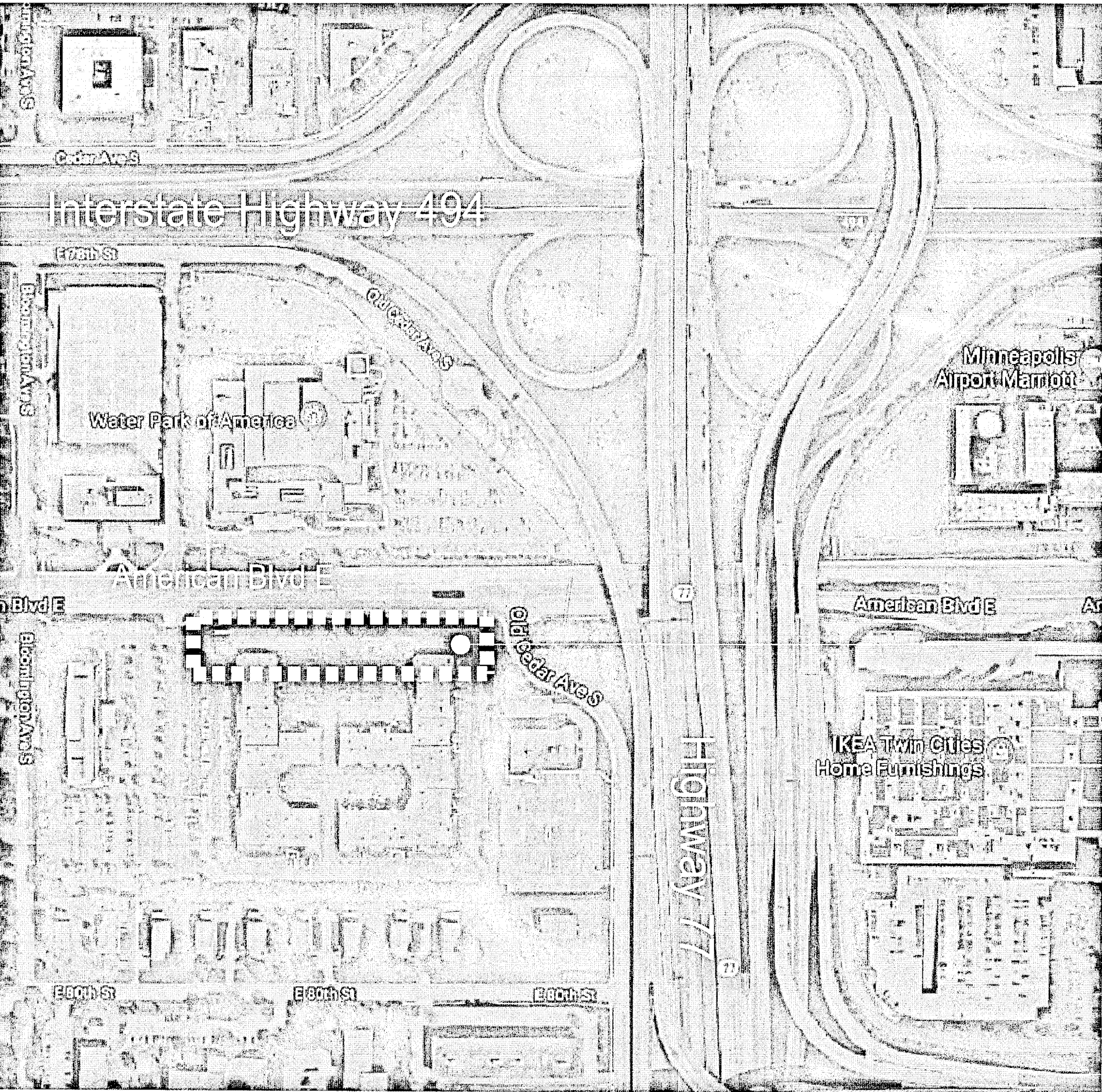


Sheet Index:

- L1.0 Title Page
- L1.1 Removals and Erosion Control Plan
- L1.2 Dimension Site Plan
- L1.3 Grading Plan
- L1.4 Landscape Plan
- L1.5 Landscape Details

Owner Review Set
March 9, 2018



SITE LOCATOR MAP:



SITE AND LANDSCAPE IMPROVEMENT CONSTRUCTION PACKAGE FOR:

Cedar Office Park

Parking Addition Project
Bloomington, Minnesota

Site Data:

Existing Total Lot Area:	396,930sf (9.112 Acres)
Existing Building Area:	119,916sf
Existing Paved Area:	202,888sf
Existing Pervious Area:	74,126sf
Existing Parking Count:	443
Proposed Parking Area:	3,376sf
Proposed Parking Count:	464
Impervious Increase:	.01%

PRELIMINARY
NOT FOR
CONSTRUCTION

Consultant:

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102
Telephone: 651.788.9018
Internet: www.calyxdesigngroup.com

WELSH
ARCHITECTURE

WELSH
CONSTRUCTION

Property Owner:

Alidade
Capital

Project Name:

**CEDAR
OFFICE
PARK**

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

THE ARCHITECT & LANDSCAPE ARCHITECT
SHALL BE DEEMED THE AUTHORS AND OWNERS
OF THEIR RESPECTIVE INSTRUMENTS OF
SERVICE AND SHALL RETAIN ALL COMMON
LAW, STATUTORY, AND OTHER RESERVED
RIGHTS, INCLUDING COPYRIGHTS OF THE
ATTACHED DOCUMENTS.

SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS:

03/26/18: FUTURE ROW LINE

PRELIMINARY

TITLE SHEET

L1.0



CONTRACTOR(S) ARE RESPONSIBLE
FOR OBTAINING UTILITY LOCATES.
INCLUDE PRIVATE UTILITIES SUCH AS
PHONE AND CABLE. CALL NO LESS
THAN 48 HOURS IN ADVANCE.

	Anticipated Disturbed Area		Construction Limits
	Construction Rock Log		Storm Sewer Sediment Protection Install Gravel Bags, 2 Rows High.
	Existing Storm Sewer Inlet Sediment Control		Existing Tree To Remain

1. ALL CONTRACTORS ARE REQUIRED TO CONTACT Gopher State ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
2. BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
3. PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
4. CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
5. MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
6. REFER TO SHEET 1.1.2 FOR SITE AND PAVING LAYOUT AND SHEET 1.1.3 FOR GRADING.
7. INSTALL 6" TOPSOIL OR FINEER DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
8. PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIFLINE.

1. FIELD-VERIFY ALL REMOVALS WITH THE OWNER PRIOR TO COMMENCEMENT OF WORK.
2. PER PLAN, REMOVE EXISTING BITUMINOUS AND CONCRETE SECTIONS AND UNDERLYING CLASS 5 BASE MATERIALS.
3. CONFORM TO THE CITY'S RULES FOR DEMOLITION, PER PERMIT INCLUDING ACCEPTABLE TIMES TO BEGIN AND END OUTDOOR WORK ACTIVITIES.
4. REPAIR ANY DAMAGE TO EXISTING CONDITIONS NOT SCHEDULED FOR DEMOLITION, INCLUDING OFF-SITE PAVING, SIGNS, VEGETATION, ETC.
5. THE DEMOLITION CONTRACTOR SHALL PROTECT EXISTING ELEMENTS NOT SCHEDULED FOR DEMOLITION THAT DO NOT INTERFERE WITH PROPOSED WORK.
6. DEMOLITION CONTRACTOR SHALL PROVIDE AIR QUALITY CONTROL MEASURES. DEMOLITION CONTRACTOR SHALL TAKE NECESSARY MEASURES TO MINIMIZE DUST LEVELS.
7. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF EXISTING STRUCTURES AND OBJECTS THAT INTERFERE WITH THE PROPOSED CONSTRUCTION AS SHOWN IN THIS CONSTRUCTION PACKAGE.
8. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PUBLIC STREET, SIDEWALKS AND RIGHT OF WAY FREE OF DEBRIS INCLUDING DUST, MUD, STONES AND CONSTRUCTION MATERIALS. CHECK THE ABOVE LISTED AREAS NO LESS THAN ONCE DAILY FOR SUCH MATERIALS AND REMOVE AS NECESSARY. HAUL AWAY ALL CONCRETE, BITUMINOUS, GRAVEL, SOIL, PLANTS, ETC. AS A RESULT OF DEMOLITION.
9. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND APPROVALS AS PART OF THE BASE CONTRACT.
10. INSTALL ROCK LOG, SILT FENCE, & OTHER EROSION CONTROL MEASURES NOTED ON GRADING PLAN PRIOR TO COMMENCEMENT OF DEMOLITION WORK, IN ACCORDANCE WITH STATE LAW. AL EROSION CONTROL TO COMPLY WITH MnPCA, MnDOT, AND LOCAL WATERSHED REQUIREMENTS, RULES, AND REGULATIONS.
11. COORDINATE DISCONNECTION OF PUBLIC AND PRIVATE UTILITIES WITH THEIR PROVIDER. REQUIRED INSPECTIONS INCLUDING TRENCH CONNECTION COMPACTON SHALL BE PAID FOR AS PART OF THE BASE DEMOLITION BID WITHIN THE CONTRACT. FEES REQUIRED FOR UTILITY DISCONNECTION SHALL BE PAID BY THE CONTRACTOR.
12. REFER TO SHEET L1.3 FOR GRADING PLAN.
13. ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES. NOTIFY THE ARCHITECT AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
14. CLEAN-UP THE AREAS SURROUNDING THE CONSTRUCTION AREA, INCLUDING EXCESS SPOILS, GRAVEL, DEBRIS, ETC. POWER-WASH CONCRETE AREAS & REMOVE BOBCAT TIRE MARKS.
15. BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
16. PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.

17. ALTA SURVEY DATA WAS PROVIDED BY SUNDE LAND SURVEYING, 2014. EXISTING CONDITION INFORMATION SHOWN IS FOR REFERENCE ONLY AND IS NOT DEEMED ACCURATE OR RELIABLE. CONTRACTORS ARE TO FIELD VERIFY THE CURRENT EXISTING CONDITIONS TO THEIR OWN SATISFACTION PRIOR TO BIDDING AND CONSTRUCTION. SURVEY WORK AS PART OF CONSTRUCTION IS TO BE INCLUDED IN THE CONTRACTOR'S BID.
18. IF MATERIAL BELIEVED TO BE ASBESTOS OR POLYCHLORINATED BIPHENYL (PCB) OR OTHER SIMILAR HAZARDOUS OR TOXIC SUBSTANCES ARE FOUND INCLUDING UNDERGROUND TANKS, IMMEDIATELY STOP WORK AND REPORT THE CONDITION TO THE OWNER AND CONSTRUCTION MANAGER IN WRITING. IF SUSPECTED MATERIAL IS DETERMINED TO BE ASBESTOS OR PCB OR A SIMILAR HAZARDOUS OR TOXIC SUBSTANCE, DO NOT COMMENCE WORK UNTIL THE MATERIAL HAS BEEN RENDERED HARMLESS OR REMOVED.
19. PERFORM WORK IN ACCORDANCE WITH THE LAWS, ORDINANCES, RULES, REGULATIONS, AND ORDERS OF PUBLIC AUTHORITY HAVING JURISDICTION. SECURE AND PAY FOR PERMITS, GOVERNMENTAL FEES AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE DEMOLITION WORK.
20. PRIOR TO THE START OF DEMOLITION WORK, DISCONNECT OR ARRANGE FOR THE DISCONNECTION OF UTILITY SERVICE CONNECTIONS TO BUILDINGS/STRUCTURES TO BE DEMOLISHED SUCH AS WATER, SEWER, GAS, ELECTRIC, CABLE, AND TELEPHONE IN ACCORDANCE WITH THE REGULATIONS OF THE UTILITY CONCERNED. SEAL STORM AND SANITARY SEWERS LEADING FROM STRUCTURES TO BE DEMOLISHED.
21. PROVIDE PROTECTIVE COVERINGS AND ENCLOSURES AS NECESSARY TO PREVENT DAMAGE TO EXISTING WORK THAT IS TO REMAIN. EXISTING WORK TO REMAIN MAY INCLUDE ITEMS SUCH AS TREES, SHRUBS, LAWNS, SIDEWALKS, DRIVES, CURBS, UTILITIES, BUILDINGS AND/OR OTHER STRUCTURES ON OR ADJACENT TO THE DEMOLITION SITE. PROVIDE TEMPORARY FENCES AND BARRICADES AS REQUIRED FOR THE SAFE AND PROPER EXECUTION OF THE WORK AND THE PROTECTION OF PERSONS AND PROPERTY.
22. THOROUGHLY WET DOWN CONSTRUCTION DURING DEMOLITION IN ORDER TO PREVENT THE SPREAD OF DUST.
23. REMOVE DEBRIS, WASTE, AND RUBBISH PROMPTLY FROM THE SITE. ON-SITE BURIAL OF DEBRIS IS NOT PERMITTED. BURN NO DEBRIS ON THE SITE. SALVAGE MATERIAL NOT OTHERWISE INDICATED TO BE REUSED SHALL BECOME THE CONTRACTOR'S PROPERTY AND IS TO BE REMOVED PROMPTLY FROM THE SITE AND DISPOSED OF IN STRICT ACCORDANCE WITH ALL APPLICABLE LAWS, REGULATIONS, AND/OR STATUTES.
24. BUILDINGS, FEATURES, SURFACES, AND OTHER DESCRIPTIVE REFERENCES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY. FIELD VERIFY ALL INFORMATION RELEVANT TO THE PROJECT PRIOR TO PROCEEDING WITH THE WORK. VISIT THE SITE AND RECORD ALL SITE CONDITIONS AND HAZARDS.
25. STRAIGHT LINE SAW-CUT EXISTING BITUMINOUS OR CONCRETE SURFACING AT THE PERIMETER OF PAVEMENT TO EXPOSE SURFACES.
26. ALL CONTRACTOR ON-SITE SHALL TAKE CARE TO MAINTAIN THE SILT FENCE AT ALL TIMES. IMMEDIATELY REPAIR ANY DAMAGE TO THE SILT FENCE AND CHECK THE FENCE AFTER SIGNIFICANT RAIN EVENTS, PER WATERSHED DISTRICT, & MPCA REQUIREMENTS. INSTALL SUPPLEMENTAL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION, CHAIR LOGS, AND BALE CHECKS AS NECESSARY.
27. TAKE ALL PRECAUTIONS TO PREVENT DAMAGE TO BUILDINGS AND EXISTING CONDITIONS TO REMAIN, AS WELL AS PEDESTRIAN SAFETY.

IS NOT PERMITTED. BURN NO DEBRIS ON THE TRACTOR'S PROPERTY, AND IS TO BE REMOVED LAWS, REGULATIONS, AND/OR STATUTES.

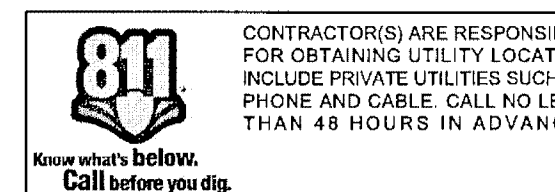
WARNING ARE FOR INFORMATIONAL PURPOSES. VISIT THE WEBSITE FOR THE LATEST INFORMATION ON THE PROJECT.

OF PAVEMENT. THE FOLLOWING ARE:

IMMEDIATELY PREPARE ANY DAMAGE TO THE SILT. MPICA REQUIREMENTS. INSTALL AND BAILE CHECKS. BE NECESSARY.

MAIN, AS WELL AS PEDES TRIAN SAFETY.

**PRELIMINARY
CONSTRUCTION**



0 15' 30'

SCALE: 1"=15'-0"

NORTH

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102

telephone: 651.788.9018
internet: www.calyxdesigngroup.com



Property Owner:

Alidade®
Capital

Project Name:

CEDAR
OFFICE
PARK

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

THE ARCHITECT & LANDSCAPE ARCHITECT SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS OF THE ATTACHED DOCUMENTS.

SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS

03/26/18: FUTURE ROW LINE

PRELIMINARY

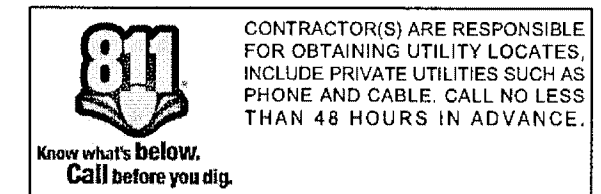
REMOVALS AND EROSION CONTROL PLAN

L1.1

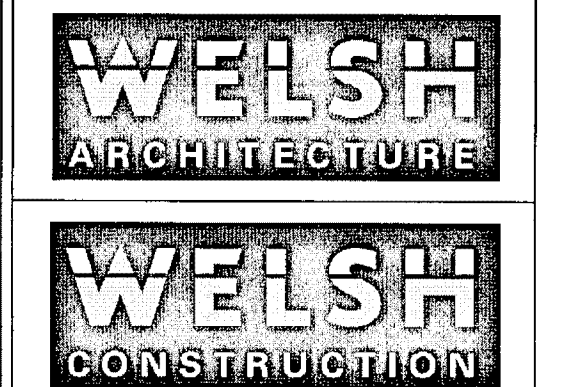
	Anticipated Disturbed Area		Construction Limits
	Construction Rock Log		Storm Sewer Sediment Protection Install Gravel Bags, 2 Rows High.
	Existing Tree To Remain		

1. ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL, NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
2. BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
3. PREVENT FEEDSTOCK FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
4. CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
5. MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
6. REFER TO SHEET L1.2 FOR SITE AND PAVING LAYOUT AND SHEET L1.3 FOR GRADING.
7. INSTALL 6" OF TOPSOIL, OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
8. PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIFLINE.

PRELIMINARY
NOT FOR
CONSTRUCTION



Consultant:
 CALYX DESIGN GROUP Landscape Architecture Site Design Planning
370 Selby Avenue Suite 301 Saint Paul, MN 55102 telephone: 651.788.9018 internet: www.calyxdesigngroup.com



Property Owner:

Alidade®
Capital

Project Name:

CEDAR
OFFICE
PARK

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

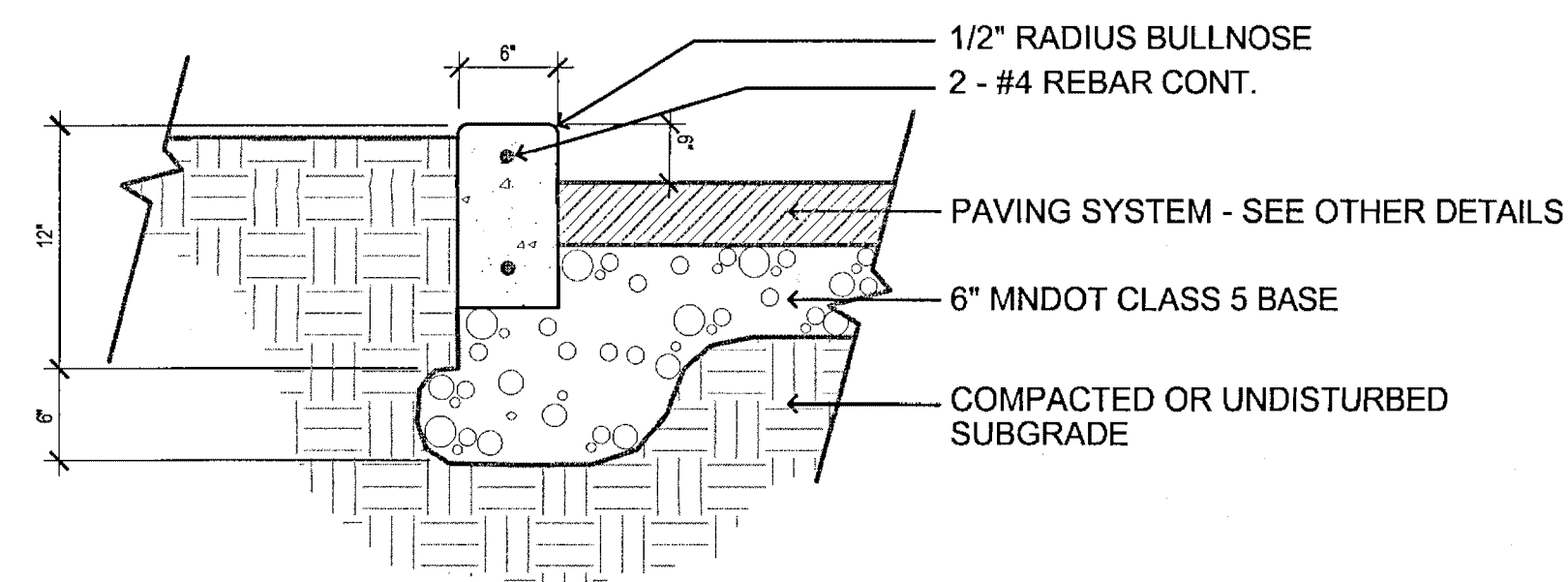
THE ARCHITECT & LANDSCAPE ARCHITECT SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS OF THE ATTACHED DOCUMENTS.

SCALE:	AS NOTED
DATE:	03/9/2018
REVISIONS:	
03/26/18:	FUTURE ROW LINE

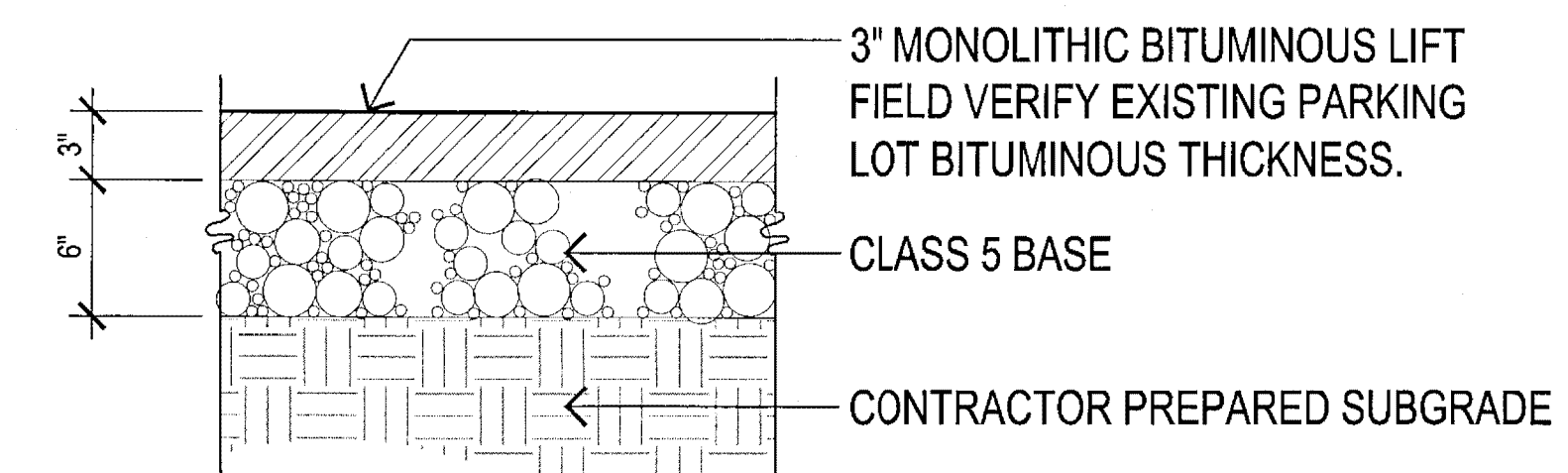
PRELIMINARY

DIMENSION
SITE PLAN

L1.2



1 6" CONCRETE CURB DETAIL
L1.2 NOT TO SCALE



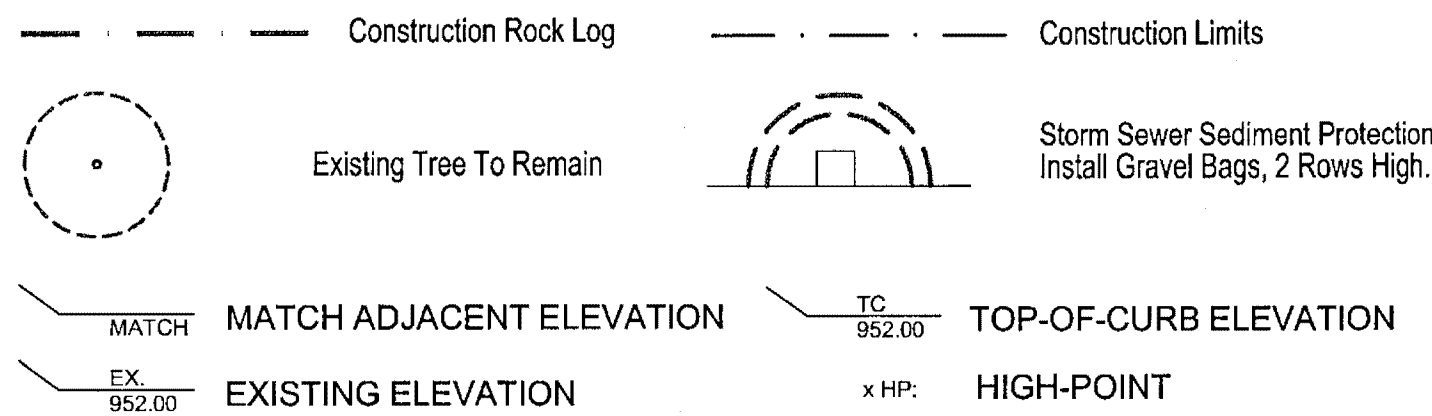
2 LIGHT-DUTY BITUMINOUS PAVEMENT SECTION
L12 NOT TO SCALE

[illegible]

DIMENSION SITE PLAN

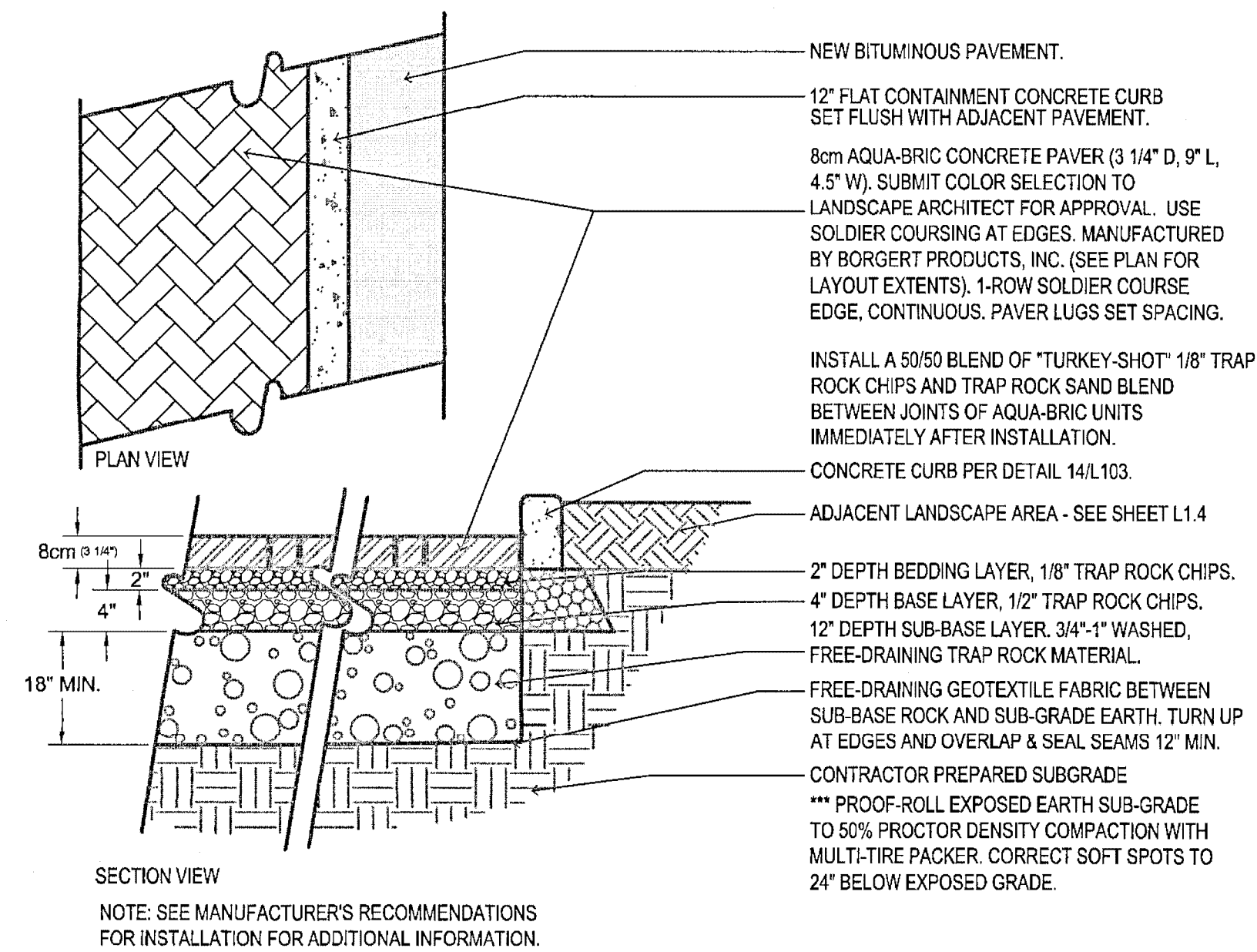


LEGEND:



GENERAL NOTES:

- ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING. FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
- BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
- PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
- CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
- MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
- REFER TO SHEET L1.2 FOR SITE AND PAVING LAYOUT AND SHEET L1.4 FOR LANDSCAPE PLAN.
- INSTALL 6" OF TOPSOIL OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
- PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIPLINE.
- NO TOPOGRAPHIC INFORMATION IS AVAILABLE. CONTRACTOR(S) TO FIELD MEASURE ELEVATIONS AND NOTIFY LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES OR CONCERNS REGARDING EXISTING GRADES AND THE IMPROVEMENTS SHOWN.



1
L1.3
NOT TO SCALE

PERMEABLE PAVER WITH 24" FREE DRAINING ROCK BASE

INFILTRATION CALCULATIONS:

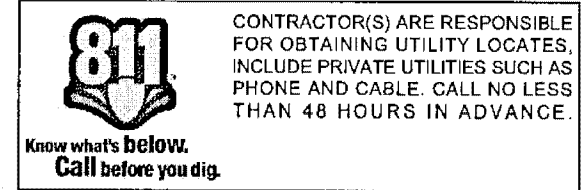
RUNOFF VOLUME CALCULATIONS:

New Impervious Surface Area: 3,376 SF
Runoff Coefficient: 1.1
Rainfall Event: 1 Inch
 $(3,376) \times (1.1) \times (.08) = 309\text{CF}$ Infiltration Volume Required
Note: A geotechnical report was not completed for this project. Sub-grade soils are assumed to allow for infiltration at .25"/hr.

ANTICIPATED INFILTRATION OF STORM WATER:

PERMEABLE PAVER AREA (SF)	ROCK DEPTH (FT)	RAW VOLUME (CF)	VOID COEFFICIENT	NET STORAGE VOLUME (CF)
433	2	866	0.45	389.7

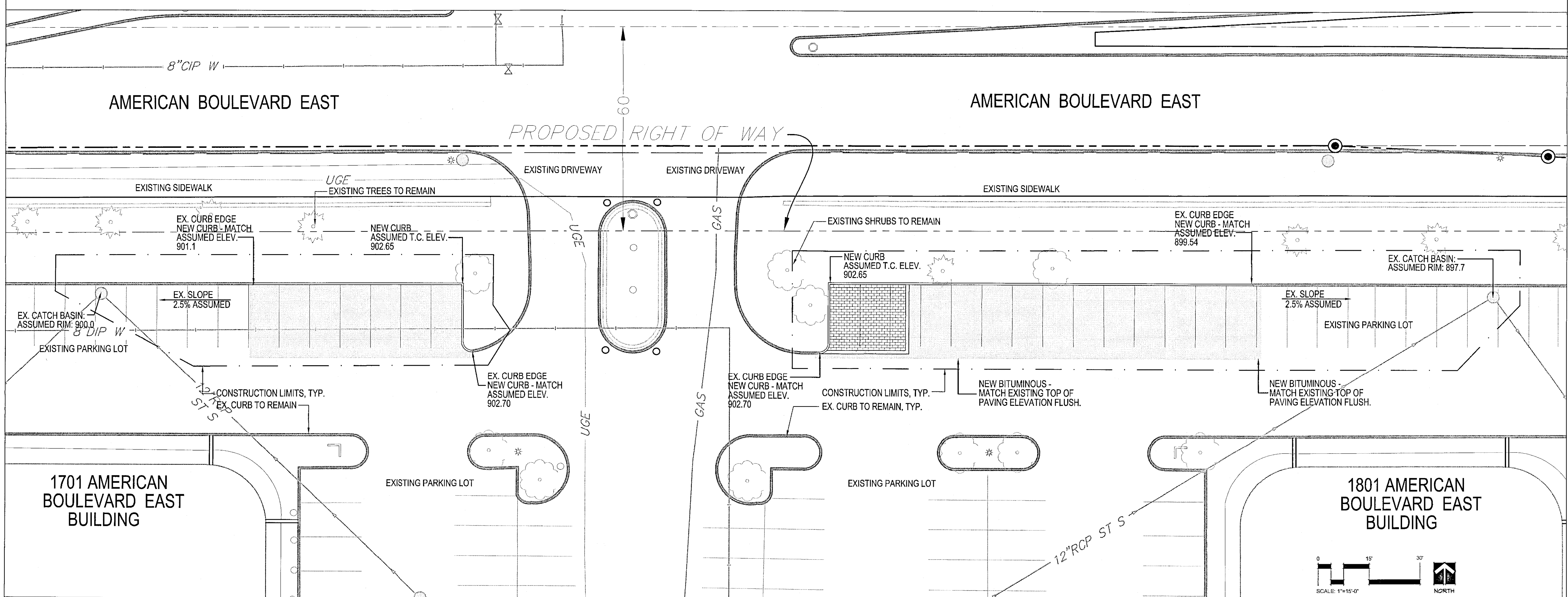
Infiltration Volume Requirement Met



CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING UTILITY LOCATES, INCLUDE PRIVATE UTILITIES SUCH AS PHONE AND CABLE. CALL NO LESS THAN 48 HOURS IN ADVANCE.

PRELIMINARY
NOT FOR
CONSTRUCTION

DETAILS AND NOTES:



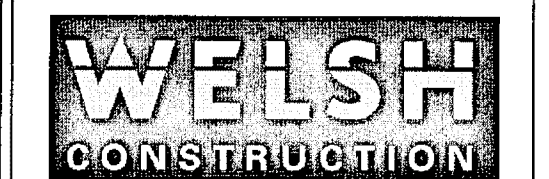
GRADING PLAN

Consultant:

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102

telephone: 651.788.9018
internet: www.calyxdesigngroup.com



Property Owner:

Alidade
Capital

Project Name:

**CEDAR
OFFICE
PARK**

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

THE ARCHITECT & LANDSCAPE ARCHITECT SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS OF THE ATTACHED DOCUMENTS.

SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS:

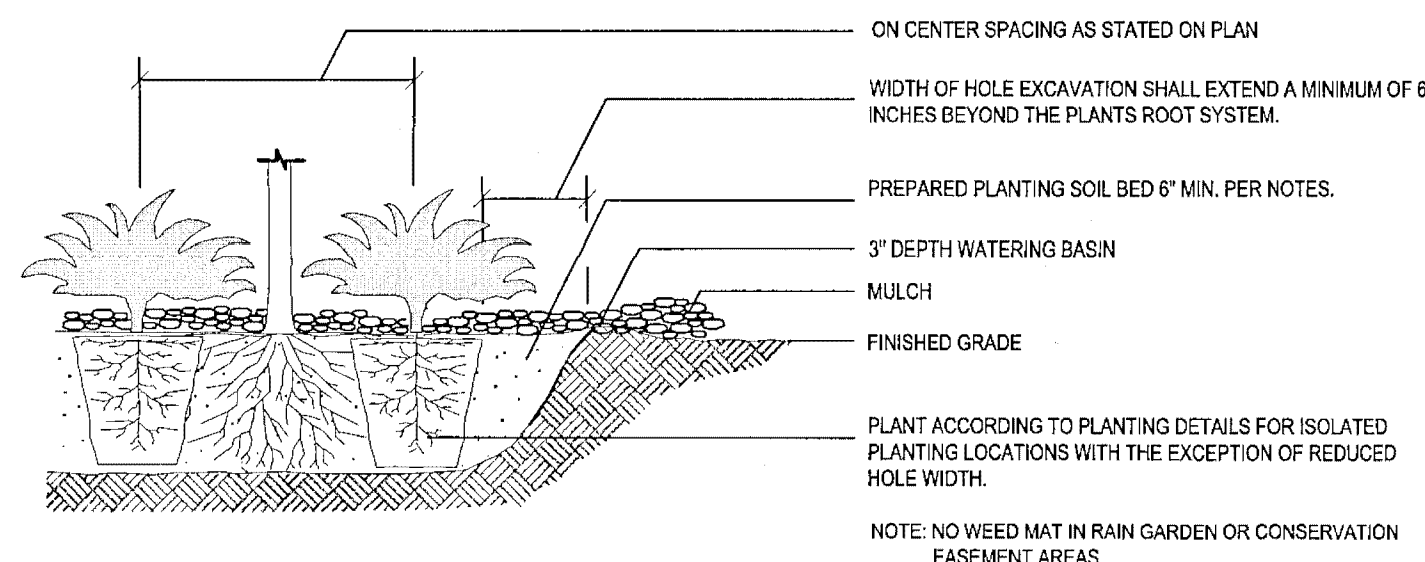
03/26/18: FUTURE ROW LINE

PRELIMINARY

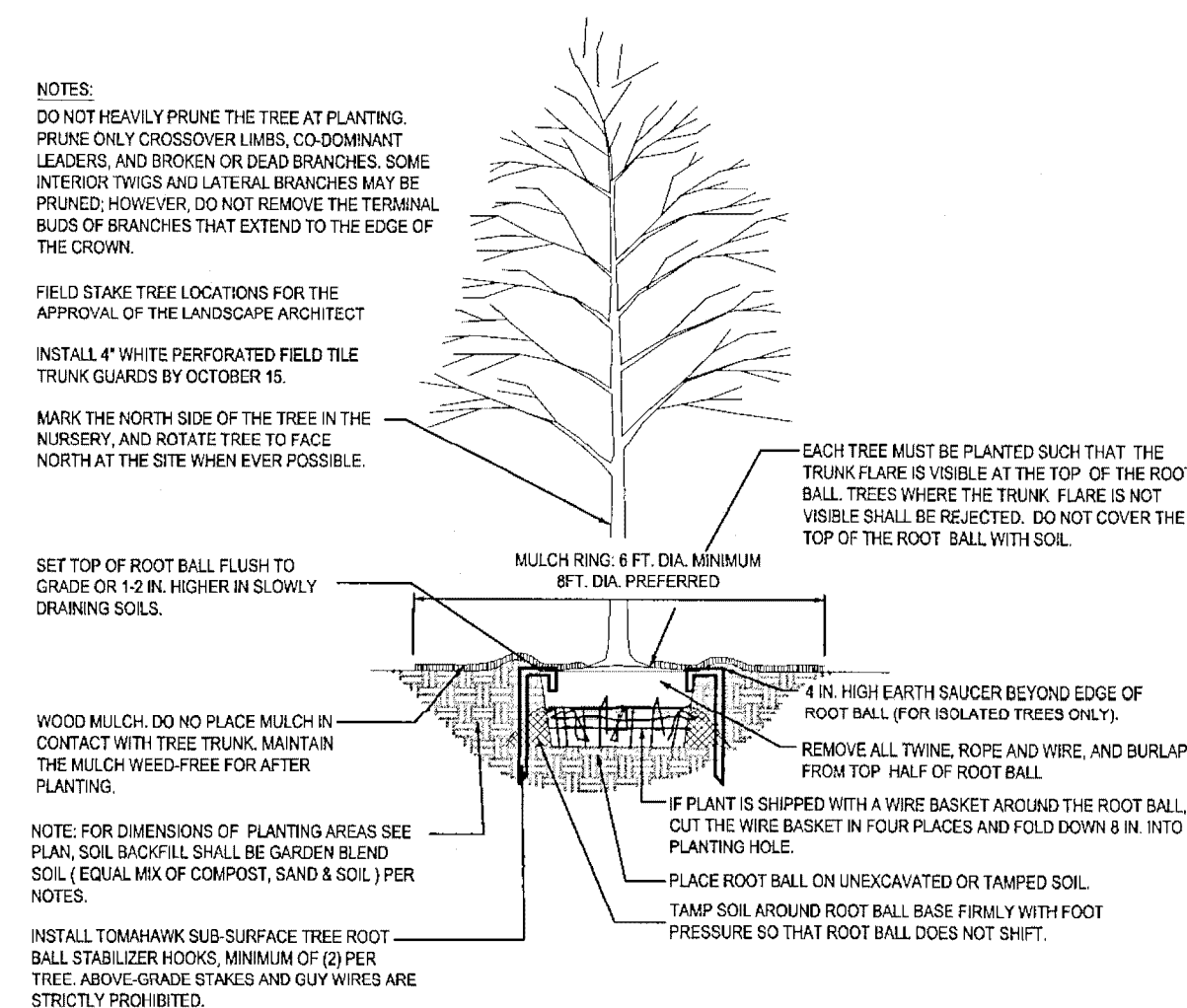
GRADING PLAN

L1.3

1. ALL CONTRACTORS ARE REQUIRED TO CONTACT Gopher State ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
2. MATCH-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TOPSOIL WHICH SHALL BE AT LEAST 6" DEEP AND SUITABLE FOR PLANTING.
3. PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
4. CONTRACTOR TO VERIFY ALL EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
5. MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
6. REFER TO SHEET L-2 FOR SITE AND PAVING LAYOUT AND SHEET L-3 FOR GRADING.
7. INSTALL 6" TOPSOIL OR SOLOE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
8. PREPARE ESTIMATED VEGETATION LIST AND SPECIFICATIONS FOR DELIVERY OF MATERIALS WITHIN THE DRIFLINE.
9. REFER TO SHEET L-5 FOR PLANT LEGEND AND PLANTING NOTES.



1 TYPICAL SHRUB PLANTING DETAIL
L1.4 NOT TO SCALE



2 TYPICAL TREE PLANTING DETAIL
L1.4 NOT TO SCALE

PRELIMINARY
NOT FOR
CONSTRUCTION

8" CIP W

AMERICAN BOULEVARD EAST

PROPOSED RIGHT OF WAY

60

EXISTING DRIVEWAY

EXISTING DRIVEWAY

EXISTING SIDEWALK

EXISTING SIDEWALK

EXISTING TREES TO REMAIN

EXISTING SHRUBS TO REMAIN

LANDSCAPE EDGER, TYP.

LANDSCAPE EDGER, TYP.

3' CLEAR OVER-HANG AREA

3' CLEAR OVER-HANG AREA

EXISTING PARKING LOT

EXISTING PARKING LOT

EXISTING PARKING LOT

EXISTING PARKING LOT

1701 AMERICAN BOULEVARD EAST BUILDING

1801 AMERICAN BOULEVARD EAST BUILDING

12" RCP ST S

SCALE: 1"=15'-0"

NORTH

LANDSCAPE PLAN

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102

Telefon: 054 390 0010

internet: www.calyxdesigngroup.com

WELSH
ARCHITECTURE

WELSH
CONSTRUCTION

Alidade®
Capital

Project Name:

CEDAR
OFFICE
PARK

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

THE ARCHITECT & LANDSCAPE ARCHITECT
SHALL BE DEEMED THE AUTHORS AND OWNERS
OF THEIR RESPECTIVE INSTRUMENTS OF
SERVICE AND SHALL RETAIN ALL COMMON
LAW, STATUTORY, AND OTHER RESERVED
RIGHTS, INCLUDING COPYRIGHTS OF THE
ATTACHED DOCUMENTS.

SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS:

03/26/18: FUTURE ROW LINE

PRELIMINARY

LANDSCAPE PLAN

L1.4

GENERAL NOTES:

- ALL CONTRACTORS ARE REQUIRED TO CONTACT GOPHER STATE ONE CALL NO LESS THAN 48 HOURS PRIOR TO DIGGING, FOR FIELD LOCATION OF UTILITIES NOTIFY THE OWNER AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT ARE FOUND IN THE FIELD BETWEEN THE PLAN SET AND EXISTING CONDITIONS.
- BACK-FILL AREAS RELATED TO DEMOLITION AND NEW CONSTRUCTION WITH IMPORTED TOP SOIL, INCLUDING TRENCHES WHICH SHALL BE COMPACTED, TO SURROUNDING GRADE.
- PREVENT PEDESTRIANS FROM WALKING THROUGH OR INTERFERING WITH THE CONSTRUCTION SITE AND ITS IMPROVEMENTS. MAKE SURE TO SECURE MATERIALS, TOOLS, ETC. BEFORE LEAVING THE SITE FOR THE DAY TO PREVENT THEFT OR VANDALISM.
- CONTRACTOR TO VERIFY EXISTING GRADES AND SITE CONDITIONS PRIOR TO PRICING. SURVEY DATA SHOWN IS NOT GUARANTEED ACCURATE OR RELIABLE.
- MATCH ALL EXISTING GRADES WITH NEW PAVING OR LANDSCAPING.
- REFER TO SHEET L1.2 FOR SITE AND PAVING LAYOUT AND SHEET L1.3 FOR GRADING.
- INSTALL 6" OF TOPSOIL OR SLOPE DRESSING ON ALL LANDSCAPE AREAS, INCLUDING RIGHT-OF-WAY BOULEVARDS.
- PROTECT EXISTING VEGETATION TO REMAIN AND PREVENT STOCKPILING OF MATERIALS WITHIN THE DRIPLINE.
- REFER TO SHEET L1.4 FOR LANDSCAPE LAYOUT PLAN AND DETAILS.

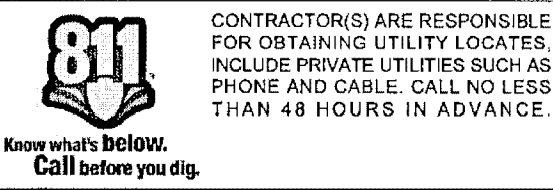
Landscape Notes:

- Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- The contractor shall guarantee newly planted material through TWO calendar years from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- Replacement and repairs requested by the Owner during the warranty period must be made within 14 business days of the request.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Irrigation: the landscape contractor is responsible for the function and protection of the existing irrigation system outside the proposed work limits, during construction. Landscape contractor to adjust head spray and zone run times as necessary to ensure turf and plants within and outside the work limits, remains irrigated. Remove and salvage existing irrigation equipment within construction limits for re-use ahead of excavation work. Sleeve under new paving as necessary to irrigate areas now isolated from the original system. Clearly mark underground piping and coordinate line & stub locations with General Contractor. Provide a new layout that irrigates all new landscape areas and connects to the existing system.
- All sod areas shall be prepared prior to planting with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc. Any alternate seed mixtures, rates, & application method noted shall be submitted to the landscape architect for approval.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted on the civil plan, including the stump to 30" below grade.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- Landscape contractor shall be responsible for coordinating the trimming of existing trees to remain, providing shape & form in accordance with arboricultural standards. A state licensed arborist shall be engaged as part of this project to assess the site prior to submission of bids and trim trees prior to all other side work, upon general contractor's authorization to proceed.
- Do not place woody plant materials in easement areas. Coordinate field staking of easements with General Contractor.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	TS	Gleditsia triacanthos 'Suncole'	Sunburst Honeylocust	2.5" Cal.	B&B	1	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	VA	Viburnum trilobum 'Compactum'	Compact American Cranberry Viburnum	3 gal.	Pot	56	

DETAILS AND NOTES:

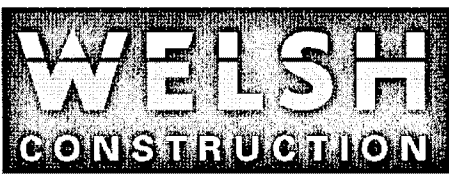
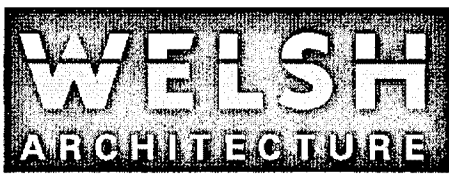


PRELIMINARY
NOT FOR
CONSTRUCTION

Consultant:

CALYX
DESIGN GROUP
Landscape Architecture
Site Design
Planning

370 Selby Avenue | Suite 301
Saint Paul, MN 55102
telephone: 651.788.9018
internet: www.calyxdesigngroup.com



Property Owner:

Alidade
Capital

Project Name:

**CEDAR
OFFICE
PARK**

PARKING ADDITION

1701 + 1801
AMERICAN
BOULEVARD E.

BLOOMINGTON, MN

THE ARCHITECT & LANDSCAPE ARCHITECT
SHALL BE DEEMED THE AUTHORS AND OWNERS
OF THEIR RESPECTIVE INSTRUMENTS OF
SERVICE AND SHALL RETAIN ALL COMMON
LAW, STATUTORY, AND OTHER RESERVED
RIGHTS, INCLUDING COPYRIGHTS OF THE
ATTACHED DOCUMENTS.

SCALE: AS NOTED

DATE: 03/9/2018

REVISIONS:

03/26/18: FUTURE ROW LINE

PRELIMINARY

LANDSCAPE
DETAILS

L1.5