

SITE DEVELOPMENT SUMMARY

PROPERTY ADDRESS:	2301 86TH STREET EAST, BLOOMINGTON, MN 55425
PROPERTY AREA:	162,624 S.F. (3.73 AC), PER SURVEY
PROPERTY OWNER:	CITY OF BLOOMINGTON
EXISTING ZONING:	R-1, RESIDENTIAL (NON-RESIDENTIAL)
PROPOSED ZONING:	R-1, RESIDENTIAL
FIRE STATION BUILDING TOTAL:	29,500 S.F.
2ND FLOOR:	7,500 S.F.
1ST FLOOR:	22,000 S.F.
FLOOR AREA RATIO (FAR) - REQUIRED:	0.25
FLOOR AREA RATIO (FAR) - PROVIDED:	0.18 (29,500 / 162,624)
BUILDING COVERAGE MAXIMUM:	20%
BUILDING COVERAGE PROVIDED:	13.5% (22,000 / 162,624)
BUILDING HEIGHT MAXIMUM:	40'
BUILDING HEIGHT PROVIDED:	38'
BUILDING SETBACKS:	
FRONT/ROW:	50'
SIDE:	20' OR BUILDING HEIGHT (LARGER NUMBER)
REAR:	30'
IMPERVIOUS SURFACE REQUIRED MAXIMUM:	??
IMPERVIOUS SURFACE - EXISTING:	3,642 S.F. (2.1%)
PERVIOUS SURFACE - EXISTING:	171,547 S.F. (97.9%)
IMPERVIOUS SURFACE - PROPOSED:	T.B.D. S.F. (%)
PERVIOUS SURFACE - PROPOSED:	T.B.D. S.F. (%)
PARKING REQUIRED:	T.B.D.
PARKING REQUIRED: - USER:	38 SPACES (30 TRAINING, 8 DORM)
PARKING PROVIDED:	38 SPACES (INCLUDING 2 ACCESSIBLE)
PARKING SIZE REQUIRED/PROVIDED:	9' WIDE X 18' DEEP, 24' DRIVE AISLE (25' DRIVE AISLE PROVIDED)
PARKING SETBACK:	20'
INTERNAL SIDE:	5'

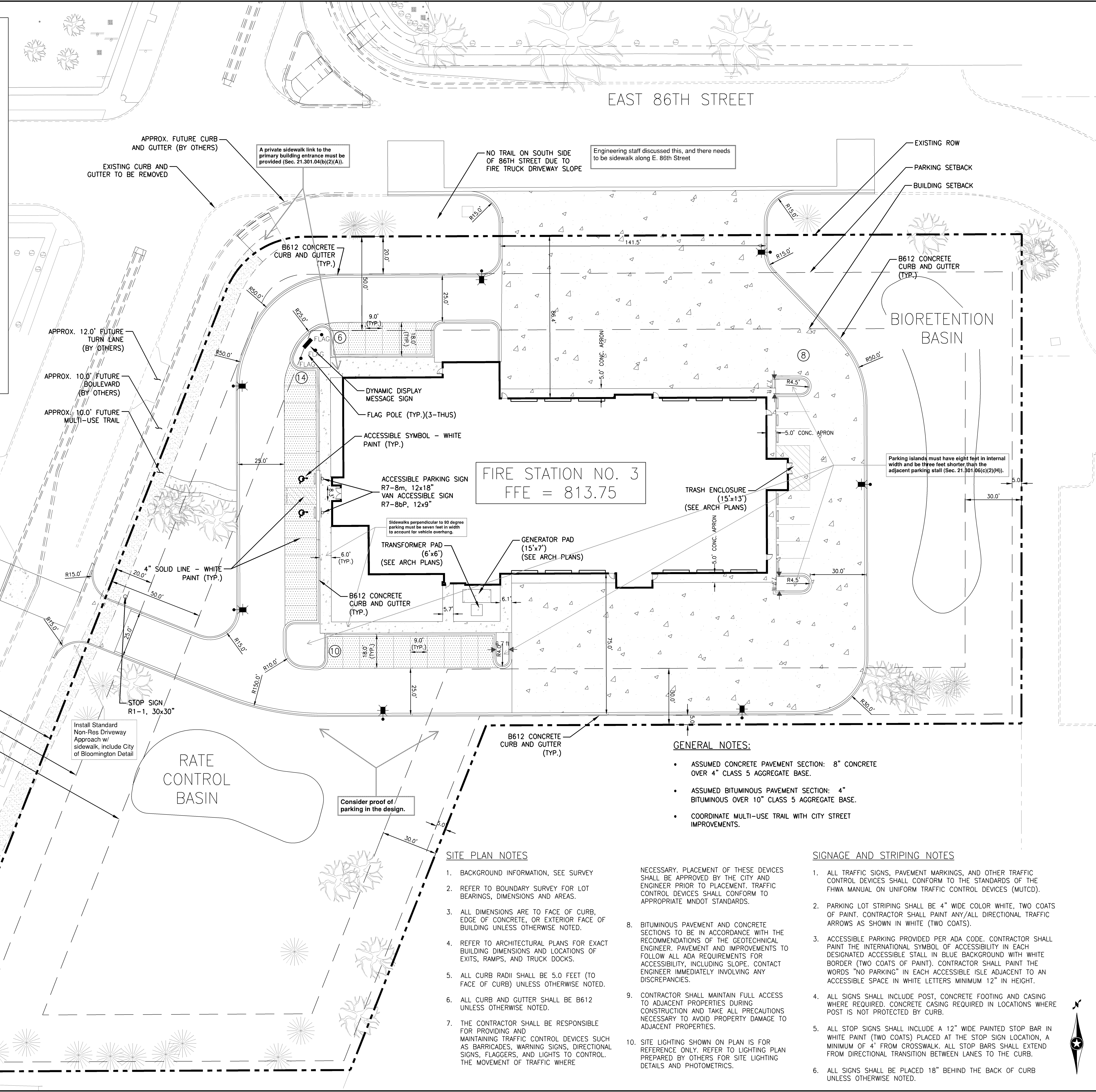
LEGEND

	PROPERTY LINE
	SETBACK LINES
	CONSTRUCTION LIMITS
	B612 CONCRETE CURB AND GUTTER
	CONCRETE WHEEL STOP
	LIGHT POLE AND LUMINAIRE
	BITUMINOUS PAVEMENT (HEAVY-DUTY)
	BITUMINOUS PAVEMENT (LIGHT-DUTY)
	BITUMINOUS TRAIL
	CONCRETE PAVEMENT (HEAVY-DUTY)
	CONCRETE SIDEWALK

Bloomington Engineering and Fire staff are discussing options for curbing and signage at this location to be done as part of the 86th St/Old Shakopee Rd street reconfiguration.

Include typical sections for light duty, heavy duty pavement and concrete

Will the existing residential driveway curb cuts be abandoned and restored?



- GENERAL NOTES:**
- ASSUMED CONCRETE PAVEMENT SECTION: 8" CONCRETE OVER 4" CLASS 5 AGGREGATE BASE.
 - ASSUMED BITUMINOUS PAVEMENT SECTION: 4" BITUMINOUS OVER 10" CLASS 5 AGGREGATE BASE.
 - COORDINATE MULTI-USE TRAIL WITH CITY STREET IMPROVEMENTS.

- SITE PLAN NOTES**
- BACKGROUND INFORMATION, SEE SURVEY
 - REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
 - ALL CURB RADI SHALL BE 5.0 FEET (TO FACE OF CURB) UNLESS OTHERWISE NOTED.
 - ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
 - BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. PAVEMENT AND IMPROVEMENTS TO FOLLOW ALL ADA REQUIREMENTS FOR ACCESSIBILITY, INCLUDING SLOPE. CONTACT ENGINEER IMMEDIATELY INVOLVING ANY DISCREPANCIES.
 - CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
 - SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

- SIGNAGE AND STRIPING NOTES**
- ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE FHWA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
 - ACCESSIBLE PARKING PROVIDED PER ADA CODE. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT.
 - ALL SIGNS SHALL INCLUDE POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
 - ALL STOP SIGNS SHALL INCLUDE A 12" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
 - ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB UNLESS OTHERWISE NOTED.

City of Bloomington
2301 EAST 86TH STREET
BLOOMINGTON, MN 55425
Bloomington Fire Station #3

wendel
Barbary Place, Building D04
800 Wisconsin Street, Suite 202 Mailbox 2
Eau Claire, WI 54603
www.wendelcompanies.com
p: 715.832.4548 f: 715.825.8825
Wendel W03 Architectural, Engineering,
Surveying and Landscape Architecture, P.C.

ARCHITECT
VENICE:
ROBERT KRZYZANOWSKI, PROGRAM MANAGER
STEVE GRADMAN, AIA
BUILDING D04, SUITE 202
MAILBOX 2
800 WISCONSIN STREET
EAU CLAIRE, WI 54703
715.832.4848
krzyzanowski@wendelcompanies.com
gradman@wendelcompanies.com

CIVIL ENGINEER / LANDSCAPE ARCHITECT
SRF CONSULTING GROUP, INC.
MICHAEL MCCARVEY, ASLA, PLA
ONE CARLSON PARKWAY NORTH
SUITE 150
MINNEAPOLIS, MN 55447
763.475.0010
mmccarvey@sriconsulting.com

STRUCTURAL
NORTH AND CONSULTING ENGINEERS, LLP
TOM FINES, PE
102 SOUTH 7TH AVENUE WEST, SUITE 1
DULUTH, MN 55805
218.727.2995
Tom@nandc.com

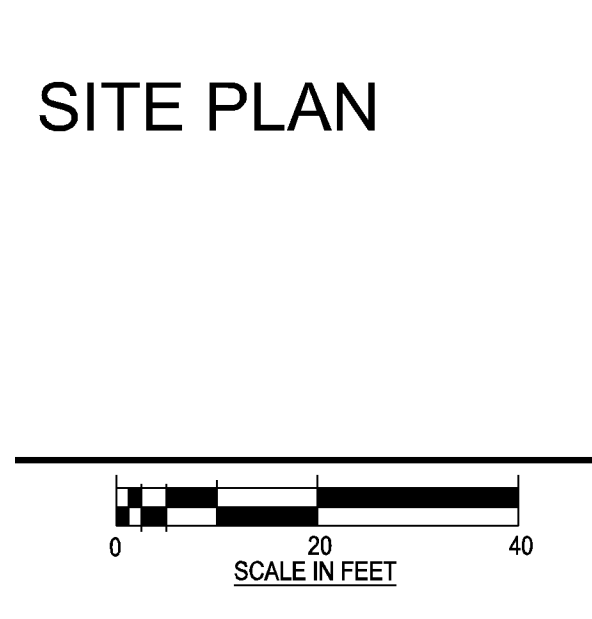
PLUMBING, FIRE PROTECTION & HVAC
MEP ASSOCIATES, LLC
TIM COACH, DES
2722 ARBOR CT SUITE A
EAU CLAIRE, WI 54701
715.832.5680
TimC@mepassociates.com

ELECTRICAL
MEP ASSOCIATES, LLC
TONY FROSTGARD, PE
2722 ARBOR CT SUITE A
EAU CLAIRE, WI 54701
715.832.5680
TonyF@mepassociates.com

INTERIORS
L2 DESIGN
LAURIE ZADRA
2218 LAKEHURST DRIVE
RICE LAKE, WI 54989
715.831.7778
laurie@L2DWT.com

SRF ENGINEERS PLANNERS DESIGNERS
Consulting Group, Inc.
SUITE 150
1 CARLSON PARKWAY NORTH
MINNEAPOLIS, MN 55447
763.475.0010
WWW.SRFCONSULTING.COM

NO.	REVISIONS	DATE



DATE: 08-21-2018
SCALE:
DWN: CHK:
PROJ. No.: (SRF 10931.00)
DWG. No.: **C2-0**

PETER CALZAVARA 10/19/2018 3:05:35 PM
C:\S:\CAD\10000\10931\CAD_BIM\PLAN\10931_CP01_SITE.DWG: SITE-01
P:\Projects\10000\10931\CAD_BIM\PLAN\10931_CP01_SITE.DWG: SITE-01



CITY OF BLOOMINGTON, MINNESOTA

BLOOMINGTON FIRE STATION NO. 3

DD



401 2nd Avenue North, Suite 206
 Minneapolis, MN 55401
 www.wendelcompanies.com
 612.441.1401

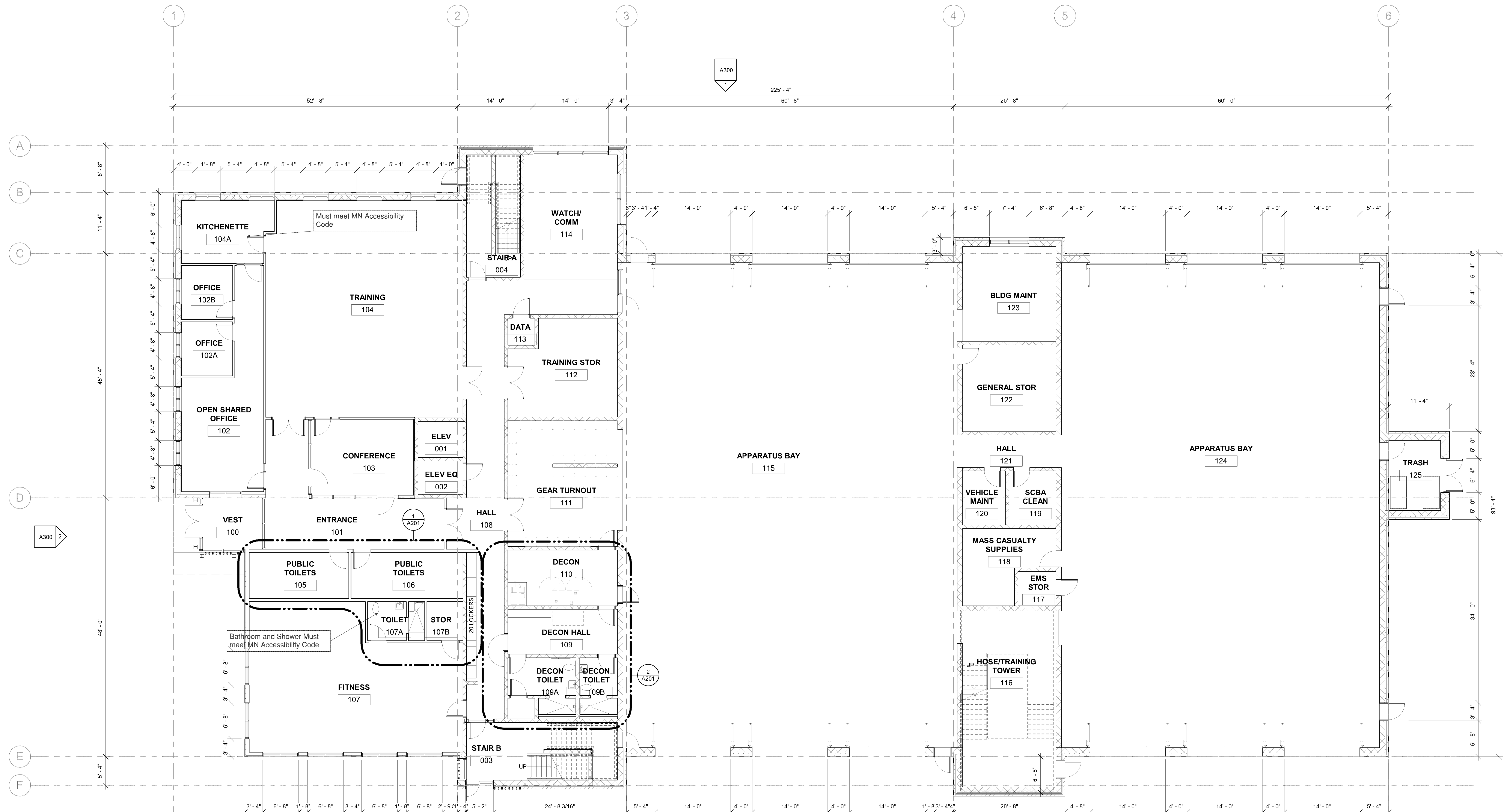
Wendel W/D Architecture, Engineering, Surveying and Landscape Architecture, P.C.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Architect _____

Date _____ Reg. No. _____



- Must meet current MN State Building Code
- Must meet MN Accessibility Code
- SAC review by MET council will be required.

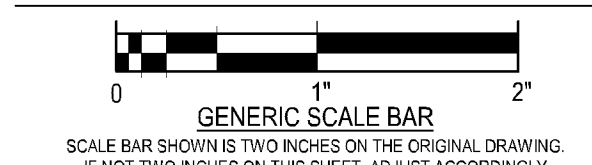
1 FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

BUILDING SQUARE FOOTAGE	
FIRST FLOOR	22,000 SF
SECOND FLOOR	7,800 SF
TOTAL AREA	29,800 SF

NOTE:
 THIS DOCUMENT AND THE REVISIONS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. ANY REUSE, ALTERATION, REPRODUCTION, OR DISTRIBUTION OF ANY PART OF THIS DOCUMENT, INCLUDING ANY REVISIONS, IS STRICTLY PROHIBITED. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND WILL BE SUBJECT TO LEGAL ACTION.

NO.	REVISIONS	DATE

FIRST FLOOR PLAN



DATE: 08.05.2018
 SCALE: 1/8" = 1'-0"
 DWN: Author CHK: Checker
 PROJ. No. 484401 CLIENT. No. 2017-56
 DWG. No. _____

A101



CITY OF BLOOMINGTON, MINNESOTA
 2301 EAST 86th STREET
 BLOOMINGTON, MN 55425

BLOOMINGTON FIRE STATION NO. 3
 DD



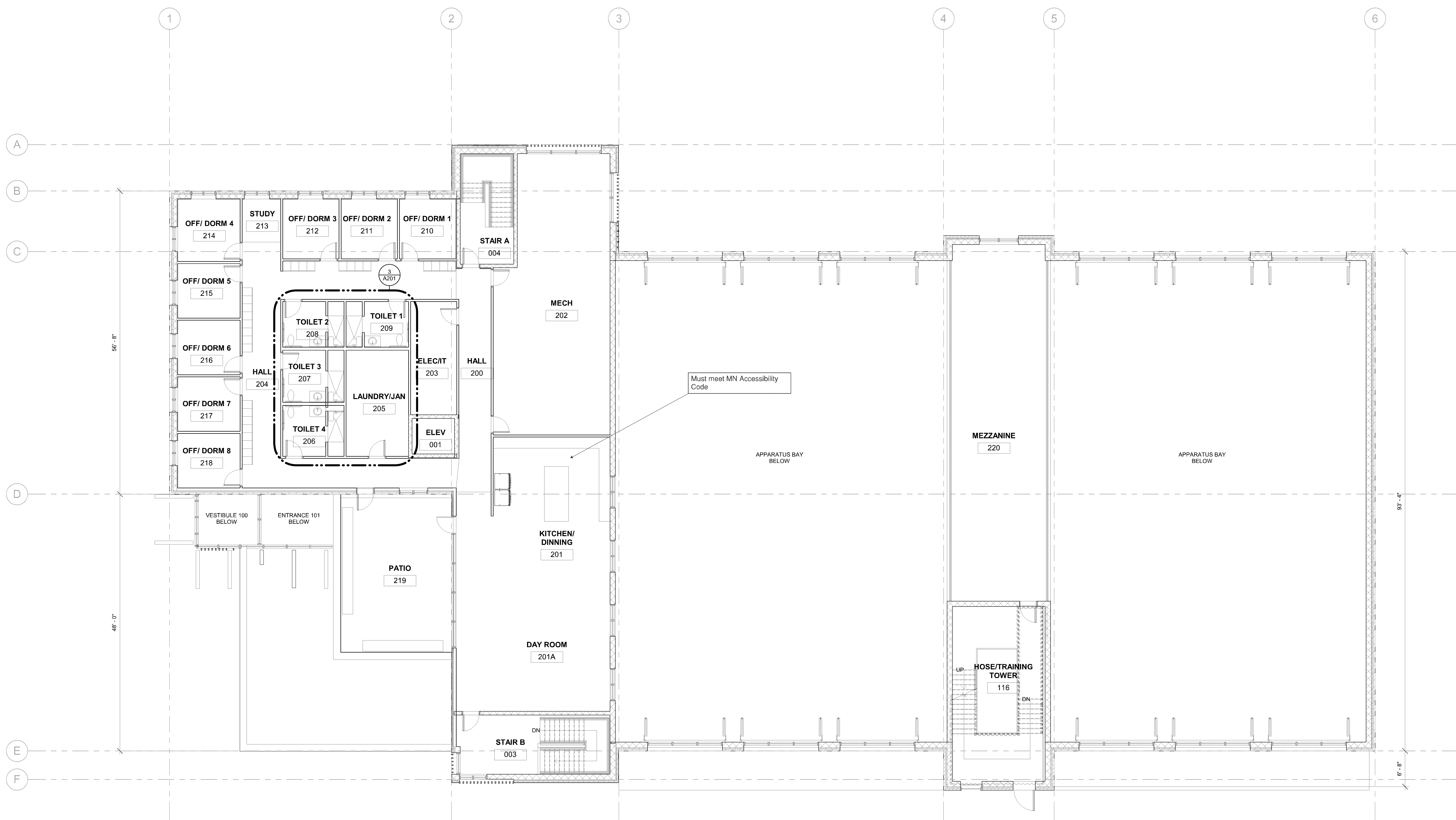
401 2nd Avenue North, Suite 206
 Minneapolis, MN 55401
 www.wendelcompanies.com
 612.401.1401

Wendel V/D Architecture, Engineering, Surveying and Landscape Architecture, P.C.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.

Architect _____
 Date _____ Reg. No. _____



Must meet MN Accessibility Code

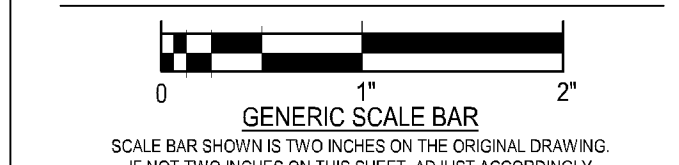
1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

BUILDING SQUARE FOOTAGE	
FIRST FLOOR	22,000 SF
SECOND FLOOR	7,800 SF
TOTAL AREA	29,800 SF

NOTE:
 THIS DOCUMENT AND THE KEYS AND FIGURES INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. DISSEMINATION, ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAWS, CODES AND RULES.

NO.	REVISIONS	DATE

SECOND FLOOR PLAN



DATE: 08.05.2018
 SCALE: 1/8" = 1'-0"
 DWN: Author CHK: Checker
 PROJ. No. 484401 CLIENT. No. 2017-56
 DWG. No. _____

A102



**CITY OF
BLOOMINGTON,
MINNESOTA**

**BLOOMINGTON FIRE
STATION NO. 3**

DD



401 2nd Avenue North, Suite 206
Minneapolis, MN 55401
www.wendelcompanies.com
612.401.1401

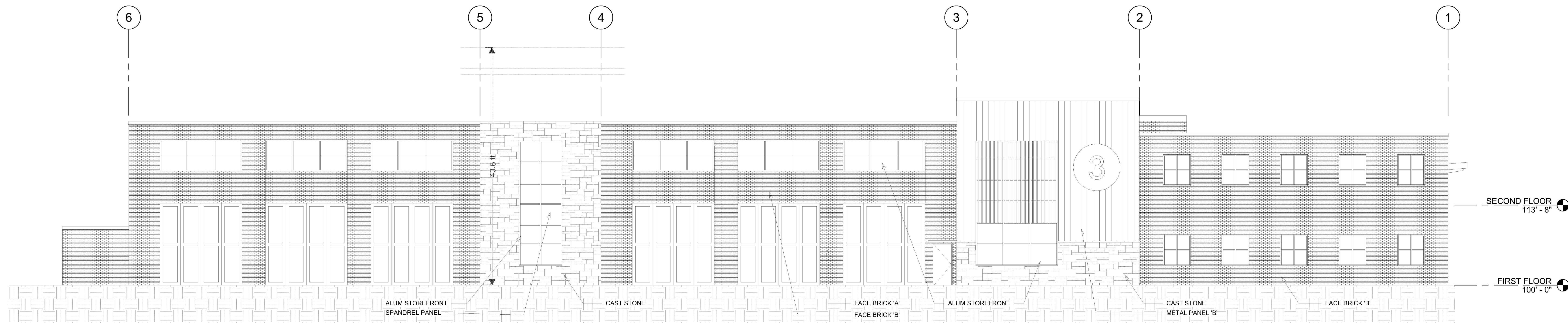
Wendel W/D Architects, Engineering, Surveying and
Landscape Architecture, P.C.



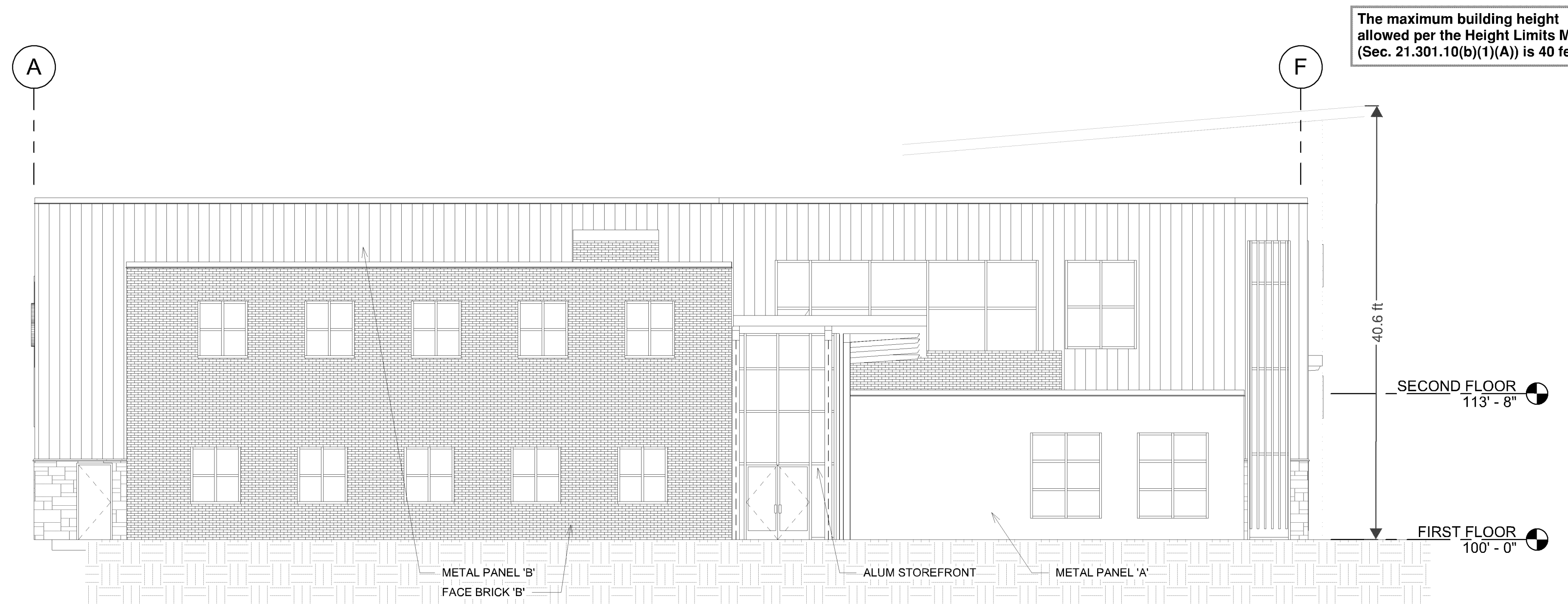
I hereby certify that this plan, specification, or report was
prepared by me or under my direct supervision and that I am a
duly Licensed Architect under the laws of the State of Minnesota.

Architect

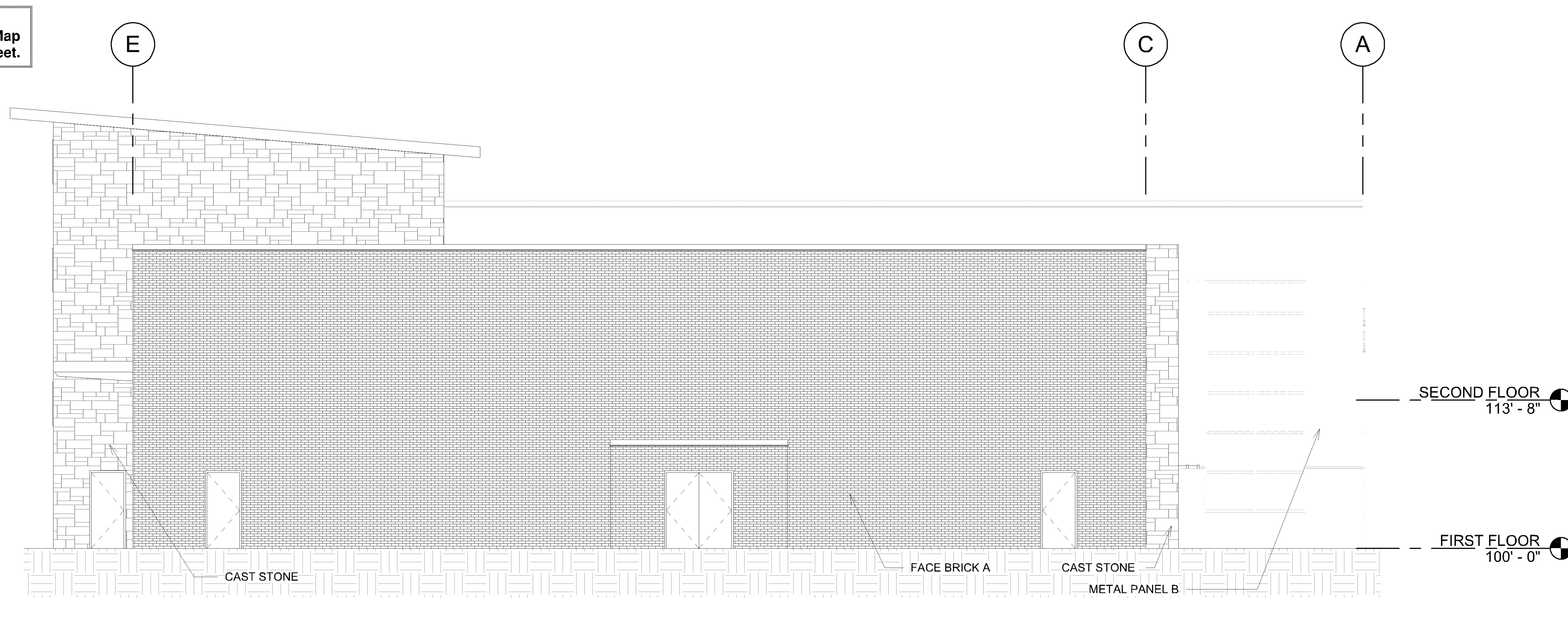
Date _____ Reg. No. _____



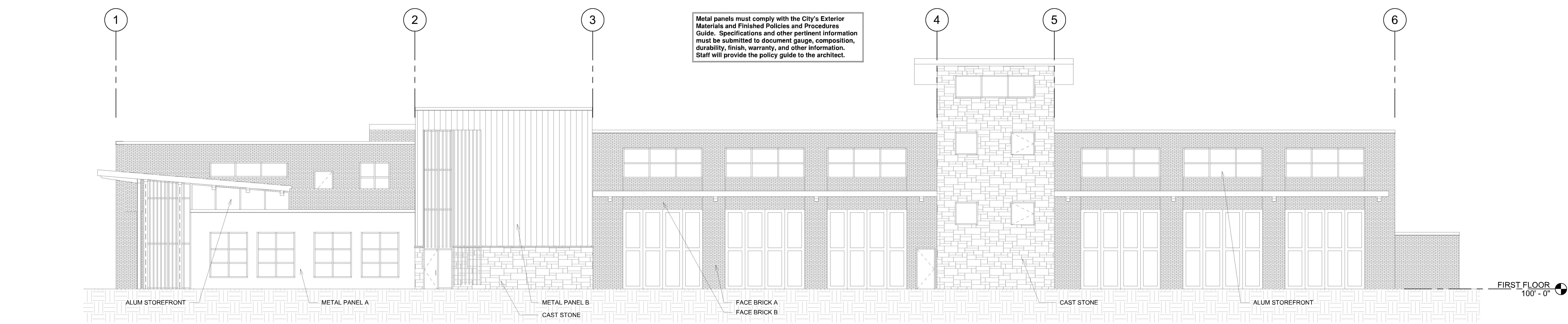
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

WINDOW SURFACE AREA

OPAQUE SURFACE:	26,768 SF
TRANSPARENT SURFACE:	5,082 SF
% TRANSPARENCY:	19 %

FACADE MATERIAL SURFACE AREA

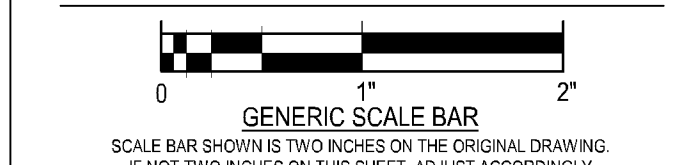
METAL PANEL:	14,503 SF	54.2 %
ALUMINUM INFILL PANEL:	288 SF	1 %
FACE BRICK:	9,148 SF	34.2 %
CAST STONE:	2,829 SF	10.6 %

NOTE:
THIS DOCUMENT AND THE KEYS AND FIGURES INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. DISSEMINATION, ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED UNLESS ACCORDANCE WITH STATE LAWS, CODES AND RULES.

NO.	REVISIONS	DATE

DWG TITLE

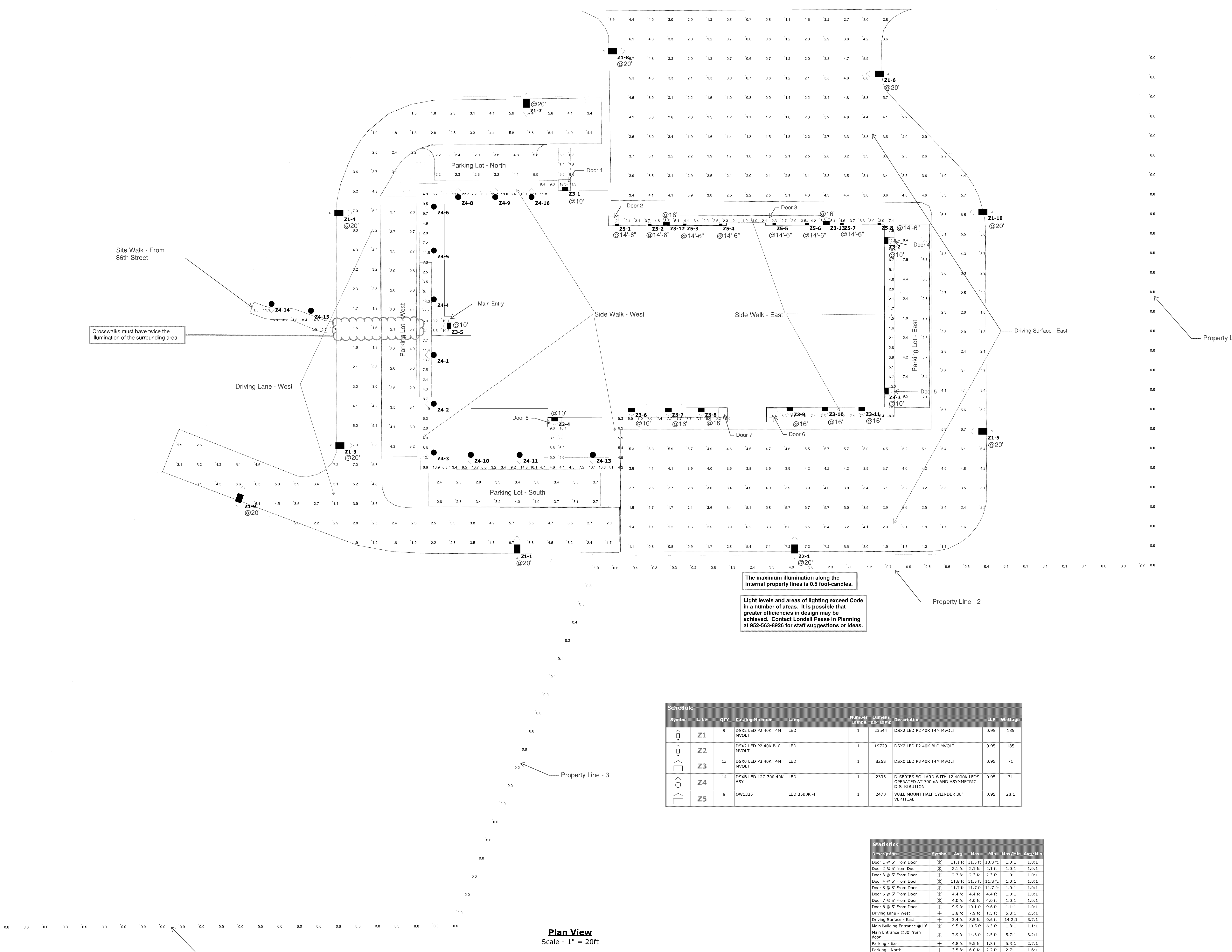
EXTERIOR BUILDING ELEVATIONS



SCALE BAR SHOWS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY.

DATE: 08.05.2018
SCALE: 1/8" = 1'-0"
DWN: Author CHK: Checker
PROJ. No. 484401 CLIENT. No. 2017-56
DWG. No.

A300



Symbol	Label	QTY	Catalog Number	Lamp	Number Lamps	Lumens per Lamp	Description	LLF	Wattage
	Z1	9	DSX2 LED P2 40K T4H MVOLT	LED	1	23544	DSX2 LED P2 40K T4H MVOLT	0.95	185
	Z2	1	DSX2 LED P2 40K BLC MVOLT	LED	1	19720	DSX2 LED P2 40K BLC MVOLT	0.95	185
	Z3	13	DSX0 LED P3 40K T4H MVOLT	LED	1	8268	DSX0 LED P3 40K T4H MVOLT	0.95	71
	Z4	14	DSX8 LED 12C 700 40K ASY	LED	1	2335	D-SERIES BOLLARD WITH 12 4000K LEDES OPERATED AT 700mA AND ASYMMETRIC DISTRIBUTION	0.95	31
	Z5	8	OWL1335	LED 3500K-HH	1	2470	WALL MOUNT HALF CYLINDER 36" VERTICAL	0.95	28.1

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Door 1 @ 5' From Door	X	11.1 fc	11.3 fc	10.8 fc	1.0:1	1.0:1
Door 2 @ 5' From Door	X	2.1 fc	2.1 fc	2.1 fc	1.0:1	1.0:1
Door 3 @ 5' From Door	X	2.3 fc	2.3 fc	2.3 fc	1.0:1	1.0:1
Door 4 @ 5' From Door	X	11.8 fc	11.8 fc	11.8 fc	1.0:1	1.0:1
Door 5 @ 5' From Door	X	11.7 fc	11.7 fc	11.7 fc	1.0:1	1.0:1
Door 6 @ 5' From Door	X	4.4 fc	4.4 fc	4.4 fc	1.0:1	1.0:1
Door 7 @ 5' From Door	X	4.0 fc	4.0 fc	4.0 fc	1.0:1	1.0:1
Door 8 @ 5' From Door	X	9.9 fc	10.1 fc	9.6 fc	1.1:1	1.0:1
Driving Lane - West	+	3.8 fc	7.9 fc	1.3 fc	3.3:1	2.5:1
Driving Surface - East	+	3.4 fc	8.5 fc	0.6 fc	14.2:1	5.7:1
Main Building Entrance @10'	X	8.5 fc	10.5 fc	8.3 fc	1.3:1	1.1:1
Main Entrance @30' from door	X	7.9 fc	14.3 fc	2.5 fc	5.7:1	3.2:1
Parking - East	+	4.6 fc	9.5 fc	1.8 fc	5.3:1	2.7:1
Parking - North	+	3.5 fc	6.0 fc	2.2 fc	2.7:1	1.6:1
Parking - South	+	3.3 fc	4.0 fc	2.4 fc	1.7:1	1.4:1
Parking - West	+	3.1 fc	4.2 fc	2.1 fc	2.0:1	1.5:1
Property Line - 1	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Property Line - 2	+	0.9 fc	4.0 fc	0.0 fc	N/A	N/A
Property Line - 3	+	0.1 fc	1.0 fc	0.0 fc	N/A	N/A
Property Line - 4	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
Side Walk - East	+	4.8 fc	11.8 fc	1.5 fc	7.9:1	3.2:1
Side Walk - From 86th Street	+	5.7 fc	14.5 fc	1.5 fc	9.7:1	3.8:1
Side Walks - West	+	8.2 fc	23.6 fc	2.5 fc	9.4:1	3.3:1

Plan View
Scale - 1" = 20ft