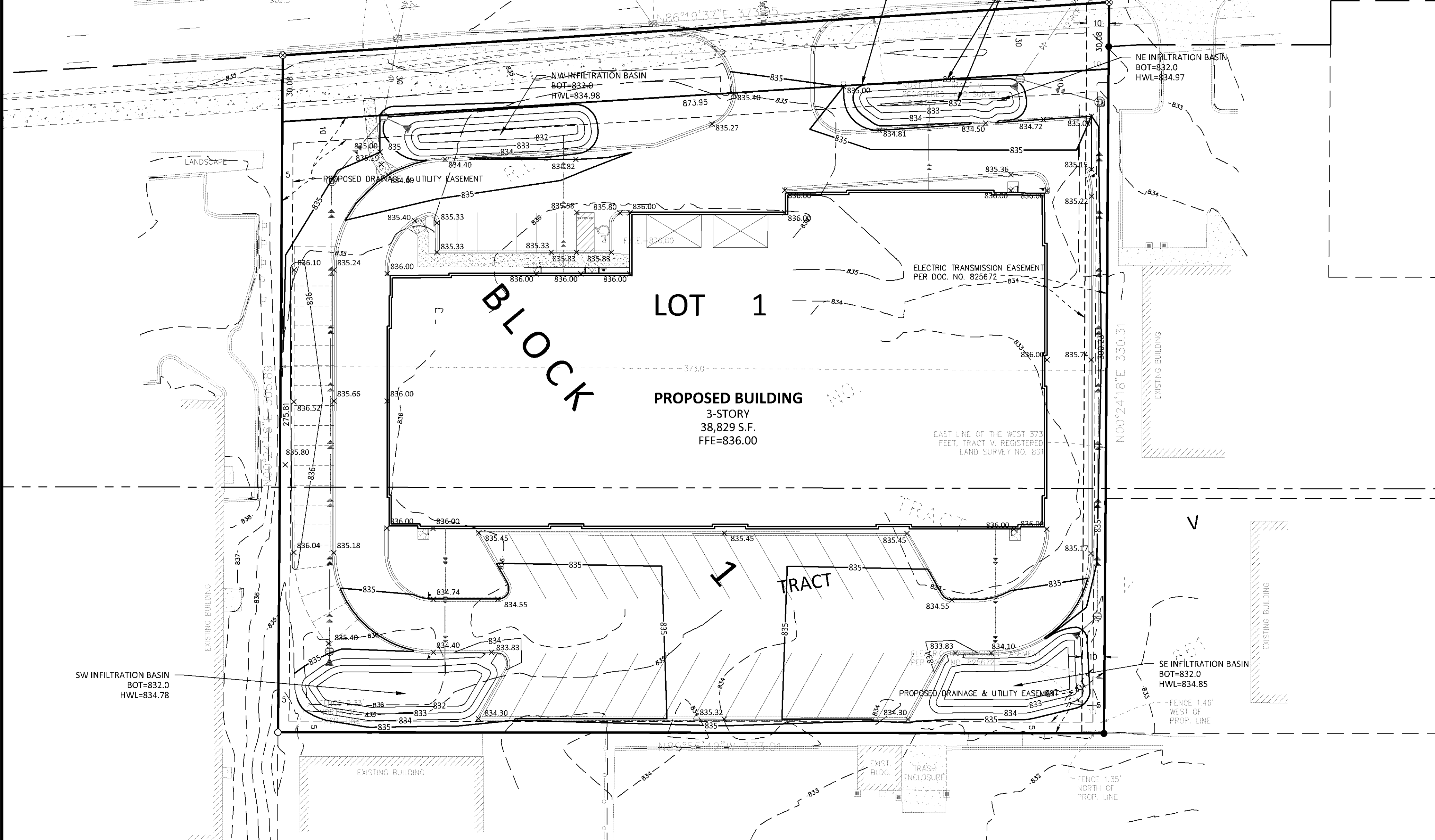
THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CONTACTING THE NOTIFICATION CENTER (OPERATED BY THE STATE OF MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR OR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, DEPTH AND IF THE UTILITY IS ACTIVE. NO WORK SHALL BE DONE UNTIL APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

LEGEND

Table with 2 columns: PROPOSED and EXISTING. Rows include: PROPERTY LIMIT CURB & GUTTER, STORM SEWER, DRAINILE, BUILDING, RETAINING WALL, WETLAND LIMITS, TREELINE, SPOT ELEVATION, CONTOUR, RIP RAP, OVERFLOW ELEV., SOIL BORINGS.



INFILTRATION BASIN CONSTRUCTION NOTES

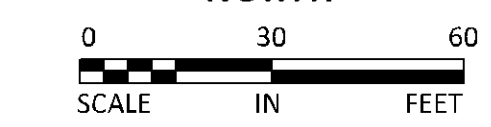
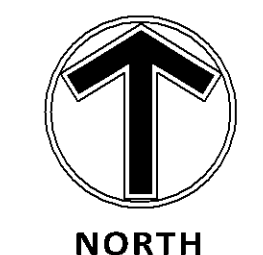
- 1. INFILTRATION BASIN CONSTRUCTION REQUIREMENTS: (INCLUDES ALL DEVICES USING FILTRATION THROUGH A SOIL MEDIUM TO CAPTURE STORM WATER RUNOFF BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, BIOPOLYMER FILTRATION, RAINWATER GARDENS, SAND FILTERS, ORGANIC FILTERS, BIORETENTION AREAS, ENHANCED SWALES, DRY STORAGE Ponds WITH UNDERDRAIN DISCHARGE, AND NATURAL DEPRESSIONS (IF USED TO PROVIDE STORMWATER TREATMENT OF NEW IMPERVIOUS SURFACE))
1.a. THE INFILTRATION BASIN SHALL BE EXCAVATED TO NO LOWER THAN 2.0 FEET ABOVE FINISHED GRADE DURING CONSTRUCTION WITH THE EXCEPTION OF INSTALLING THE INLET FLARED END SECTION (IF APPLICABLE).
1.b. HEAVY EQUIPMENT SHALL NOT TRAVEL WITHIN THE INFILTRATION BASIN AREA.
1.c. INFILTRATION BASIN SHALL BE PROTECTED BY SILT FENCE DURING ALL CONSTRUCTION ACTIVITIES.
1.d. ALL FLARED END SECTION INLETS AND CATCH BASIN MANHOLE INLETS SHALL HAVE INLET EROSION CONTROL PROTECTION IN PLACE UNTIL FINAL STABILIZATION HAS OCCURRED.
1.e. ABOVE THE INFILTRATION BASIN OUTLET ELEVATION, INCLUDING THE BEERM AND DISTURBED AREAS, A MINIMUM OF 4" DEPTH OF TOPSOIL MATERIAL SHALL BE PLACED TO THE FINISHED GRADE ELEVATION.
2. PERFORMANCE TESTING OF INFILTRATION BASINS: TO BE CONDUCTED IF DESIGN INFILTRATION RATE WAS VERIFIED ACCORDING TO ASTM D-3885-03 "STANDARD TEST METHOD FOR INFILTRATION RATE OF SOILS IN FIELD USING DOUBLE-RING INFILTROMETER".
2.a. A MINIMUM OF TWO INFILTRATION TESTS SHALL BE COMPLETED FOR EACH INFILTRATION BASIN (0.5 ACRE FLOOR AREA OR LESS).
2.b. TWO ADDITIONAL TESTS WILL BE REQUIRED FOR EACH 0.5 ACRE OF INFILTRATION BASIN FLOOR AREA.
2.c. TEST PROCEDURE WILL FOLLOW ASTM D-3885-09 "STANDARD TEST METHOD FOR INFILTRATION RATE OF SOILS IN FIELD USING DOUBLE-RING INFILTROMETER".
2.d. TEST WILL BE CONDUCTED AT THE FINISHED BASIN FLOOR ELEVATION.
2.e. TEST WILL BE FOR A PERIOD AS OUTLINED IN ASTM D-3885-09.
2.f. THE TEST RESULTS WILL BE AVERAGED TO OBTAIN THE INFILTRATION RATE USED FOR ACCEPTANCE.
2.g. THE LOWEST MEASURED INFILTRATION RATE SHALL EXCEED THE DESIGN INFILTRATION RATE OF 0.45 INCHES/HOUR.
2.h. THE AVERAGE OF THE MEASURED INFILTRATION RATES MUST MEET OR EXCEED THE DESIGN RATE OF 0.45 INCHES/HOUR DIVIDED BY THE CORRECTION FACTOR USED IN CALCULATING THE DESIGN RATE AS NOTED IN TABLE 12.10.F.8 FROM THE LATEST EDITION OF THE MINNESOTA STORMWATER MANUAL.
3. SEED APPLICATION PROCEDURE: MIXTURE APPLICATION PROCEDURES SHALL FOLLOW (MN/DOT) SPECIFICATION 2575.3. SEED SHALL BE SECURED BY USE OF HYDRO MULCH, OR SECURED BY (MN/DOT) SPECIFICATION 3885 CATEGORY 1 OR CATEGORY 3 EROSION BLANKET.
3.a. CONTRACTOR SHALL RESEED OR REPLANT ANY AREAS ON WHICH THE ORIGINAL SEED HAS FAILED TO GERMINATE AS DIRECTED BY THE OWNER'S ENGINEER.
3.b. IF ALTERNATIVE METHODS OF INFILTRATION BASIN CONSTRUCTION ARE PROPOSED BY THE CONTRACTOR, THOSE ALTERNATIVE METHODS WILL REQUIRE WRITTEN APPROVAL BY THE OWNER'S ENGINEER.
3.c. COSTS FOR REMOBILIZATION (IF REQUIRED) TO COMPLETE INFILTRATION BASIN CONSTRUCTION WILL BE CONDUCTED AT THE CONTRACTOR'S EXPENSE.

GRADING NOTES

- 1. PROPOSED CONTOURS ARE TO FINISHED SURFACE ELEVATION. SPOT ELEVATIONS ALONG PROPOSED CURB DENOTE GUTTER GRADE.
2. CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB.
3. ALL GRADIENT ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE OF 2.08% (1:48). MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL BE IN 2.08% (1:48). CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT. COORDINATE ALL WORK WITH PAVING CONTRACTOR.
4. CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
5. SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
6. CONTRACTOR SHALL COMPLETE THE SITE GRADING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE OWNER'S SOILS ENGINEER. ALL SOIL TESTING SHALL BE COMPLETED BY THE OWNER'S SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOIL TESTS AND INSPECTIONS WITH THE SOILS ENGINEER.
A GEOTECHNICAL ENGINEERING SOILS REPORT HAS BEEN COMPLETED BY:
COMPANY: PROFESSIONAL SERVICE INDUSTRIES, INC.
ADDRESS: 2915 WATERS ROAD, SUITE 112 EAGAN, MN 55121
PHONE: 651-646-8148
DATED: NOVEMBER 28, 2017
CONTRACTOR SHALL OBTAIN A COPY OF THE SOILS REPORT.
7. CONTRACTOR SHALL COMPLETE DEWATERING AS REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION.
8. PRIOR TO PLACEMENT OF THE AGGREGATE BASE, A TEST ROLL SHALL BE PERFORMED ON THE STREET AND PARKING AREA SUBGRADE. CONTRACTOR SHALL PROVIDE A LOADED TANDDEM AXLE TRUCK WITH A GROSS WEIGHT OF 25 TONS. THE TEST ROLLING SHALL BE AT THE DIRECTION OF THE SOILS ENGINEER AND SHALL BE COMPLETED IN AREAS AS DIRECTED BY THE SOILS ENGINEER. CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER.
9. REPLACE ALL SUBGRADE SOIL DISTURBED DURING THE CONSTRUCTION THAT HAVE BECOME UNSUITABLE AND WILL NOT PASS A TEST ROLL. REMOVE UNSUITABLE SOIL FROM THE SITE AND IMPORT SUITABLE SOIL AT NO ADDITIONAL COST TO THE OWNER.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
11. EXISTING TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN TO THE CONTRACTOR'S OPERATIONS AND SHALL BE A RESTRICTED AREA. CONTRACTOR SHALL PROTECT TREES TO REMAIN AT ALL TIMES. EQUIPMENT SHALL NOT NEEDLESSLY BE OPERATED UNDER NEARBY TREES AND EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, CONTRACTOR SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREES PRIOR TO THE BEGINNING OF OPERATION. SHOULD CONTRACTOR'S OPERATIONS RESULT IN THE BREAKING OF ANY LIMBS, THE BROKEN LIMBS SHOULD BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER. COSTS FOR TRIMMING SERVICES SHALL BE CONSIDERED INCIDENTAL TO THE GRADING CONSTRUCTION AND NO SPECIAL PAYMENT WILL BE MADE.
12. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE. CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS. CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES. RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
13. TRENCH BORROW CONSTRUCTION: IF ALLOWED BY THE OWNER, CONTRACTOR SHALL COMPLETE "TRENCH BORROW" EXCAVATION IN AREAS DIRECTED BY THE ENGINEER IN ORDER TO OBTAIN STRUCTURAL MATERIAL. TREES SHALL NOT BE REMOVED OR DAMAGED AS A RESULT OF THE EXCAVATION, UNLESS APPROVED BY THE ENGINEER. THE EXCAVATION SHALL COMMENCE A MINIMUM OF 10 FEET FROM THE LIMIT OF THE BUILDING PAD. THE EXCAVATION FROM THIS LIMIT SHALL EXTEND AT A MINIMUM SLOPE OF 1 FOOT HORIZONTAL TO 1 FOOT VERTICAL (1:1) DOWNWARD AND OUTWARD FROM THE FINISHED SURFACE GRADE ELEVATION. THE TRENCH BORROW EXCAVATION SHALL BE BACKFILLED TO THE PROPOSED FINISHED GRADE ELEVATION, AND SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE QUALITY COMPACT METHOD AS OUTLINED IN MN/DOT SPECIFICATION 2105.3F2. SNOW FENCE SHALL BE FURNISHED AND PLACED ALONG THE PERIMETER OF THE TRENCH BORROW AREA WHERE THE SLOPES EXCEED 2 FOOT HORIZONTAL TO 1 FOOT VERTICAL (2:1).
14. FINISHED GRADING SHALL BE COMPLETED, CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCES, WITH UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE FINISHED ARE SHOWN, OR BETWEEN SUCH POINTS AND EXISTING GRADES. AREAS THAT HAVE BEEN FINISHED GRADED SHALL BE PROTECTED FROM SUBSEQUENT CONSTRUCTION OPERATIONS, TRAFFIC AND EROSION. REPAIR ALL AREAS THAT HAVE BECOME RUTTED, ERODED OR HAS SETTLED BELOW THE CORRECT GRADE. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO EQUAL OR BETTER THAN ORIGINAL CONDITION OR TO THE REQUIREMENTS OF THE NEW WORK.
15. TOLERANCES
15.a. THE RESIDENTIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
15.b. THE COMMERCIAL BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.10 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
15.c. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
15.d. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0.30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
15.e. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.
16. AFTER THE SITE GRADING IS COMPLETED, IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR, OR IMPORT SUITABLE MATERIAL TO THE SITE.
17. CONTRACTOR SHALL DETERMINE THE LOCATION OF ANY HAUL ROADS THAT MAY BE REQUIRED TO COMPLETE THE SITE GRADING CONSTRUCTION AND SHALL INDICATE HAUL ROADS ON EROSION AND SEDIMENT CONTROL "SITE MAP". CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITY OF EACH ROADWAY. CONTRACTOR SHALL POST WHATEVER SECURITY, AND COMPLY WITH ALL CONDITIONS WHICH ARE REQUIRED BY EACH GOVERNING AUTHORITY OF EACH ROADWAY.
18. FILL PLACED WITHIN THE BUILDING PAD AREAS SHALL BE IN CONFORMANCE WITH HUD/FHA PROCEDURES AND DATA SHEET 79G.
19. RETAINING WALL(S) SHALL BE CONSTRUCTED OF (MODULAR BLOCK, TREATED TIMBER, BOULDER, ETC.) MATERIAL. CONTRACTOR SHALL SUBMIT TO THE ENGINEER AND LOCAL AUTHORITY CERTIFIED ENGINEERING DRAWINGS, DESIGN CALCULATIONS AND SOIL BORINGS. THE CERTIFIED ENGINEER FOR THE RETAINING WALL(S) SHALL PROVIDE CONSTRUCTION OBSERVATIONS OF THE RETAINING WALL IMPROVEMENT, AND A LETTER CERTIFYING THE INSTALLATION OF THE WALL(S) WAS CONSTRUCTED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS.

INFILTRATION BASIN CONSTRUCTION NOTES

- 1. INFILTRATION BASIN CONSTRUCTION REQUIREMENTS: (INCLUDES ALL DEVICES USING FILTRATION THROUGH A SOIL MEDIUM TO CAPTURE STORM WATER RUNOFF BUT ARE NOT LIMITED TO: INFILTRATION BASINS, INFILTRATION TRENCHES, BIOPOLYMER FILTRATION, RAINWATER GARDENS, SAND FILTERS, ORGANIC FILTERS, BIORETENTION AREAS, ENHANCED SWALES, DRY STORAGE Ponds WITH UNDERDRAIN DISCHARGE, AND NATURAL DEPRESSIONS (IF USED TO PROVIDE STORMWATER TREATMENT OF NEW IMPERVIOUS SURFACE))
1.a. THE INFILTRATION BASIN SHALL BE EXCAVATED TO NO LOWER THAN 2.0 FEET ABOVE FINISHED GRADE DURING CONSTRUCTION WITH THE EXCEPTION OF INSTALLING THE INLET FLARED END SECTION (IF APPLICABLE).
1.b. HEAVY EQUIPMENT SHALL NOT TRAVEL WITHIN THE INFILTRATION BASIN AREA.
1.c. INFILTRATION BASIN SHALL BE PROTECTED BY SILT FENCE DURING ALL CONSTRUCTION ACTIVITIES.
1.d. ALL FLARED END SECTION INLETS AND CATCH BASIN MANHOLE INLETS SHALL HAVE INLET EROSION CONTROL PROTECTION IN PLACE UNTIL FINAL STABILIZATION HAS OCCURRED.
1.e. ABOVE THE INFILTRATION BASIN OUTLET ELEVATION, INCLUDING THE BEERM AND DISTURBED AREAS, A MINIMUM OF 4" DEPTH OF TOPSOIL MATERIAL SHALL BE PLACED TO THE FINISHED GRADE ELEVATION.
2. PERFORMANCE TESTING OF INFILTRATION BASINS: TO BE CONDUCTED IF DESIGN INFILTRATION RATE WAS VERIFIED ACCORDING TO ASTM D-3885-03 "STANDARD TEST METHOD FOR INFILTRATION RATE OF SOILS IN FIELD USING DOUBLE-RING INFILTROMETER".
2.a. A MINIMUM OF TWO INFILTRATION TESTS SHALL BE COMPLETED FOR EACH INFILTRATION BASIN (0.5 ACRE FLOOR AREA OR LESS).
2.b. TWO ADDITIONAL TESTS WILL BE REQUIRED FOR EACH 0.5 ACRE OF INFILTRATION BASIN FLOOR AREA.
2.c. TEST PROCEDURE WILL FOLLOW ASTM D-3885-09 "STANDARD TEST METHOD FOR INFILTRATION RATE OF SOILS IN FIELD USING DOUBLE-RING INFILTROMETER".
2.d. TEST WILL BE CONDUCTED AT THE FINISHED BASIN FLOOR ELEVATION.
2.e. TEST WILL BE FOR A PERIOD AS OUTLINED IN ASTM D-3885-09.
2.f. THE TEST RESULTS WILL BE AVERAGED TO OBTAIN THE INFILTRATION RATE USED FOR ACCEPTANCE.
2.g. THE LOWEST MEASURED INFILTRATION RATE SHALL EXCEED THE DESIGN INFILTRATION RATE OF 0.45 INCHES/HOUR.
2.h. THE AVERAGE OF THE MEASURED INFILTRATION RATES MUST MEET OR EXCEED THE DESIGN RATE OF 0.45 INCHES/HOUR DIVIDED BY THE CORRECTION FACTOR USED IN CALCULATING THE DESIGN RATE AS NOTED IN TABLE 12.10.F.8 FROM THE LATEST EDITION OF THE MINNESOTA STORMWATER MANUAL.
3. SEED APPLICATION PROCEDURE: MIXTURE APPLICATION PROCEDURES SHALL FOLLOW (MN/DOT) SPECIFICATION 2575.3. SEED SHALL BE SECURED BY USE OF HYDRO MULCH, OR SECURED BY (MN/DOT) SPECIFICATION 3885 CATEGORY 1 OR CATEGORY 3 EROSION BLANKET.
3.a. CONTRACTOR SHALL RESEED OR REPLANT ANY AREAS ON WHICH THE ORIGINAL SEED HAS FAILED TO GERMINATE AS DIRECTED BY THE OWNER'S ENGINEER.
3.b. IF ALTERNATIVE METHODS OF INFILTRATION BASIN CONSTRUCTION ARE PROPOSED BY THE CONTRACTOR, THOSE ALTERNATIVE METHODS WILL REQUIRE WRITTEN APPROVAL BY THE OWNER'S ENGINEER.
3.c. COSTS FOR REMOBILIZATION (IF REQUIRED) TO COMPLETE INFILTRATION BASIN CONSTRUCTION WILL BE CONDUCTED AT THE CONTRACTOR'S EXPENSE.



Sambatek www.sambatek.com
12800 Whitewater Drive, Suite 300
Minnetonka, MN 55348
763.476.6010 telephone
763.476.8532 facsimile

Client
CASCADE STORAGE PARTNERS, LLC.
700 E. MOOREHEAD ST., SUITE 100B
CHARLOTTE, NC 28202

Project
AMERICAN BOULEVARD STORAGE

Location
BLOOMINGTON, MN
101 AMERICAN BLVD W

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Brady D. Busselman
Registration No. 44579 Date: 12/01/2017

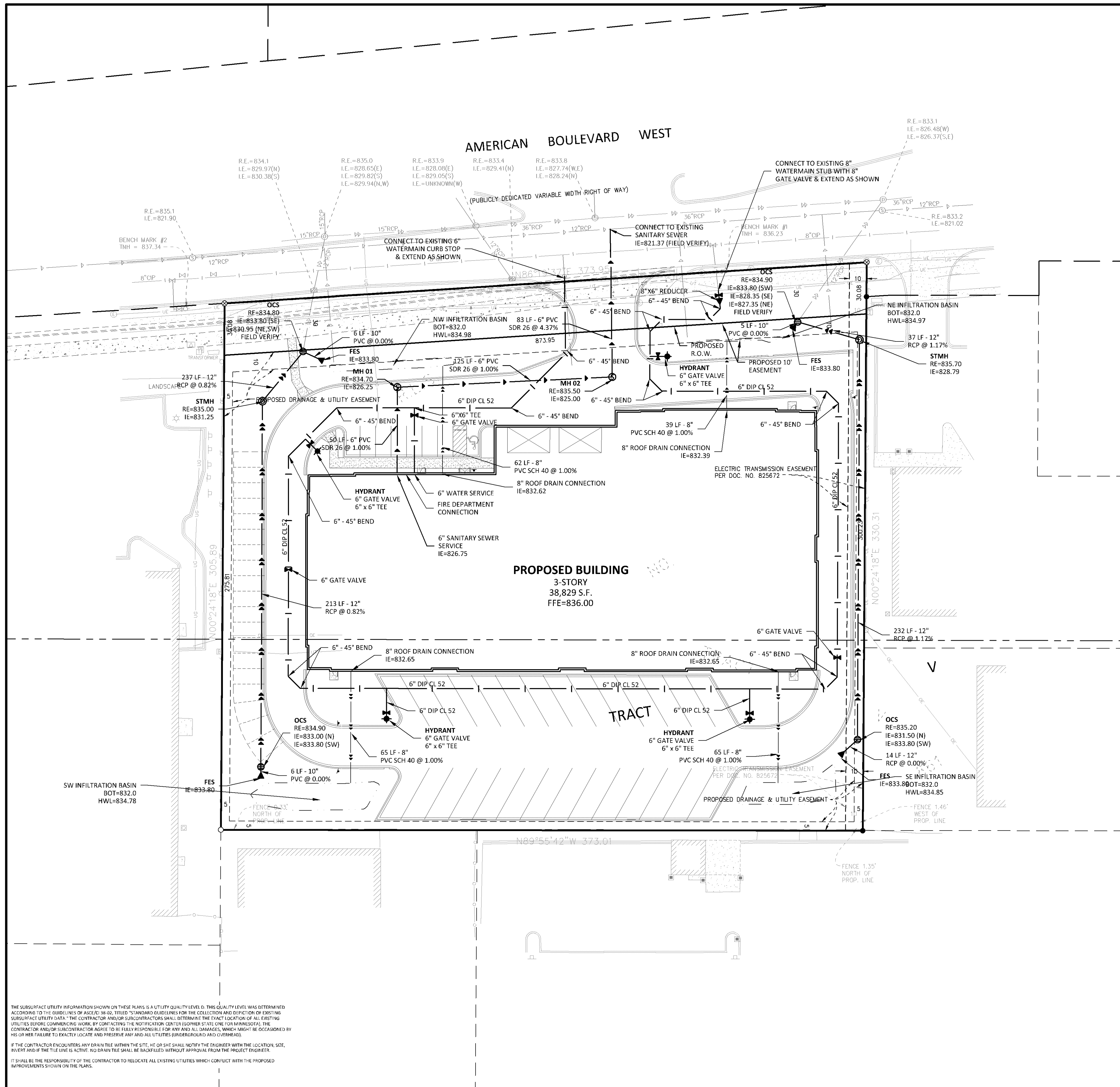
Summary
Designed: bdb Drawn: jeb
Approved: bdb Book / Page:
Phase: PRELIMINARY Initial Issue: 12/01/2017

Revision History
No. Date By Submittal / Revision

Sheet Title
GRADING PLAN

Sheet No. Revision
C4.01

Project No. 21012



LEGEND

	PROPOSED	EXISTING	FUTURE AMERICAN BLVD IMPROVEMENTS
CURB & GUTTER			
STORM SEWER			
SANITARY SEWER			
FORCEMAIN (SAN.)			
WATERMAIN			
EASEMENT			
DRAIN TILE			
GAS LINE			
ELECTRIC			
TELEPHONE			

- UTILITY CONSTRUCTION NOTES**
- THE UTILITY IMPROVEMENTS FOR THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "STANDARD UTILITIES SPECIFICATIONS" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), EXCEPT AS MODIFIED HEREIN. CONTRACTOR SHALL OBTAIN A COPY OF THESE SPECIFICATIONS.
 - ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY REQUIREMENTS.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP WATERMAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE THE LIABILITY OF CONTRACTOR.
 - A MINIMUM VERTICAL SEPARATION OF 18 INCHES AND HORIZONTAL SEPARATION OF 10-FEET BETWEEN OUTSIDE PIPE DIAMETERS IS REQUIRED AT ALL WATERMAIN AND SEWER MAIN (BUILDING, STORM AND SANITARY) CROSSINGS.
 - ALL MATERIALS SHALL BE AS SPECIFIED IN CEAM SPECIFICATIONS EXCEPT AS MODIFIED HEREIN.
 - ALL SANITARY SEWER TO BE PVC SDR-26, UNLESS NOTED OTHERWISE.
 - ALL SANITARY SEWER SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - ALL WATERMAIN TO BE DUCTILE IRON - CLASS 52 WITH 8 MIL POLY WRAP, UNLESS NOTED OTHERWISE.
 - ALL WATERMAIN TO HAVE 8 TO 10-FEET OF COVER OVER TOP OF WATERMAIN.
 - PROVIDE THRUST BLOCKING AND MECHANICAL JOINT RESTRAINTS ON ALL WATERMAIN JOINTS PER CITY STANDARDS.
 - ALL STORM SEWER PIPE FOR ROOF DRAIN SERVICES TO BUILDING SHALL BE PVC SCH 40 CONFORMING TO ASTM D2665.
 - RIP RAP SHALL BE Mn/DOT CLASS 3.
 - COORDINATE ALL BUILDING SERVICE CONNECTION LOCATIONS AND INVERT ELEVATIONS WITH MECHANICAL CONTRACTOR PRIOR TO CONSTRUCTION.
 - ALL BUILDING SERVICE CONNECTIONS (STORM, SANITARY, WATER) WITH FIVE FEET OR LESS COVER ARE TO BE INSULATED FROM BUILDING TO POINT WHERE 5- FEET OF COVER IS ACHIEVED.
 - CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 - SAFETY NOTICE TO CONTRACTORS: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER OR THE DEVELOPER TO CONDUCT CONSTRUCTION REVIEW OF CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF CONTRACTOR'S SAFETY MEASURES IN, ON OR NEAR THE CONSTRUCTION SITE.
 - ALL AREAS OUTSIDE THE PROPERTY BOUNDARIES THAT ARE DISTURBED BY UTILITY CONSTRUCTION SHALL BE RESTORED IN KIND. SODDED AREAS SHALL BE RESTORED WITH 6 INCHES OF TOPSOIL PLACED BENEATH THE SOD.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS.
 - ALL SOILS TESTING SHALL BE COMPLETED BY AN INDEPENDENT SOILS ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE SOILS ENGINEER. THE UTILITY BACKFILL CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE SOILS ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND SOIL INSPECTIONS WITH THE SOILS ENGINEER.

A GEOTECHNICAL ENGINEERING REPORT HAS BEEN COMPLETED BY:

COMPANY: PROFESSIONAL SERVICE INDUSTRIES, INC.
ADDRESS: 2915 WATERS ROAD, SUITE 112 EAGAN, MN 55121
PHONE: 651-646-8148
DATED: NOVEMBER 28, 2017

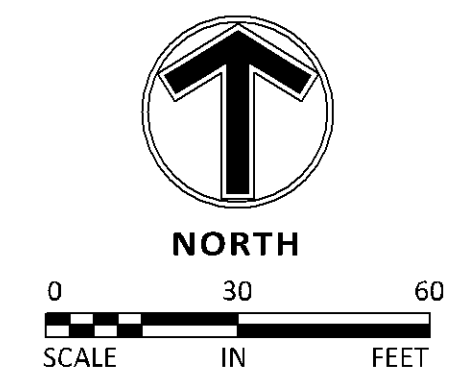
CONTRACTOR SHALL OBTAIN A COPY OF THIS SOILS REPORT.

 - CONTRACTOR SHALL SUBMIT 2 COPIES OF SHOP DRAWINGS FOR MANHOLE AND CATCH BASIN STRUCTURES TO SAMBATEK. CONTRACTOR SHALL ALLOW 5 WORKING DAYS FOR SHOP DRAWING REVIEW.
 - CONTRACTOR AND MATERIAL SUPPLIER SHALL DETERMINE THE MINIMUM DIAMETER REQUIRED FOR EACH STORM SEWER STRUCTURE.
 - TAPS OF LIVE WATER MAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
 - UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.

THE SUBSURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF ASCE/CI 38-02, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA." THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK BY CONTACTING THE NOTIFICATION CENTER (OPERATED BY THE CITY OF MINNESOTA). THE CONTRACTOR AND/OR SUBCONTRACTOR AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES, WHICH MIGHT BE OCCASIONED BY HIS OR HER FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE LOCATION, SIZE, INVERT AND IF THE TILE LINE IS ACTIVE. NO DRAIN TILE SHALL BE SHAKED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Sambatek
www.sambatek.com

12800 Whitewater Drive, Suite 300
Minnetonka, MN 55343

763.476.6010 telephone
763.476.8532 facsimile

Engineering | Surveying | Planning | Environmental

Client
CASCADE STORAGE PARTNERS, LLC.
700 E. MOOREHEAD ST., SUITE 100B
CHARLOTTE, NC 28202

Project
AMERICAN BOULEVARD STORAGE

Location
BLOOMINGTON, MN
101 AMERICAN BLVD W

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Brady D. Busselman
Registration No. 44579 Date: 12/01/2017

If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Designed: BDB Drawn: JEB
Approved: BDB Book / Page:
Phase: PRELIMINARY Initial Issue: 12/01/2017

Revision History
No. Date By Submittal / Revision

Sheet Title
UTILITY PLAN

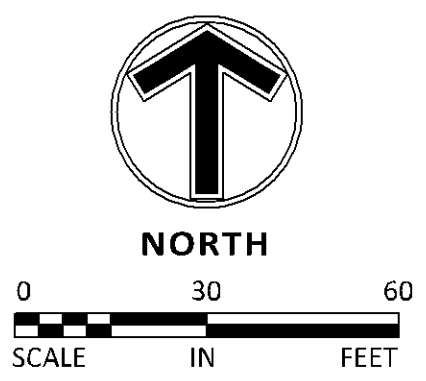
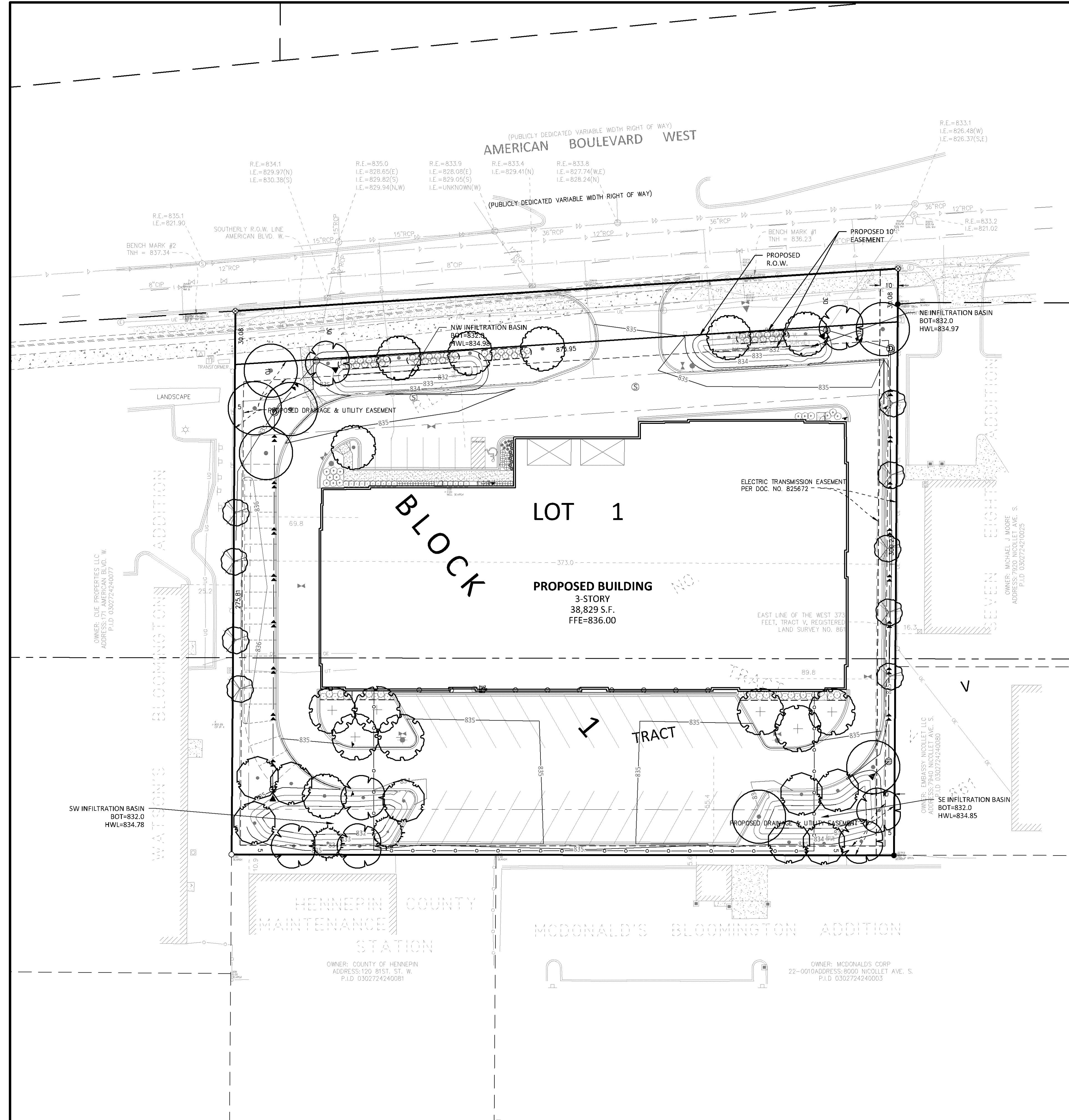
Sheet No. Revision
C6.01

Project No. 21012

PLANT SCHEDULE							
TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY	
	SG	Acer freemanii 'Sienna Glen' / Sienna Glen Maple	B & B	2.5"Cal		7	
	HB	Celtis occidentalis / Common Hackberry	B & B	2.5"Cal		7	
	HL	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5"Cal		7	
	SO	Quercus bicolor / Swamp White Oak	B & B	2.5"Cal		7	
	BL	Tilia americana 'Boulevard' / Boulevard Linden	B & B	2.5"Cal		8	
CONIFERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY	
	NS	Picea abies / Norway Spruce	B & B		6'	2	
ORN. TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY	
	SB	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	2"Cal		9	
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	H' X W'	QTY		
	CD	Cornus sericea 'Alleman's Compact' / Dwarf Red Twig Dogwood	5 gal		14		
	BH	Diervilla lonicera / Dwarf Bush Honeysuckle	5 gal		19		
	LH	Hydrangea paniculata 'Jane' / Little Lime Hydrangea	5 gal		15		
	AJ	Juniperus horizontalis 'Compacta' / Andorra Compact Juniper	5 gal		44		
	GL	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal		26		
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	H' X W'	QTY		
	KFG	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal		9		
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	H' X W'	QTY		
	BDL	Hemerocallis x 'Baja' / Baja Daylily	1 gal		6		

BLOOMINGTON LANDSCAPE CODE

- SUBMITTED LANDSCAPE PLAN REQUIREMENTS PER PRE-APPLICATION DRC:
- 3' SCREEN TO PARKING
 - 48 TREES AND 119 SHRUBS, 50% OF BUILDING FRONTAGE TO HAVE FOUNDATION PLANTINGS
 - 20' LANDSCAPED YARD ALONG ALL STREET FRONTAGES



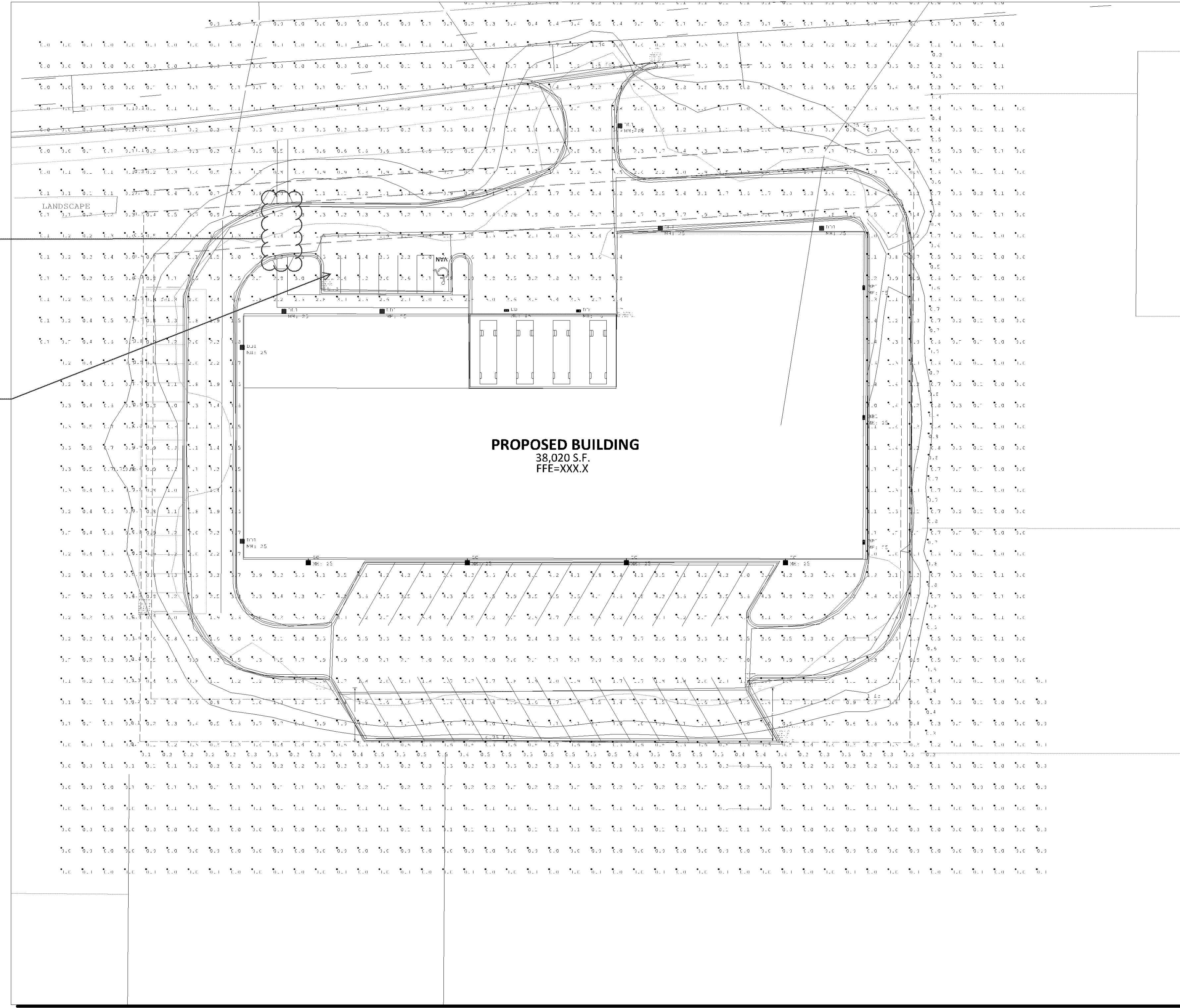
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Watts	Lum. Lumens
	4	CC	SINGLE	0.810	MCGRAW GLEON-AF-04-LED-E1-T4FT-BZ @ 25FT	225	24156
	7	DD1	SINGLE	0.810	MCGRAW GWC-AF-02-LED-E1-T4FT-BZ ON POLE @ 20FT	113	12497
	3	BB1	SINGLE	0.810	MCGRAW GWC-AF-01-LED-E1-T2-600-BZ @ 25FT	34	4110
	2	DD	SINGLE	0.810	MCGRAW GWC-AF-01-LED-E1-T4FT-BZ @ 16FT OVER GARAGE DOOR	59	6395

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts 1	Illuminance	Fc	0.90	4.9	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.50	0.9	0.1	5.00	9.00
DRIVE LANES	Illuminance	Fc	1.79	4.0	0.0	N.A.	N.A.
MAIN LOT	Illuminance	Fc	2.34	3.0	1.6	1.46	1.88
PROOF OF PARKING	Illuminance	Fc	1.22	2.3	0.8	1.53	2.88
TRUCK PARKING	Illuminance	Fc	2.93	4.9	1.7	1.72	2.88
TRUCK PARKING 25' PERIMETER	Illuminance	Fc	1.29	1.7	1.0	1.29	1.70

An Initial Lighting Plan must also be provided.

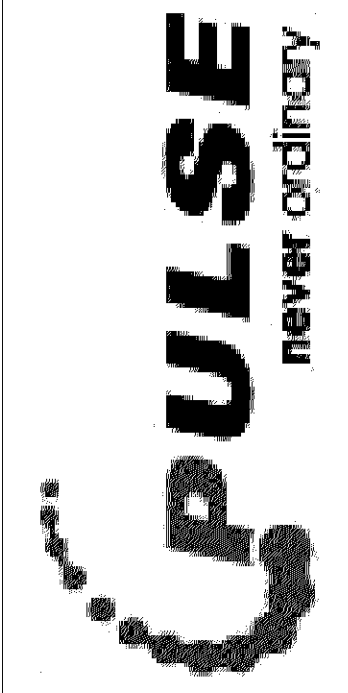
Crosswalk must have a minimum of 3.0 foot-candles.

Please review/model conflicts between lighting and trees on-site. 1.5 foot-candles must be maintained on this parking area.



Plan View
Scale: 1 inch = 30 Ft

GENERAL NOTES:
 A. PULSE PRODUCTS DOES NOT ASSUME RESPONSIBILITY FOR THE INTERPRETATION OF THIS CALCULATION OR COMPLIANCE TO THE LOCAL, STATE, OR FEDERAL LIGHTING CODES OR ORDINANCES.
 B. LIGHTING LAYOUT IS NOT INTENDED FOR CONSTRUCTION DOCUMENTS BUT ONLY TO ILLUSTRATE THE PERFORMANCE OF THE PRODUCT.
 C. ALL READINGS/CALCULATIONS SHOWN ARE SHOWN ON OBJECTS/SURFACES.

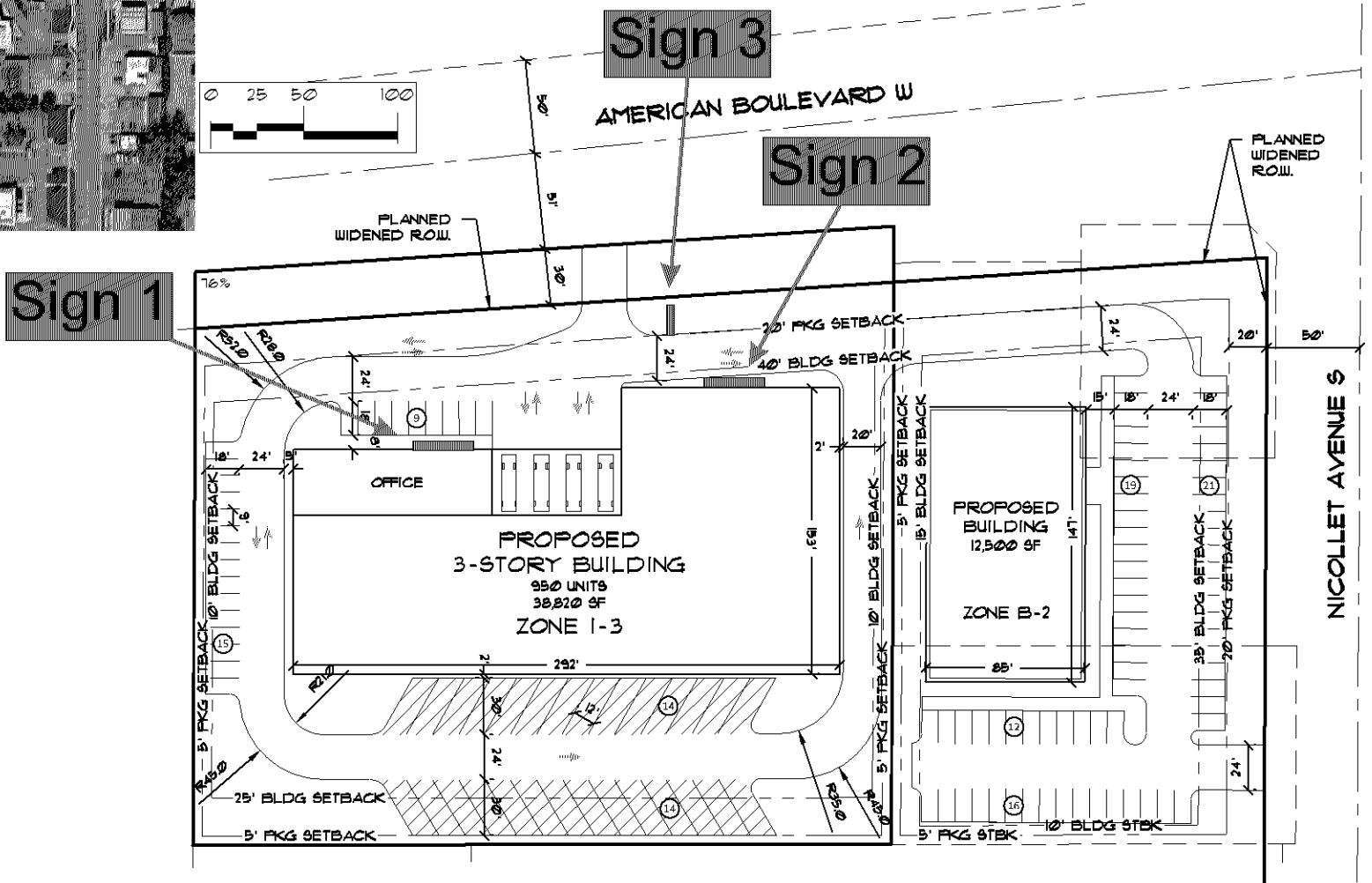
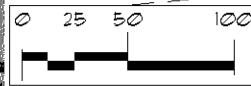


#	Date	Comments

Revisions

Drawn By: Sandy Anderson LC
 Checked By: JILL
 Date: 12/15/2017
 Scale: AS NOTED

AMERICAN BLVD SELF STORAGE - MEAN DD SET
 BLOOMINGTON, MN



This is an original unpublished drawing created by Elro Signs. It is submitted for your personal use in conjunction with a project being planned for you. It is not to be shown to anyone outside your organization nor is it to be used, reproduced, copied or exhibited in any fashion without the express written consent of Elro Signs.



CALIFORNIA
400 West Walnut Street, Gardena, CA 90248
(800) 927-4555 • Fax (310) 380-7451

GEORGIA
1640 Sands Place SE Suite A / Marietta, GA 30067
Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS		
NO.	DESCRIPTION OF WORK DONE	DATE

Client Extra Spaces Storage
 Address 101 American Blvd W., Bloomington, MN
 Design No. #25847
 Scale AS NOTED
 Drawn By KS
 Approved By _____

Store No. _____
 Sheet 1 of 5
 Date 12/05/2017
 Date _____

Sign 1 - Wall Sign - North Elevation

ALL MEASUREMENTS TO BE VERIFIED





New Channel letters on Raceway

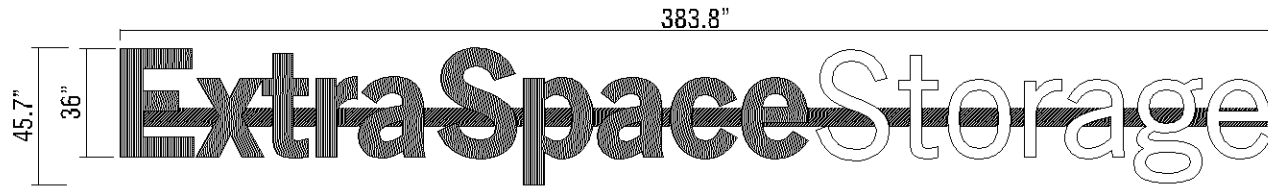
- Install (1) NEW LED illuminated channel letters with faces to match company branding
- Raceways to match wall color

Code: 743 sf aggregate

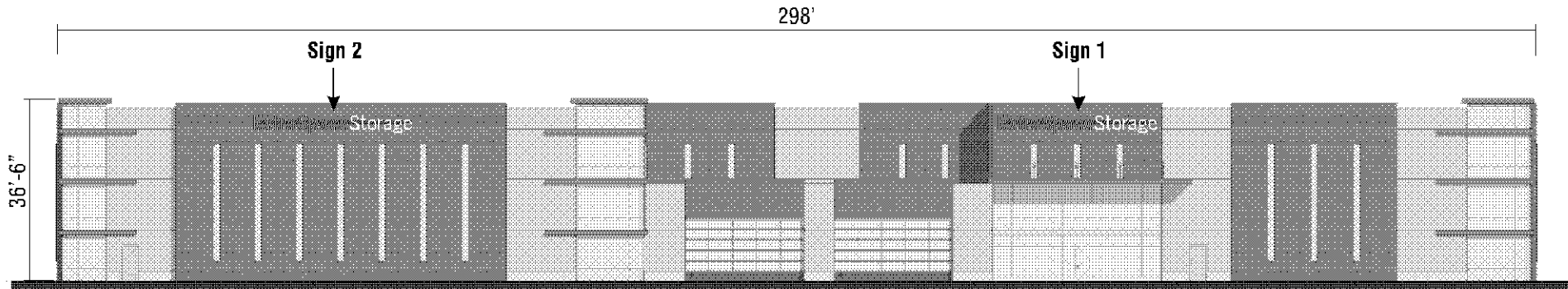
Sq.Ft. = 121.8

COLOR SPECIFICATIONS:

-  #2500-106 BRILLIANT
-  METALLIC SILVER TRIMCAP
-  PMS BLACK
-  WHITE



SCALE: 3/32" = 1'



A1 NORTH EXTERIOR ELEVATION
SCALE: 1/32" = 1'

This is an original unpublished drawing created by Elro Signs. It is submitted for your personal use in conjunction with a project being planned for you. It is not to be shown to anyone outside your organization nor is it to be used, reproduced, copied or exhibited in any fashion without the express written consent of Elro Signs.



CALIFORNIA
400 West Walnut Street, Gardena, CA 90248
(800) 927-4555 • Fax (310) 380-7451

GEORGIA
1640 Sands Place SE Suite A / Marietta, GA 30067
Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS		
NO.	DESCRIPTION OF WORK DONE	DATE

Client Extra Spaces Storage
 Address 101 American Blvd W., Bloomington, MN
 Design No. #25847 Store No. _____
 Scale AS NOTED Sheet 2 of 5
 Drawn By KS Date 12/05/2017
 Approved By _____ Date _____

Sign 2 - Wall Sign - North Elevation

ALL MEASUREMENTS TO BE VERIFIED





New Channel letters on Raceway

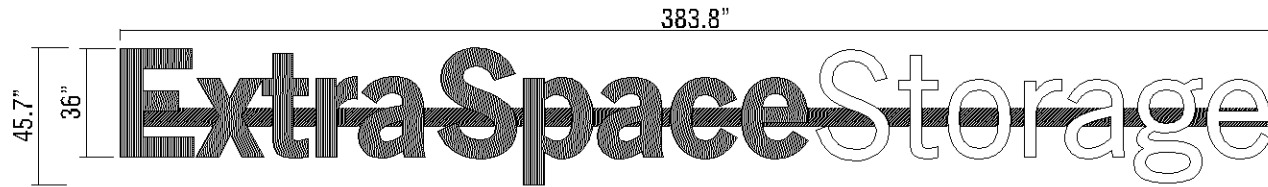
- Install (1) NEW LED Illuminated channel letters with faces to match company branding
- Raceways to match wall color

Code: 743 sf aggregate

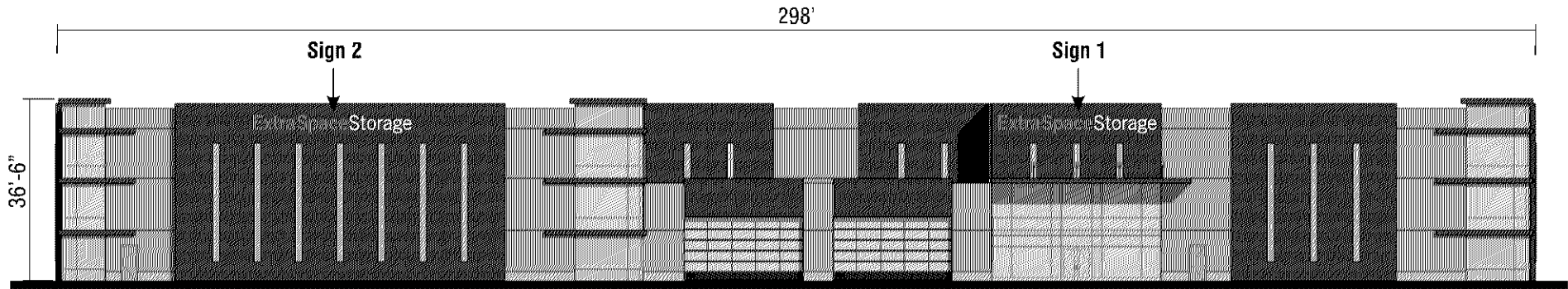
Sq.Ft.=121.8

COLOR SPECIFICATIONS:

-  #2500-106 BRILLIANT
-  METALLIC SILVER TRIMCAP
-  PMS BLACK
-  WHITE



SCALE: 3/32" = 1'



A1 NORTH EXTERIOR ELEVATION
SCALE: 1/32" = 1'

This is an original unpublished drawing created by Elro Signs. It is submitted for your personal use in conjunction with a project being planned for you. It is not to be shown to anyone outside your organization nor is it to be used, reproduced, copied or exhibited in any fashion without the express written consent of Elro Signs.



CALIFORNIA
400 West Walnut Street, Gardena, CA 90248
(800) 927-4555 • Fax (310) 380-7451

GEORGIA
1640 Sands Place SE Suite A / Marietta, GA 30067
Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS		
NO.	DESCRIPTION OF WORK DONE	DATE

Client Extra Spaces Storage
 Address 101 American Blvd W., Bloomington, MN
 Design No. #25847 Store No. _____
 Scale AS NOTED Sheet 3 of 5
 Drawn By KS Date 12/05/2017
 Approved By _____ Date _____

Sign 3 - Monument Sign

New Sign Cabinet with aluminum base

White seamless flex faces to match company branding.





Scale: 1/4"=1'

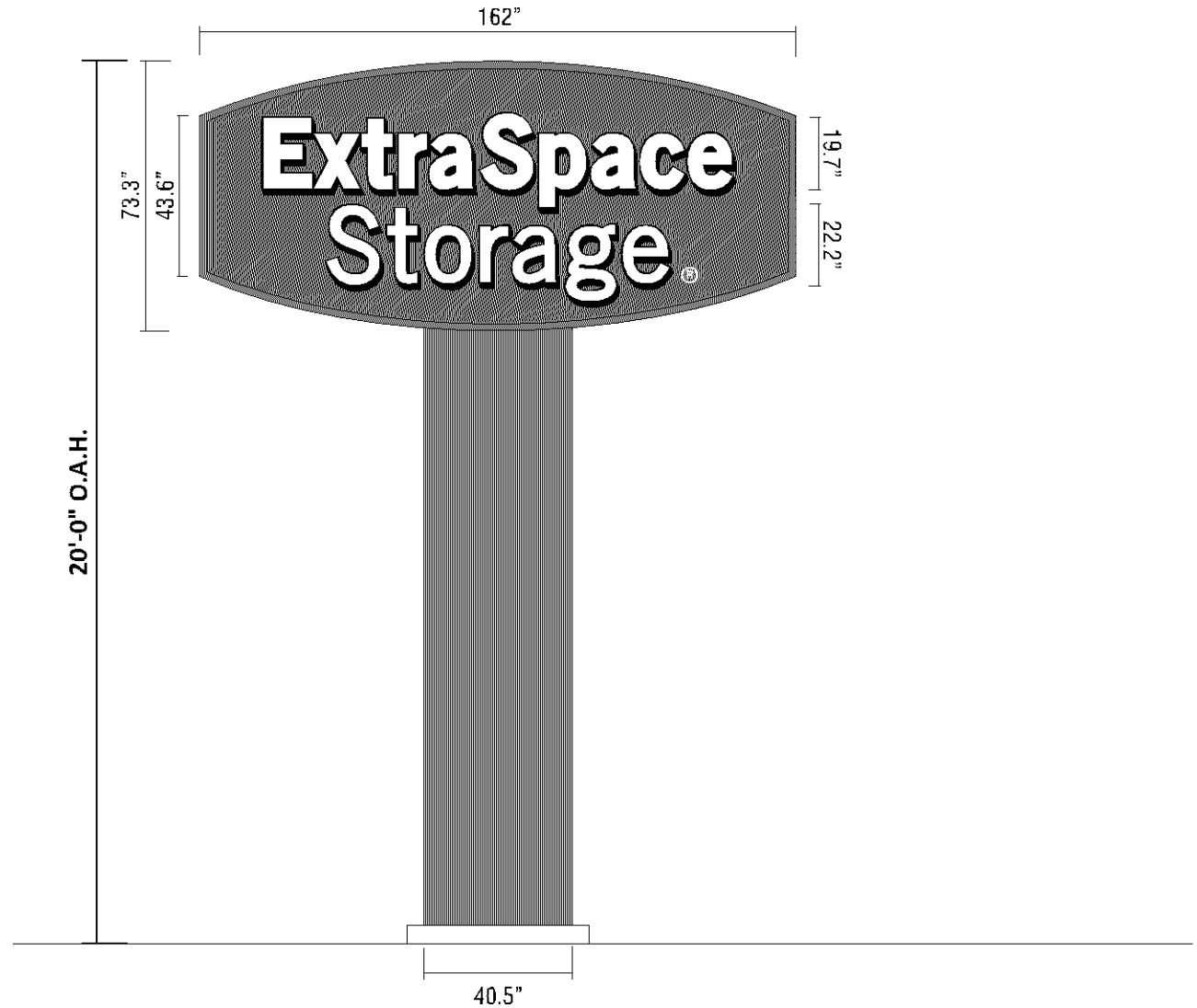
Sq Ft: 80

(Code:100 sq ft / NTE 20' tall)

ALL MEASUREMENTS TO BE VERIFIED

COLOR SPECIFICATIONS:

-  #2500-106 BRILLIANT
-  METALLIC SILVER TRIMCAP
-  PMS BLACK
-  WHITE



This is an original unpublished drawing created by Elro Signs. It is submitted for your personal use in conjunction with a project being planned for you. It is not to be shown to anyone outside your organization nor is it to be used, reproduced, copied or exhibited in any fashion without the express written consent of Elro Signs.



CALIFORNIA
400 West Walnut Street, Gardena, CA 90248
(800) 927-4555 • Fax (310) 380-7451

GEORGIA
1640 Sands Place SE Suite A / Marietta, GA 30067
Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS		
NO.	DESCRIPTION OF WORK DONE	DATE

Client Extra Spaces Storage
 Address 101 American Blvd W., Bloomington, MN
 Design No. #25847 Store No. _____
 Scale AS NOTED Sheet 4 of 5
 Drawn By KS Date 12/05/2017
 Approved By _____ Date _____

PERMIT SUMMARY

City of Bloomington

Zoned (I-3) General Industrial

Roof signs, projecting signs and off-site advertising signs are prohibited.

Wall Signs

The linear measurement of any wall sign shall not exceed (80%) of the linear frontage of the applicable façade of the building.

All wall signs on the multiple elevations of a building must be of the same construction (channel or cabinet).

When a sign is of channel construction, up to (25%) of the total sign surface area installed may be constructed as a cabinet sign for the purpose of presenting a logo or tag line.

Any combination or number of building identification signs may be utilized.

Wall signs are permitted on two elevations of a building, a primary and a secondary elevation.

A building with more than one public street frontage is permitted one primary elevation per street frontage; no secondary elevation signage is allowed if the site has more than one primary elevation utilizing signage.

The sign area allowed on one elevation may not be allocated, in whole or in part, to another elevation.

No wall sign facing the side or rear lot line of an abutting lot zoned as a residential district shall be located within (50) feet of such side or rear lot line.

Primary elevation –

The maximum sign surface area shall be (50) square feet.

If a cabinet sign is used, the sign area shall not exceed (8%) of the area of the elevation, up to a maximum of (100) square feet.

If channel construction is used for all the signs, the maximum area of all signs on the primary elevation shall be:

Elevation Area of Wall		Maximum Allowable Elevation Sign Area			
From (Sq. Ft.)	To (Sq. Ft.)	Basic Allowed Sign Area	Plus	Of Area Over	To a Maximum Area of
0	4,000	0 sq. ft.	10%	0	400 sq. ft.
4,000	20,000	400 sq. ft.	5%	4,000	1,200 sq. ft.
20,000		1,200 sq. ft.	2%	20,000	2,000 sq. ft.

Secondary elevation –

The maximum sign surface area shall be (32) square feet.

If a cabinet sign is used, the sign area shall not exceed (4%) of the area of the elevation, up to a maximum of (50) square feet.

If channel construction is used for all of the signs, the maximum area of all signs on the secondary elevation shall be (10%) of the elevation, up to a maximum of (400) square feet.

The maximum sign surface area for all building identification signs on the additional elevation shall not exceed the signage on the primary or secondary elevations and shall not exceed (30) square feet per tenant sign.

Freestanding Signs

One freestanding identification sign shall be allowed per public street frontage.

On a corner lot, the clear view triangle area is formed by the street ROW lines and the line connecting points (15) feet from the intersection of such street ROW lines extended.

On a lot which has a driveway or is next to a lot which has a driveway, the two clear view triangle areas are formed by the street ROW line, both sides of the surface edge of the driveway, and the line connecting points (15) feet from the intersection of the street ROW line and driveway.

The maximum font setback for all freestanding signs shall be (20) feet from any public street ROW line.

No freestanding sign shall be located closer than (5) feet to a side or rear property line.

There shall be a minimum distance of (100) feet between the leading edge of any illuminated sign and an adjoining residential district boundary.

This is an original unpublished drawing created by Elro Signs. It is submitted for your personal use in conjunction with a project being planned for you. It is not to be shown to anyone outside your organization nor is it to be used, reproduced, copied or exhibited in any fashion without the express written consent of Elro Signs.



CALIFORNIA
400 West Walnut Street, Gardena, CA 90248
(800) 927-4555 • Fax (310) 380-7451

GEORGIA
1640 Sands Place SE Suite A / Marietta, GA 30067
Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS		
NO.	DESCRIPTION OF WORK DONE	DATE

Client Extra Spaces Storage

Address 101 American Blvd W., Bloomington, MN

Design No. #25847 Store No. _____

Scale AS NOTED Sheet 5 of 6

Drawn By KS Date 12/05/2017

Approved By _____ Date _____

PERMIT SUMMARY (continued)

Ground signs shall be no more than (8) feet above final grade, and the maximum sign surface area shall not exceed (100) square feet.
 Monument shall be no more than (20) feet above final grade, and the maximum sign surface area shall not exceed (100) square feet.
 Pylon shall be no more than (20) feet above final grade, and the maximum sign surface area shall not exceed (75) square feet.

Awning Sign

The awning shall have a maximum projection of (4) feet unless a structural permit is obtained.
 The material for the awning shall be flame retardant.
 The sign area for an awning sign shall be located in the lower (40%) of the vertical dimension of the awning.
 The maximum size of an awning sign shall be (8%) of the façade to which to awning is attached, up to a maximum of (100) square feet.
 The linear measurement of any awning shall not exceed (80%) of the linear frontage of the applicable façade of the building.
 Awning signs are counted as wall signs for the computation of allowed signage on a primary or secondary elevation.
 If an awning sign and a wall sign are used on the same wall face, the sign on the awning shall be (8") or less in height and in the lowest section of the awning.
 There shall be a minimum distance of (200) feet between the leading edge of any illuminated awning sign and an adjoining residential district boundary.
 No awning signs shall be allowed above the first floor of the building.

Changeable Copy Signs

The sign face for a sign with changeable copy shall be opaque with reversed letters.

Electronic Changeable Signs

The leading edge of the sign must be a minimum distance of (100) feet from any parcel that is both residentially zoned and residentially used.
 EMC signs must be separated from other EMC signs, electronic graphic displays or video display signs by at least (35) feet.
 When located within (150) feet of a residentially-used lot in a residential zone, all parts of the EMC sign must be oriented so that no portion of the sign face is visible from an existing or permitted principal structure on that lot.

Window Signs

Signs within a retail display window shall occupy a maximum of (25%) of each retail display window.

Directional Signs

The maximum sign surface area shall be (12) square feet with a maximum height of (6) feet above grade and a minimum setback of (20) feet from the public ROW and (5) feet from all other property lines; or
 The maximum sign surface area shall be (6) square feet with a maximum height of (3) feet above grade and a minimum setback of (10) feet from the public ROW and (5) feet from all other property lines.
 Business, project or development identification shall not exceed (25%) of the sign surface area.
 In no instance shall the number of directional signs exceed (2) per acre of total site area.
 If the site is less than one acre, the site shall be allowed (2) directional signs.
 Illumination is permitted.

This is an original unpublished drawing created by Elro Signs. It is submitted for your personal use in conjunction with a project being planned for you. It is not to be shown to anyone outside your organization nor is it to be used, reproduced, copied or exhibited in any fashion without the express written consent of Elro Signs.



CALIFORNIA
 400 West Walnut Street, Gardena, CA 90248
 (800) 927-4555 • Fax (310) 380-7451

GEORGIA
 1640 Sands Place SE Suite A / Marietta, GA 30067
 Toll Free: (877) 367-3576 • Fax (770) 952-4710

REVISIONS		
NO.	DESCRIPTION OF WORK DONE	DATE

Client Extra Spaces Storage
 Address 101 American Blvd W., Bloomington, MN
 Design No. #25847 Store No. _____
 Scale AS NOTED Sheet 6 of 6
 Drawn By KS Date 12/05/2017
 Approved By _____ Date _____