



8786 W. 35W Service Drive NE
Blaine, MN 55449
Phone: (763) 432-7447 / Fax: (763) 208-9159

July 5, 2018

City of Bloomington
1800 West Old Shakopee Road
Bloomington, MN 55431

RE: Uniform Sign Design – Wells Fargo Plaza

Property: Wells Fargo Plaza
7900 Xerxes Avenue South (3400 American Blvd. West)
Bloomington, MN 55431

Owner: G & I VIII WF Plaza LLC
7900 Xerxes Avenue South, Suite 200
Bloomington, MN 55431

Please find the enclosed USD for the Wells Fargo Plaza complex. The property consists of (1) office tower exceeding (7) stories, a plaza building and a freestanding auto-bank structure. This property is regulated under SEC. 19-113 Class IV Sign District CO-1 and SEC. 19-124 Sign for Office Buildings with (7) stories or More Stories.

Page (2) gives a description of existing signs from previous USD submissions along with the square footage of each sign.

Pages (3) and (4) are for new proposed tenant signage for the Tower Building, Directional Signs and general information about new proposed signage.

Existing Freestanding Signs – SEC. 19.113(a) – Class IV Sign District CO-1

M-1 – Multi-tenant monument sign @ the SW corner of the property on Southtown Blvd. and American Blvd West. Tenant ID panels NTE 14.25 sq. ft. Sign is legally non-conforming. Refacing of current signs is allowed, any expansion to the structure requires conformance to Code.

Area – 190 sq. ft.

Height – 25 ft.

M-2 – Complex Identification Sign @ NE corner of property on Southtown Blvd. and Xerxes Avenue. No Tenant ID panels. Sign is legally non-conforming. Refacing of current signs is allowed, any expansion to the structure requires conformance to Code.

Area – 48 sq. ft.

Height – 8 ft.

M3 & M4 – Gateway Identification Signs @ Main Entrance to complex on American Blvd. West. Only one freestanding sign allowed per street frontage. One of the signs is legally non-conforming. Refacing of current signs is allowed, any expansion to the structure requires conformance to Code.

Area – 48 sq. ft.

Height – 8 ft.

P1 – Four-sided pylon sign at North side of auto-banking structure. Wells Fargo graphics on all sides. Sign is legally non-conforming. Refacing of current signs is allowed, any expansion to the structure requires conformance to Code. Area – 100 sq. ft. per side

Existing Directional Signs – Sec. 19.116 – Directional Signs

D1 – Single Face Directional Post and Panel Sign @ Main Entrance to complex on American Blvd. West.

Area – 12 sq. ft.

D2 – Double Face Directional Post and Panel Sign @ Loading Dock Entrance on Southtown Drive. Directional sign location may be legally non-conforming. Setback is 20 feet from public right-of-way line.

Area – 12 sq. ft.

Existing Wall Signs - SEC. 19.113(b) and 19.124 – Class IV Sign District CO-1 and Office Buildings with (7) stories or More Stories

W1 – Channel letterset on North Plaza Elevation – East Corner / Wells Fargo.

Area – Approximately 190 sq. ft.

W2 – Channel letterset on North Plaza Elevation – West Corner / Tenant 4.

Area – Maximum 100 sq. ft.

W3 – Channel letterset porte-coche sign on West Tower Elevation @ Parking Deck Entrance / Wells Fargo Plaza.

Area – Approximately 40 sq. ft. Sign is legally non-conforming. Any expansion to the structure requires conformance to Code. Porte cochere signs are limited to 20 square feet.

W4 – Channel letterset on South Plaza Elevation @ Entrance / Wells Fargo Plaza.

Area – Approximately 40 sq. ft.

W5 – Channel letterset on South Plaza Elevation – East Corner / Wells Fargo.

Area – Approximately 190 sq. ft.

W6 – Cabinet canopy sign on East Plaza Elevation @ Entrance / Wells Fargo.

Area – Approximately 40 sq. ft. Sign is legally non-conforming. Any expansion to the structure requires conformance to Code. Canopy signs are limited to 12 square feet.

W7 – Channel letterset on South Canopy of Auto Bank – East Corner / Wells Fargo.
 Area – Approximately 80 sq. ft.

Future Wall Signs – Plaza - SEC. 19.113(b) – Class IV Sign District CO-1

W8 – Channel letterset on North Plaza Elevation – See Site Plan for Location / Tenant 2.
 Area – Maximum 100 sq. ft.

W9 – Channel letterset on North Plaza Elevation – See Site Plan for Location / Tenant 3.
 Area – Maximum 100 sq. ft.

Future Tower Wall Signs – SEC. 19-124 Sign for Office Buildings with (7) stories or More Stories

SIGN REGULATIONS – Primary Sign Elevations – East / West	ALLOWED	PROPOSED
Total signs allowed – (1) Each Elevation	2	1 (West)
Mounting Height from Top of Elevation	20'	
Maximum Sign Area per Sign	400 Sq. Ft.	
Illumination Required	Internal	

Future Tower Wall Signs – SEC. 19-124 Sign for Office Buildings with (7) stories or More Stories

SIGN REGULATIONS – Secondary Sign Elevations – North / South	ALLOWED	PROPOSED
Total signs allowed – (1) Each Elevation	2	0
Mounting Height from Top of Elevation	20'	
Maximum Sign Area per Sign	225 Sq. Ft.	
Illumination Required	Internal	

Future Directional Signs – Sec. 19.116 – Directional Signs

D3 – Directional Post and Panel Sign @ Entrance to complex on Southtown Drive.
 Area – 12 sq. ft.

Setback - 20 feet from right-of-way line for a sign more than 3 feet tall.

D4 – Directional Post and Panel Sign – Parking Lot South Side.

Area – 12 sq. ft.

Setback – 20 feet from right-of-way line for a sign more than 3 feet tall.

GENERAL – FUTURE TOWER WALL SIGNS

#1) Tenant at Landlords option may display an exterior sign. All such signs shall be subject to the requirements and limitations as outlined hereafter. The furnishing and installation of a sign and the cost incurred shall be the responsibility of the Tenant.

#2) Tenant’s sign shall consist of identification only; copy is restricted to the Tenant’s proper name. Corporate logos, emblems and shields are permitted provided they are confined within the designated sign area. Character, design, layout and placement of all signs shall be subject to the written approval of the landlord.

#3) Signs shall be placed in an area designated by the landlord to identify their business.

#4) No sign shall be placed in final position without the written approval of the landlord in addition to a City of Bloomington sign permit.

#5) Tenant will be fully responsible for its sign contractor. Tenant will be responsible for the repair or any damage to the building or common area caused by the sign contractor.

#6) Upon expiration or early termination of the Lease Term, Tenant shall remove the Sign and repair all damage to the building caused thereby at his/her own expense. Repair work to be completed in workman like manner and must be done to landlord's satisfaction.

WALL SIGN SPECIFICATIONS

Tenant signs shall consist of LED illuminated, channel letters either mounted on raceway or remote mounted to building as described below. All signs shall be fabricated and installed in compliance with specifications outlined as follows and with all applicable city and electrical codes.

CONSTRUCTION SPECIFICATIONS

Tenant signs shall consist of individually illuminated channel letters with Acrylic / Lexan faces and edge trim. Letter returns will be fabricated aluminum with painted finish. Letters will be internally illuminated with LED's contained fully within the depth of the letter. Individual letters and electrical components shall be mounted on a raceway OR directly to the building background: if mounted to a raceway, raceway shall be fabricated aluminum and finished to match the fascia background color. Logo shall be a maximum 25% of the sign area as directed by City of Bloomington sign code. Tenant sign shall be placed in area designated by landlord.

1. No sign or any portion thereof, may project above the parapet or top of wall upon which it is mounted.
2. All penetrations of the building required for sign installation shall be properly sealed in a watertight condition.

PROHIBITED SIGNS

The following types of signs or sign components shall be prohibited.

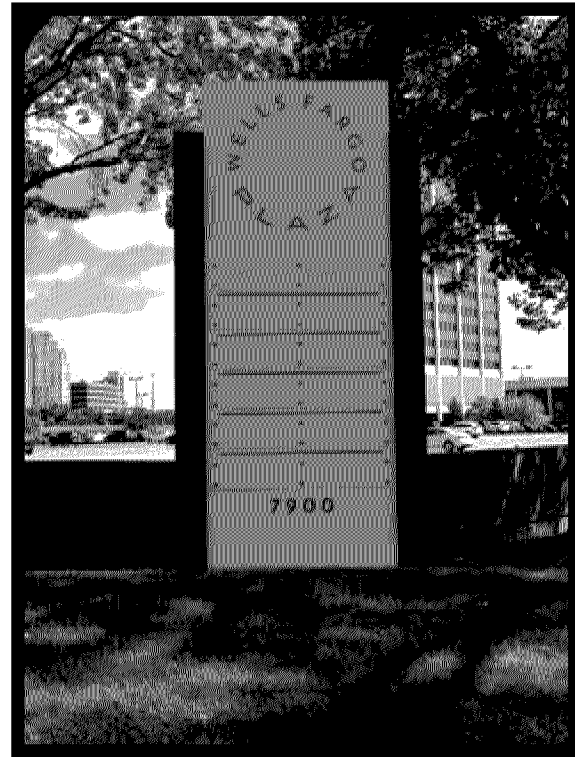
1. Cabinet style signs – except for as a graphic cabinet for a tenant logo or tagline at landlord's discretion.
2. Paper or cardboard signs, stickers utilized as signs.
3. Signs of temporary character or purpose. Auxiliary signage used for grand openings or special events is subject to landlord and municipal approval.
4. Moving, flashing or flickering lights.
5. Signs, pictures, or paintings within the demised premises, as described in this section, if visible from outside without the prior written permission of the landlord.

SIGN APPROVAL PROCEDURE

Tenant shall submit to Landlord drawings and specifications. The drawings shall clearly show location of sign, color, construction and attachment detail. Landlord will provide written approval or disapproval within **(7)** seven working days of receiving drawings and specifications. Landlord approval is subject to the approval of the City of Bloomington.

1 | CCRP - Wells Fargo USD

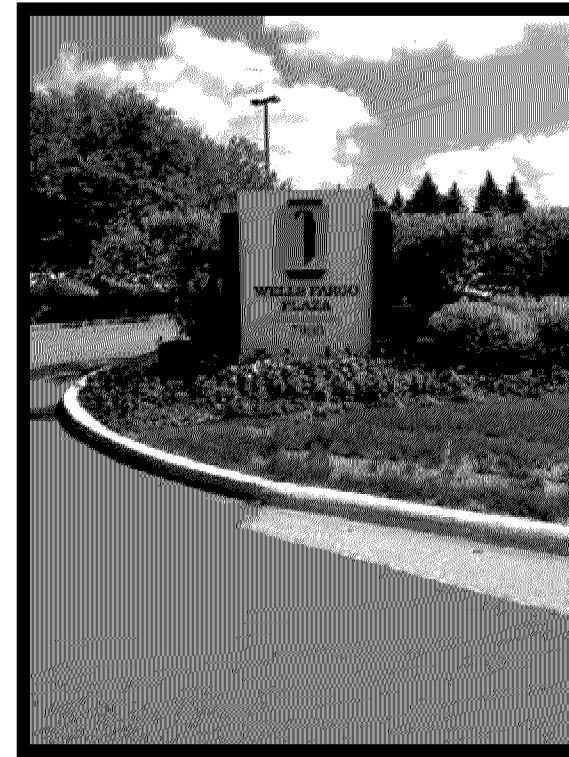
180529E



M1 - Existing Multi-tenant Monument



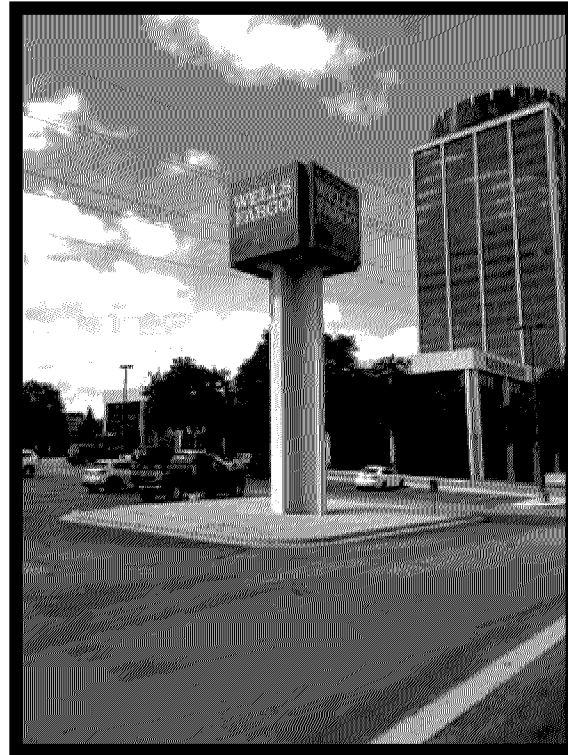
M2 - Existing Complex Identification Sign



M3 - Existing Gateway Identification Sign



M4 - Existing Gateway Identification Sign



P1 - Existing 4-Sided Pylon Sign



9278 Isanti St. NE
Blaine, MN 55449
763.432.7447 OFFICE
763.208.9159 FAX
www.spectrum-signs.com

CLIENT INFORMATION

City Center Real Estate Services

Attn: Krysina Grussing

800 N Washington Ave

690

Minneapolis, MN 55401

PHONE

952-835-4470

JOBSITE

7900 Xerxes Ave S,

Bloomington, MN 55431

DATE/REVISIONS

7-24-18

DESIGNER

Patrick Woller

SALESPERSON

Eric Tauscheck

This drawing is the exclusive property of Spectrum Sign Systems, Inc. It is not to be produced or duplicated without the written consent of Spectrum Sign Systems, Inc. Distribution of this drawing for the purpose of constructing the sign by anyone other than Spectrum Sign Systems, Inc., is strictly prohibited. If such an event occurs Spectrum Sign Systems will be reimbursed \$1,000.00 per occurrence.

USD #29

Approved for Zoning

Review Only

Liz O'Day 8/13/18

Customer Approval

Date

CLIENT INFORMATION

City Center Real Estate Services

Attn: Krysina Grussing

800 N Washington Ave

690

Minneapolis, MN 55401

PHONE

952-835-4470

JOBSITE

7900 Xerxes Ave S,

Bloomington, MN 55431

DATE/REVISIONS

7-24-18

DESIGNER

Patrick Woller

SALESPERSON

Eric Tauscheck

This drawing is the exclusive property of Spectrum Sign Systems, Inc. It is not to be produced or duplicated without the written consent of Spectrum Sign Systems, Inc. Distribution of this drawing for the purpose of constructing the sign by anyone other than Spectrum Sign Systems, Inc., is strictly prohibited. If such an event occurs Spectrum Sign Systems will be reimbursed \$1,000.00 per occurrence.

USD #29
Approved for Zoning
Review Only
Liz O'Day 8/13/18

Customer Approval

Date



D1 - Existing Single Face Directional Sign

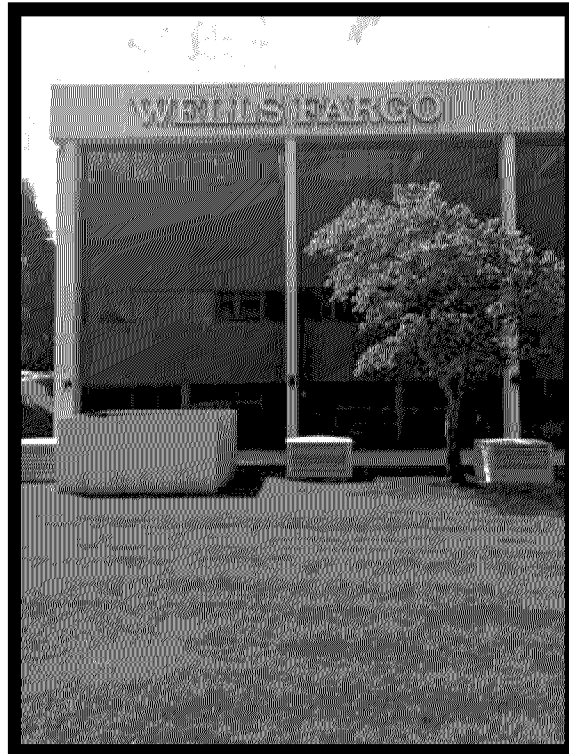


D2 - Existing Double Face Directional Sign

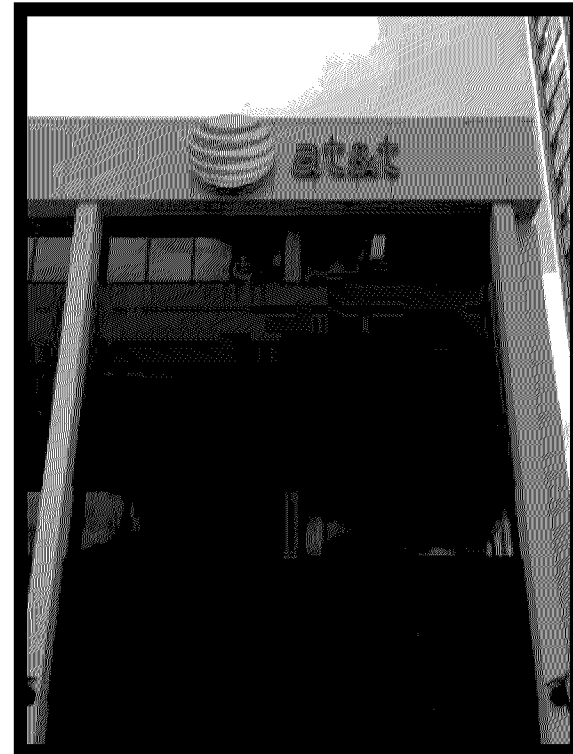
* D3 & D4 - Future Directional Signs

3 CCRP - Wells Fargo USD

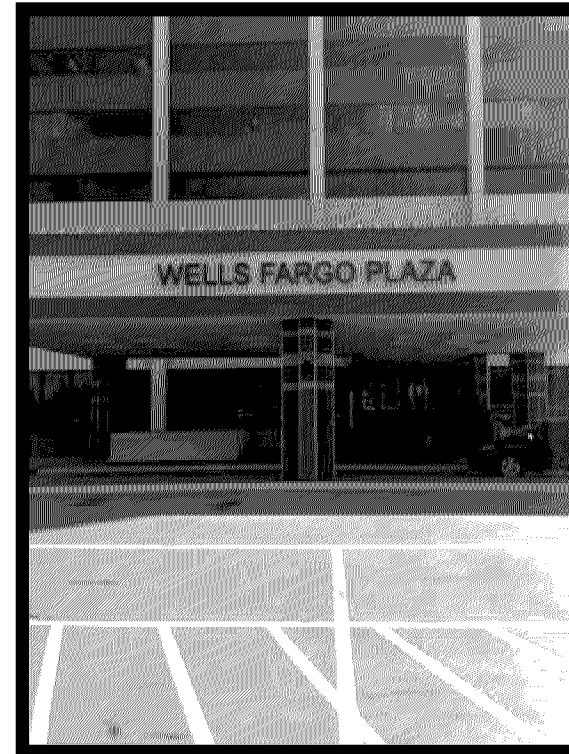
180529E



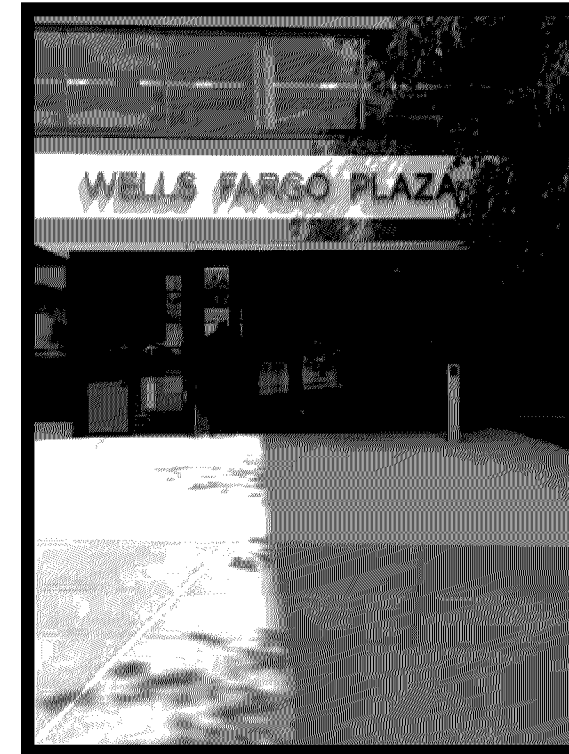
W1 - Existing Channel Letter Set
North Plaza Elevation



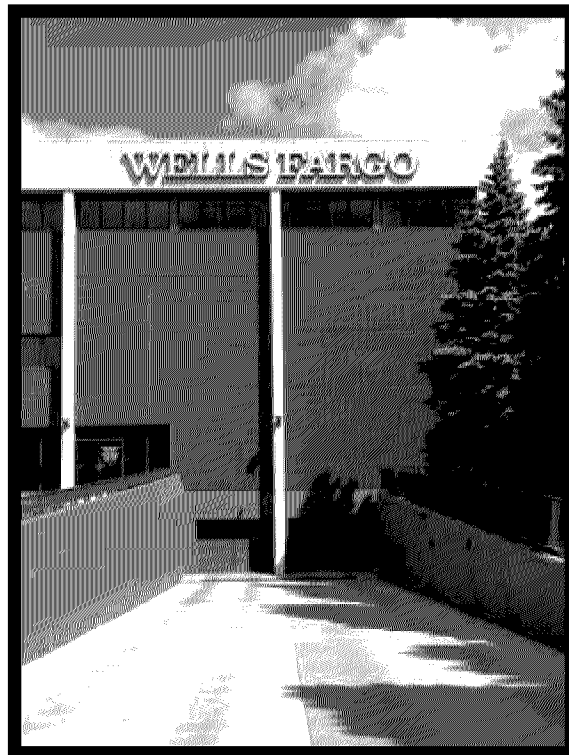
W2 - Existing Channel Letter Set
North Plaza Elevation



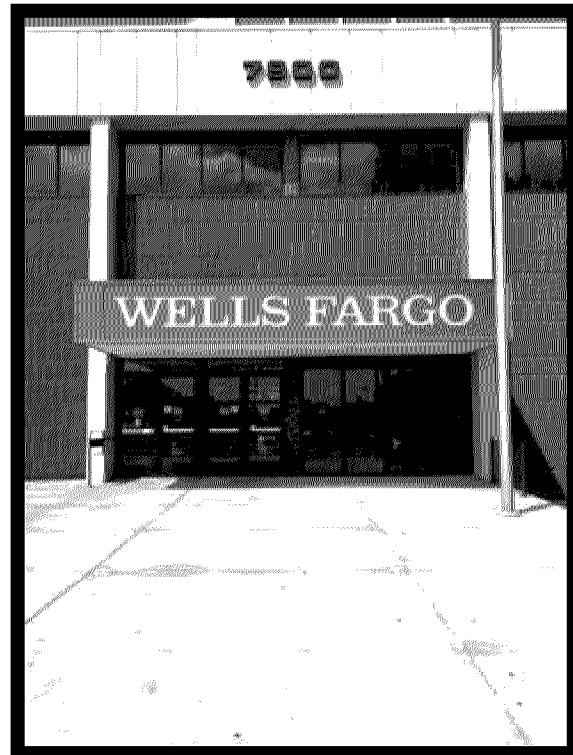
W3 - Existing Channel Letter Set
West Parking Deck Entrance



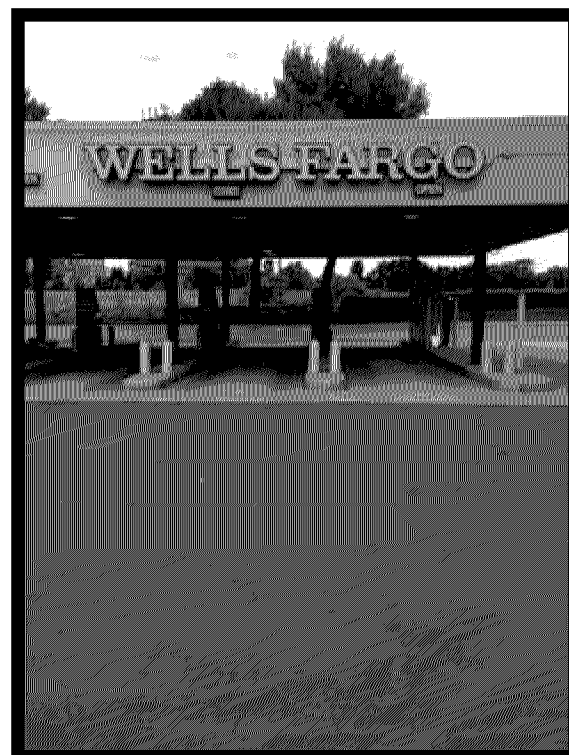
W4 - Existing Channel Letter Set
South Plaza Elevation



W5 - Existing Channel Letter Set
South Plaza Elevation



W6 - Existing Panel Sign
East Plaza Elevation



W7 - Existing Channel Letter Set
South Canopy of Auto Bank

SPECTRUM
SIGN SYSTEMS, INC

9278 Isanti St. NE
Blaine, MN 55449
763.432.7447 OFFICE
763.208.9159 FAX
www.spectrum-signs.com

CLIENT INFORMATION

City Center Real Estate Services

Attn: Krysina Grussing

800 N Washington Ave

690

Minneapolis, MN 55401

PHONE

952-835-4470

JOBSITE

7900 Xerxes Ave S,

Bloomington, MN 55431

DATE/REVISIONS

7-24-18

DESIGNER

Patrick Woller

SALESPERSON

Eric Tauscheck

This drawing is the exclusive property of Spectrum Sign Systems, Inc. It is not to be produced or duplicated without the written consent of Spectrum Sign Systems, Inc. Distribution of this drawing for the purpose of constructing the sign by anyone other than Spectrum Sign Systems, Inc., is strictly prohibited. If such an event occurs Spectrum Sign Systems will be reimbursed \$1,000.00 per occurrence.

USD #29
Approved for Zoning
Review Only
Liz O'Day 8/13/18

Customer Approval

Date



W8 & W9 - Future Channel Letter Sets
North Plaza Elevation



9278 Isanti St. NE
Blaine, MN 55449
763.432.7447 OFFICE
763.208.9159 FAX
www.spectrum-signs.com

CLIENT INFORMATION

City Center Real Estate Services

Attn: Krysina Grussing

800 N Washington Ave

690

Minneapolis, MN 55401

PHONE

952-835-4470

JOBSITE

7900 Xerxes Ave S,

Bloomington, MN 55431

DATE/REVISIONS

7-24-18

DESIGNER

Patrick Woller

SALESPERSON

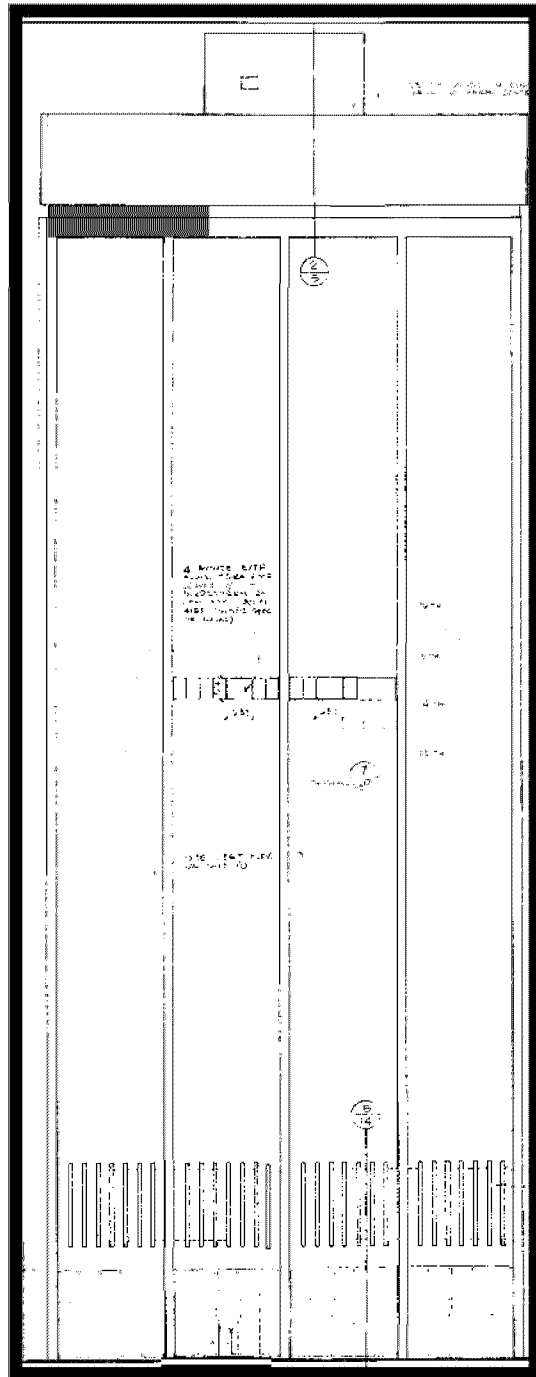
Eric Tauscheck

This drawing is the exclusive property of Spectrum Sign Systems, Inc. It is not to be produced or duplicated without the written consent of Spectrum Sign Systems, Inc. Distribution of this drawing for the purpose of constructing the sign by anyone other than Spectrum Sign Systems, Inc., is strictly prohibited. If such an event occurs Spectrum Sign Systems will be reimbursed \$1,000.00 per occurrence.

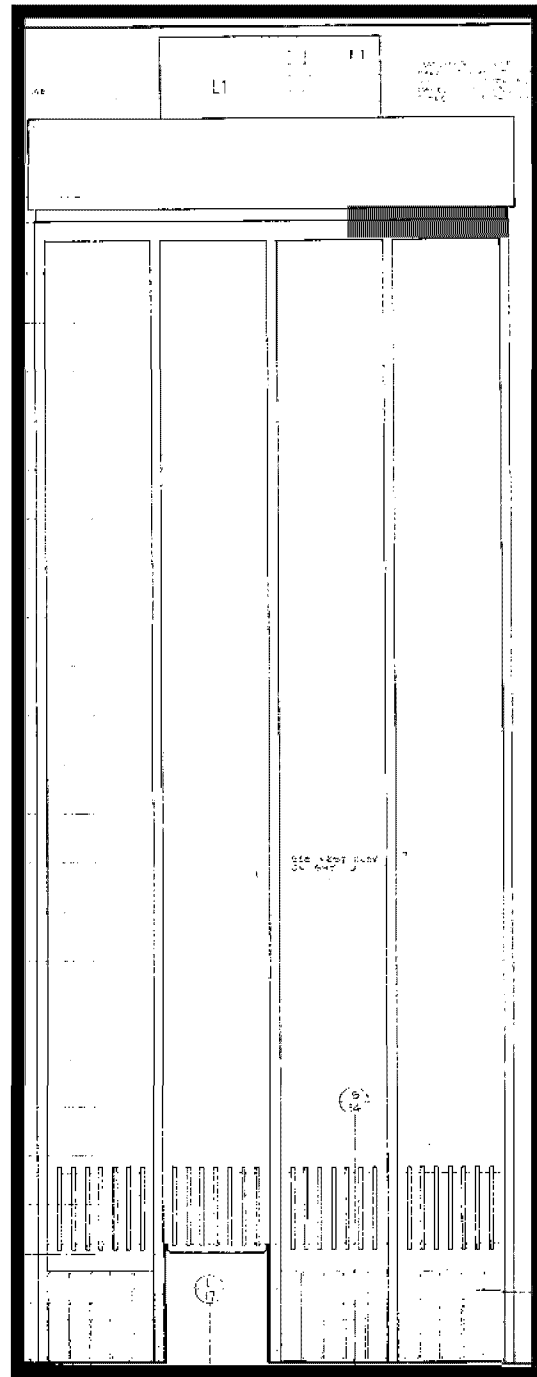
USD #29
Approved for Zoning
Review Only
Liz O'Day 8/13/18

Customer Approval

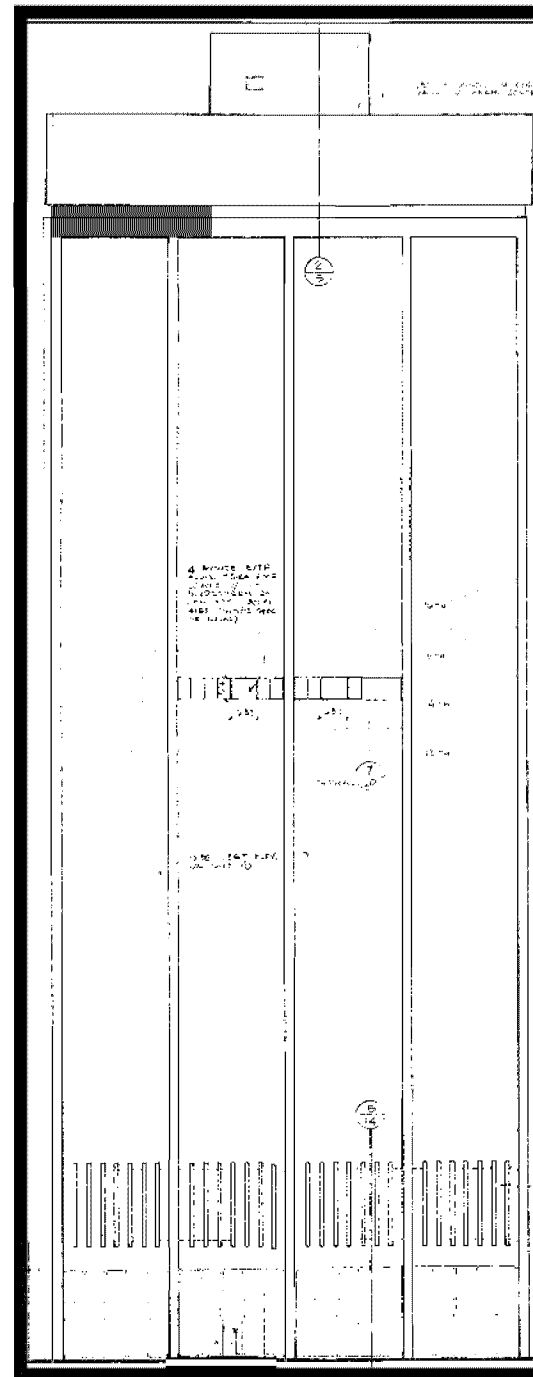
Date



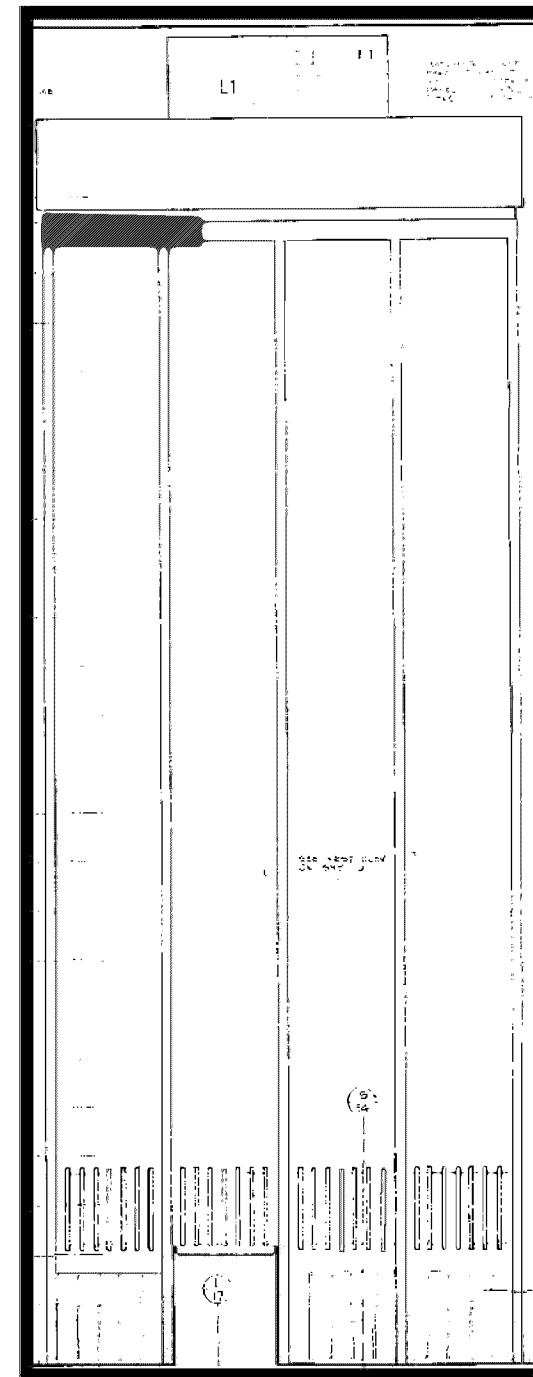
T1 - Future North Elevation
Secondary Elevation



T2 - Future East Elevation
Primary Elevation



T3 - Future South Elevation
Secondary Elevation



T4 - Future West Elevation
Primary Elevation

CLIENT INFORMATION

City Center Real Estate Services

Attn: Krysina Grussing

800 N Washington Ave

690

Minneapolis, MN 55401

PHONE

952-835-4470

JOBSITE

7900 Xerxes Ave S,

Bloomington, MN 55431

DATE/REVISIONS

7-24-18

DESIGNER

Patrick Woller

SALESPERSON

Eric Tauscheck

This drawing is the exclusive property of Spectrum Sign Systems, Inc. It is not to be produced or duplicated without the written consent of Spectrum Sign Systems, Inc. Distribution of this drawing for the purpose of constructing the sign by anyone other than Spectrum Sign Systems, Inc., is strictly prohibited. If such an event occurs Spectrum Sign Systems will be reimbursed \$1,000.00 per occurrence.

USD #29

Approved for Zoning

Review Only

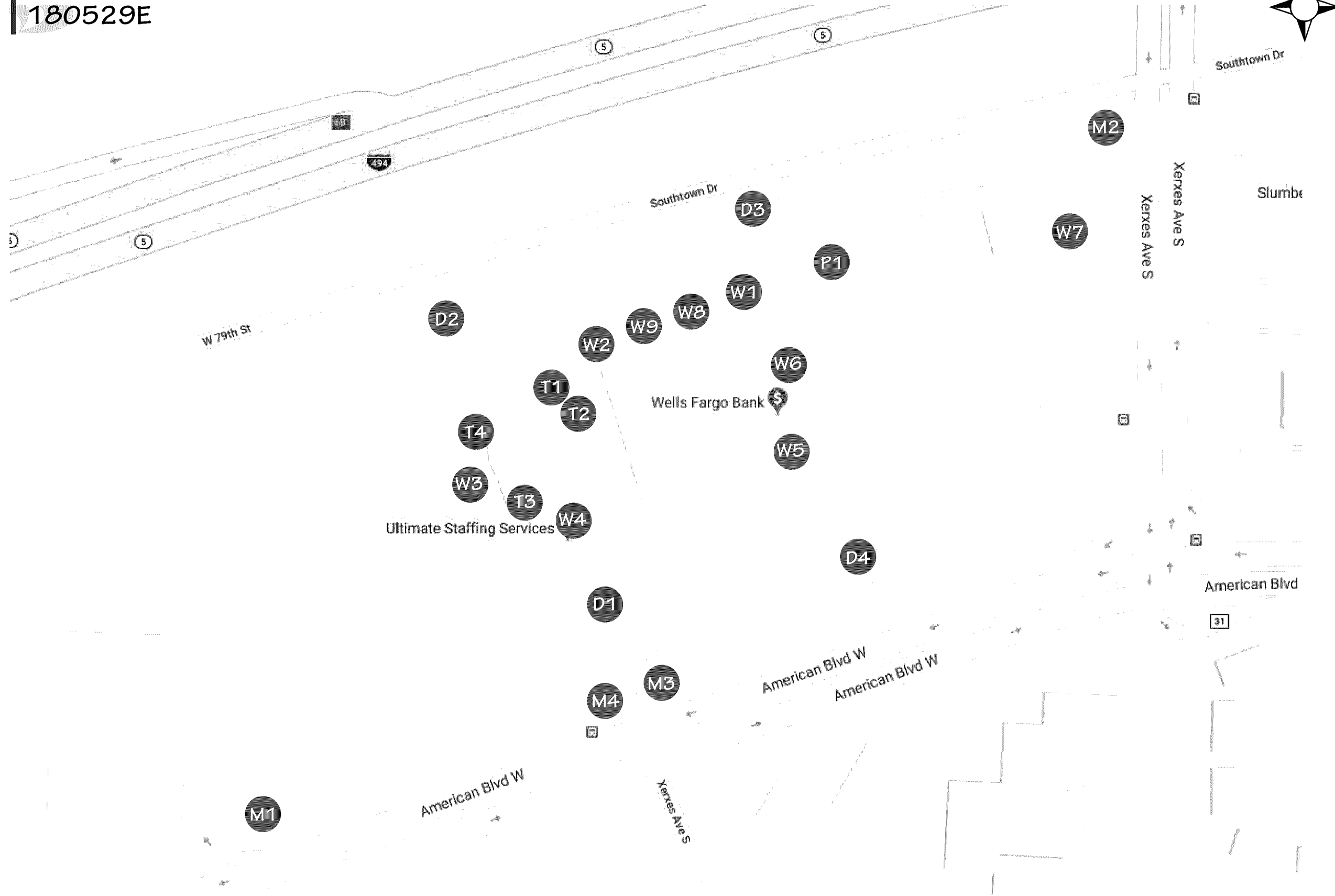
Liz O'Day 8/13/18

Customer Approval

Date

6 CCRP - Wells Fargo USD

180529E



SPECTRUM
SIGN SYSTEMS, INC
9278 Isanti St. NE
Blaine, MN 55449
763.432.7447 OFFICE
763.208.9159 FAX
www.spectrum-signs.com

CLIENT INFORMATION

City Center Real Estate Services
Attn: Krysina Grussing
800 N Washington Ave
690
Minneapolis, MN 55401
PHONE
952-835-4470

JOBSITE

7900 Xerxes Ave S,
Bloomington, MN 55431

DATE/REVISIONS

7-24-18

DESIGNER

Patrick Woller

SALESPERSON

Eric Tauscheck

This drawing is the exclusive property of Spectrum Sign Systems, Inc. It is not to be produced or duplicated without the written consent of Spectrum Sign Systems, Inc. Distribution of this drawing for the purpose of constructing the sign by anyone other than Spectrum Sign Systems, Inc., is strictly prohibited. If such an event occurs Spectrum Sign Systems will be reimbursed \$1,000.00 per occurrence.

USD #29
Approved for Zoning
Review Only
Liz O'Day 8/13/18

Customer Approval

Date