

Must meet current MN State
Building Code

PL2018-343

PROJECT

Provide a photometric plan that demonstrates the new parking area meets minimum lighting. 2.0 footcandles is required for the driveway and west stalls. 1.0 footcandle is required for the eastern stalls (perimeter stalls).

BUILDING ADDITION

LYNDALE OFFICE
BLOOMINGTON, MINNESOTA

ISSUED SET _____
 REVISIONS _____
 DATE NO.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION, AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE LAWS OF THE
STATE OF MINNESOTA

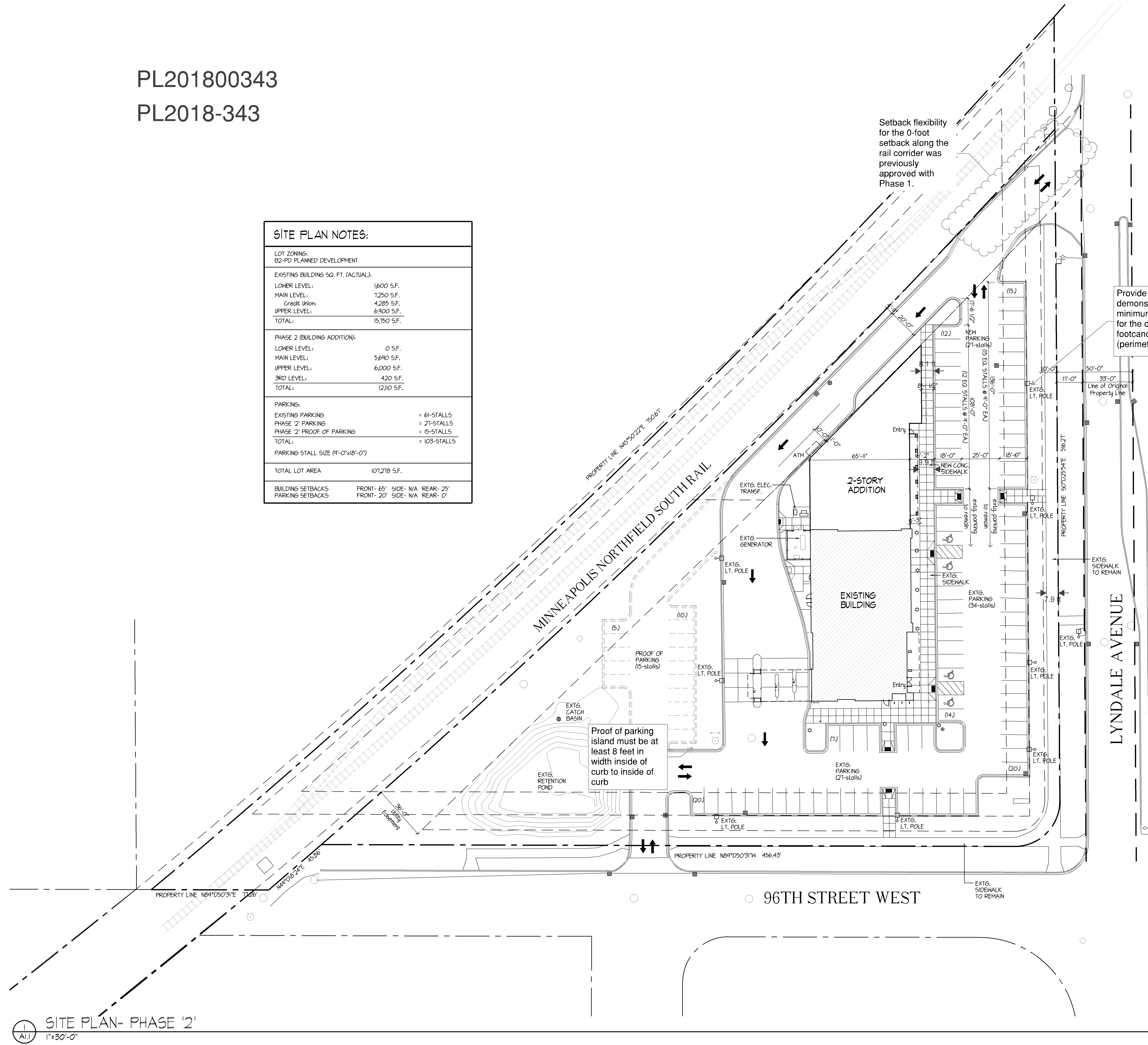
REG. NO. _____ DATE _____

SITE PLAN

DRAWN BY: HLH. CHECKED BY: RES.

A1.1

181102 SH-181102
COPYRIGHT © BY HTG ARCHITECTS



PL201800343
PL2018-343



www.htg-architects.com
Minneapolis Tampa Bismarck

9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

PROJECT

RBCU

BUILDING ADDITION

LYNDALE OFFICE
BLOOMINGTON, MINNESOTA

ISSUED SET
REVISIONS
DATE NO.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION, AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE LAWS OF THE
STATE OF MINNESOTA

REG. NO. DATE

SITE PLAN

DRAWN BY: HLH. CHECKED BY: RES.

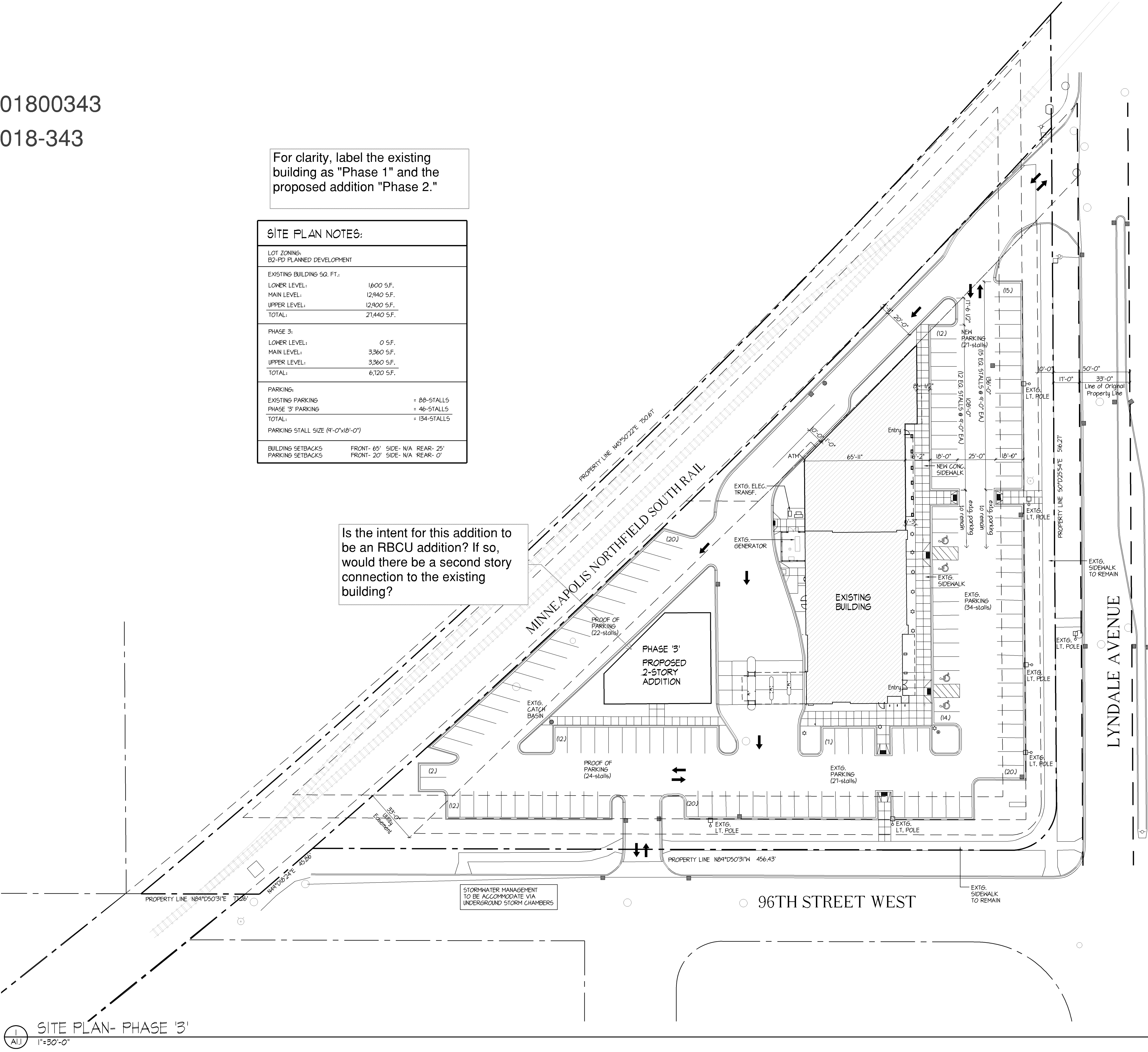
A1.1

181102 SH181102
COPYRIGHT © BY HTG ARCHITECTS

For clarity, label the existing building as "Phase 1" and the proposed addition "Phase 2."

SITE PLAN NOTES:	
LOT ZONING: B2-PD PLANNED DEVELOPMENT	
EXISTING BUILDING SQ. FT.:	
LOWER LEVEL:	1,600 S.F.
MAIN LEVEL:	12,940 S.F.
UPPER LEVEL:	12,900 S.F.
TOTAL:	27,440 S.F.
PHASE 3:	
LOWER LEVEL:	0 S.F.
MAIN LEVEL:	3,360 S.F.
UPPER LEVEL:	3,360 S.F.
TOTAL:	6,720 S.F.
PARKING:	
EXISTING PARKING	= 88-STALLS
PHASE '3' PARKING	= 46-STALLS
TOTAL:	= 134-STALLS
PARKING STALL SIZE (9'-0"x18'-0")	
BUILDING SETBACKS FRONT- 65' SIDE- N/A REAR- 25'	
PARKING SETBACKS FRONT- 20' SIDE- N/A REAR- 0'	

Is the intent for this addition to be an RBCU addition? If so, would there be a second story connection to the existing building?



SITE PLAN- PHASE '3'
1"=30'-0"

[illegible]

9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

PROJECT

RBCU

BUILDING ADDITION

LYNDALE OFFICE
BLOOMINGTON, MINNESOTA

[illegible]

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION
OR REPORT WAS PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION, AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE LAWS OF THE
STATE OF MINNESOTA

REG. NO. _____ DATE _____

EXTERIOR ELEVATIONS

DRAWN BY: HLH. CHECKED BY: RES.

A3

181102 EE-181102
COPYRIGHT © BY HTG ARCHITECTS

1
A3 EAST EXTERIOR ELEVATION
1/8"=1'-0"

All new free standing or wall signs will require sign permits.

Stone and glass are permitted exterior materials. The use of metal panels requires additional review. Please provide details on the proposed metal panels. What was selected for the W. Old Shakopee branch could be used here.

T.O. STONE
EL. = 128'-0"

SPLIT-FACE STONE

M.L. FINISH FLOOR
EL. = 100'-0"

T.O. BRICKLEDGE
EL. = 91'-4"
SEE STRUCT.

T.O. FOOTING
EL. = 96'-0"
SEE STRUCT.

PREFIN. MTL. COMPOSITE
PANELS-COLOR 'B'

DRIVE-UP
ATM

ANGLED

NEW ADDITION

the proposed metal panels. What was selected for the W. Old Shakopee branch could be used here.

2 NORTH EXTERIOR ELEVATION
A3 1/8"=1'-0"

Architectural elevation drawing of a building facade. The drawing shows a long, low building with a brick pattern. The facade is divided into sections: "NEW ADDITION" on the left and "EXISTING BUILDING" on the right. The "NEW ADDITION" section features a "SPLIT-FACE STONE" texture and a "T.O. STONE" elevation of 128'-0". The "EXISTING BUILDING" section has a standard brick pattern and a "T.O. STONE" elevation of 128'-0". The "NEW ADDITION" section also has a "M.L. FIN. FLR." elevation of 100'-0" and a "T.O. FOOTING" elevation of 96'-0". The "EXISTING BUILDING" section has a "M.L. FIN. FLR." elevation of 100'-0" and a "T.O. FOOTING" elevation of 96'-0". The drawing includes various window and door openings, some with stone lintels and sills. A note indicates "INFILL EXTG. DOOR OPNG. W/ STONE TO MATCH EXTG." for a door opening. The drawing is dated 03/03/2014 and is labeled "ELEVATION 4th Flr 03".

3 WEST EXTERIOR ELEVATION
A3 1/8"=1'-0"

[Downloaded from ascelibrary.org by University of California, San Diego on 07/06/15](#)

MAIN LEVEL PLAN

1/8"=1'-0"

[illegible]

1. THRESHOLD.
2. WEATHER STRIPPING.
3. CLOSER.
4. AUTOMATIC HCP. DOOR OPENER.
5. ELECTRIC LOCK (BY G.C.) & CARD READER/FOB. (DEVICE BY OTHERS).
6. COAT HOOK.
7. GATE TO HAVE SPRING-LOADED HINGE.
8. GATE TO HAVE CASTER AT NON-HINGE END OF GLASS PANEL.

www.htg-architects.com
Minneapolis Tampa Bismarck

9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

PROJECT

RBCU

BUILDING ADDITION

LYNDALE OFFICE
BLOOMINGTON, MINNESOTA

ISSUED SET
REVISIONS
DATE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

REG. NO.

REG. NO.

MAIN LEVEL PLAN

DRAWN BY: HLH.

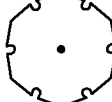
CHECKED BY: RE

A2.2

181102 ML-181102
COPYRIGHT © BY HTG ARCHITECTS

<u>DECIDUOUS TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>
	GS	1	SKYLINE HONEY LOCUST GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B	2 - 1/2" CAL.
<u>ORNAMENTAL TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>
	AG	2	'AUTUMN BRILLIANCE' SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B	2 - 1/2" CAL.
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>
	RG	12	GRO-LOW FRAGRANT SUMAC RHUS AROMATICA 'GRO-LOW'	CONT.	5 GAL.
	SM	11	MISS KIM LILAC SYRINGA PATULA 'MISS KIM'	CONT.	5 GAL.
	TT	12	TAUTON YEW TAXUS X MEDIA 'TAUNTONII'	CONT.	5 GAL.
<u>PERENNIALS</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>CONT.</u>	<u>SIZE</u>
	CK	11	FEATHER REED GRASS CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	CONT.	1 GAL.
	HO	49	STELLA DE ORO DAYLILY HEMEROCALLIS X 'STELLA DE ORO'	CONT.	1 GAL.

PLANTING SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON NAME	CONT.	SIZE
	GS	1	SKYLINE HONEY LOCUST GLEDISIA TRIACANTHOS 'SKYLINE'	B&B	2 - 1/2" CAL.
ORNAMENTAL TREES	CODE	QTY	COMMON NAME	CONT.	SIZE
	AG	2	'AUTUMN BRILLIANCE' SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	B&B	2 - 1/2" CAL.
SHRUBS	CODE	QTY	COMMON NAME	CONT.	SIZE
	RG	12	GRO-LOW FRAGRANT SUMAC RHUS AROMATICA 'GRO-LOW'	CONT.	5 GAL.
	SM	11	MISS KIM LILAC SYRINGA PATULA 'MISS KIM'	CONT.	5 GAL.
	TT	12	TAUTON YEW TAXUS X MEDIA 'TAUNTONII'	CONT.	5 GAL.
PERENNIALS	CODE	QTY	COMMON NAME	CONT.	SIZE
	CK	11	FEATHER REED GRASS CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	CONT.	1 GAL.
	HO	49	STELLA DE ORO DAYLILY HEMEROCALLIS X 'STELLA DE ORO'	CONT.	1 GAL.

PL201800343
PL2018-343

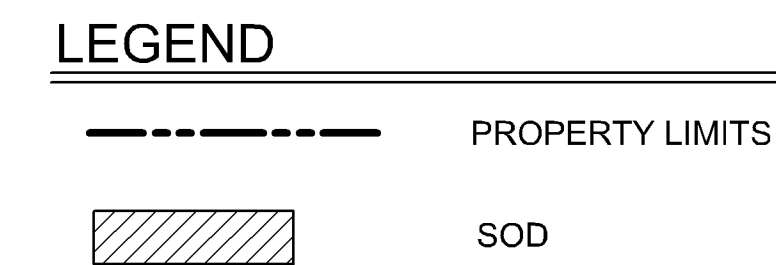
The landscape plan illustrates the proposed building expansion and existing building footprint. The plan is bounded by Minneapolis & Southern R.R. to the north, West 96th Street to the south, and Lyndale Avenue South to the east. The proposed building expansion has a Footprint Equivalent (FFE) of 826.2. The existing building has an FFE of 826.2 and a Building Footprint Equivalent (BFE) of 816.0. The plan includes detailed planting schedules for deciduous trees, ornamental trees, shrubs, and perennials, along with mulch and fabric specifications.

Planting Schedule:

- DECIDUOUS TREES:**
 - SKYLINE HONEY LOCUST (GLEDISIA TRIACANTHOS 'SKYLINE'): 1 unit, B&B, 2 - 1/2" CAL.
- ORNAMENTAL TREES:**
 - 'AUTUMN BRILLIANCE' SERVICEBERRY (AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'): 2 units, B&B, 2 - 1/2" CAL.
- SHRUBS:**
 - GRO-LOW FRAGRANT SUMAC (RHUS AROMATICA 'GRO-LOW'): 12 units, CONT., 5 GAL.
 - MISS KIM LILAC (SYRINGA PATULA 'MISS KIM'): 11 units, CONT., 5 GAL.
 - TAUTON YEW (TAXUS X MEDIA 'TAUNTONII'): 12 units, CONT., 5 GAL.
- PERENNIALS:**
 - FEATHER REED GRASS (CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'): 11 units, CONT., 1 GAL.
 - STELLA DE ORO DAYLILY (HEMEROCALLIS X 'STELLA DE ORO'): 49 units, CONT., 1 GAL.

Other Specifications:

- 3" DEEP, 1-1/2" WASHED RIVER ROCK MULCH OVER FABRIC (MATCH EXISTING)
- PROPOSED BUILDING EXPANSION FFE = 826.2
- EXISTING BUILDING FFE = 826.2, BFE = 816.0
- Planting along Lyndale Ave. must be retained or replanted.



 PROPERTY LIMITS
 SOD

1. ALL PLANTING SHALL RECEIVE IRRIGATION
(SEE L2 FOR IRRIGATION NOTES)

- DEVELOPABLE LANDSCAPING AREA: ~16,250 SF
- RETAINED EXISTING TREES (CREDIT): (3)
- TOTAL NUMBER OF TREES REQUIRED: (6)
- TOTAL NUMBER OF SHRUBS REQUIRED: (16)

Incorporate proposed landscaping with the phase 1 landscaping plan. The entire site must meet City landscaping requirements.



9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

***RICHFIELD BLOOMINGTON
CREDIT UNION***

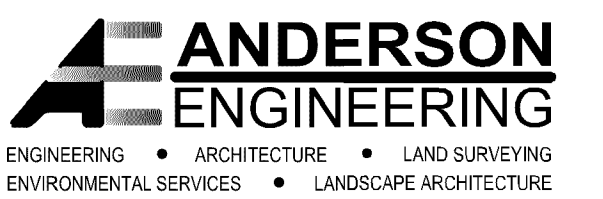
9550 LYNDALE AVE S
BLOOMINGTON, MN 55420

[illegible]

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JOE LUCHT, PLA

52858 10.05.2018
REG. NO. DATE



13605 1st Avenue North, Suite 100
Plymouth, MN 55441
Tel: 763-412-4000 Fax: 763-412-4090
www.ae-mn.com

DRAWN BY: JF CHECKED BY: JL

L1

LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.

NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN IMMEDIATE AREA.

IT IS THE RESPONSIBILITY OF THE OWNER & CONTRACTOR TO IDENTIFY ALL UNDERGROUND CABLES, CONDUITS, WIRES, ETC., ON THE PROPERTY.

THE CONTRACTOR IS RESPONSIBLE FOR COMPLETE MAINTENANCE OF THE PLANT MATERIAL (WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED, BY THE OWNER.

IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT SCHEDULE, THE NUMBER OF PLANTS SHOWN ON THE PLAN WILL TAKE PRECEDENCE.

ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF 6 MONTHS.

ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERMEN.

REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.

GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR. DECIDUOUS TREES WILL BE GUARANTEED FOR TWO CALENDAR YEARS FROM TIME OF PROVISIONAL ACCEPTANCE.

ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND SHALL BE APPROVED BY OWNERS REPRESENTATIVE BEFORE THEY ARE INSTALLED.

CONTRACTOR CAN SUBSTITUTE MACHINE MOVED MATERIAL USING APPROPRIATE SIZE TREE SPADE FOR B & B WITH OWNERS REPRESENTATIVE APPROVAL.

LANDSCAPE CONTRACTOR SHALL ENSURE THAT NEW TREES MOVED ONTO THE SITE ARE DUG FROM SIMILAR SITES WITH SIMILAR SOILS TO THE SOILS OF THIS PROJECT (HEAVY TO HEAVY, LIGHT TO LIGHT, HEAVY TO LIGHT SOILS).

LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE OWNER WITH MAINTENANCE INFORMATION DURING GUARANTEE PERIOD RELATING TO WATERING, FEEDING, PRUNING, PEST CONTROL, AND RELATED ITEMS. THIS WILL BE PREPARED AND DELIVERED TO OWNER AFTER PROVISIONAL INSPECTION APPROVAL HAS BEEN GIVEN BY OWNERS REPRESENTATIVE.

BREATHABLE SYNTHETIC FABRIC TREE WRAP: WHITE IN COLOR, IN 3 INCH WIDE ROLLS. MATERIAL SHALL BE SPECIFICALLY MANUFACTURED FOR TREE WRAPPING. TREE WRAP SHALL BE SECURED TO THE TRUNK USING BIO-DEGRADABLE TAPE SUITABLE FOR NURSERY USE AND WHICH IS EXPECTED TO DEGRADE IN SUNLIGHT IN LESS THAN 2 YEARS AFTER INSTALLATION. WRAP ALL TREES, EXCEPT HACKBERRY TREE SHALL BE PROTECTED PRIOR TO 12/1.

15. POLY EDGER UNLESS SPECIFIED OTHERWISE, SHALL BE BLACK VINYL STYLE EDGER.

19. LANDSCAPE FABRIC (FILTER MAT) TO HAVE A COMBINED WEIGHT OF 4.5-5.5 OZ. PER S.Y. FABRIC SHOULD BE U.V. STABILIZED AND HAVE A FIVE YEAR MINIMUM WEATHERABILITY FACTOR IN FULL SUNLIGHT. FABRIC TO BE PHILLIPS DUON R OR EQUIVALENT. SAMPLE REQUIRED FOR APPROVAL.

20. ALL PLANTING AREAS SPECIFIED SHALL RECEIVE 3" DEPTH 1" TO 1-1/2" GRAY TRAP ROCK SHALL BE INSTALLED OVER LANDSCAPED FABRIC AS INDICATED ON THE PANS & DETAILS.

21. ALL TREES PLANTED INDEPENDENTLY OF SPECIFIED BEDS SHALL RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITHOUT FABRIC.

22. ALL PLANTINGS SHALL RECEIVE FERTILIZER AND APPLIED AT THE RATE INDICATED BY THE MANUFACTURER. FERTILIZER SHALL BE GENERAL PURPOSE 10-10-10.

23. DECIDUOUS SHRUBS SHALL HAVE MINIMUM OF FIVE (5) CANES AT SPECIFIED HEIGHT NOTED IN PLANT SCHEDULE.

24. ALL PERENNIAL BEDS TO RECEIVE ROCK MULCH. SHALL HAVE LANDSCAPE FABRIC INSTALLED WITH HOLES FOR PLANTS CUT 2.5 TIMES THE DIAMETER OF THE CONTAINER.

25. IF THE CONTRACTOR FEELS AN ERROR HAS BEEN MADE REGARDING SPACING OR HARDNESS OF A SPECIES OF PLANT MATERIAL INDICATED ON THE PLAN, NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.

26. ALL NEWLY INSTALLED PLANT MATERIAL SHALL BE PLANTED IN WELL-DRAINED AREAS. CONTRACTOR SHALL AVOID INSTALLING ANY PLANT MATERIAL IN DRAINAGE SWALES OR WET & POORLY DRAINED AREAS.

27. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL TREE STAKES, GUYS, STRAPS AND TRUNK PROTECTION MEASURES FOLLOWING THE COMPLETION OF THE WARRANTIES PERIOD OR AS DIRECTED BY THE OWNER.

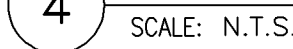
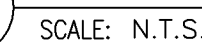
28. THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES.

29. THE CONTRACTOR SHALL MEET WITH THE OWNER ON SITE WHEN THEY FEEL THE PROJECT IS COMPLETE ACCORDING TO THE CONTRACT DOCUMENTS. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE WARRANTY PERIOD FOR ALL PLANT MATERIAL. THE OWNER SHALL PROVIDE A LETTER WITH SIGNATURE STATING THE DATE OF ACCEPTANCE.



SCALE: N.T.S.

SCALE: N.T.S.



NOTE:

- 3" DP. SHREDDED HARDWOOD MULCH SHALL BE USED IN ALL LANDSCAPE PLANTINGS AREAS AND UNDER TREES ISOLATED FROM PLANTING AREAS UNLESS IDENTIFIED OTHERWISE.

CENTER TREE IN HOLE, UPRIGHT

SINGLE STRAIGHT LEADER

TREE TIE SECURED TO STAKE. SECURE TO TREE WITH ANTI-CHAFFING MATERIAL. ALLOW FOR MOVEMENT OF TREE.

WRAP TREE WITH TREE WRAPPING MATERIAL AS SPECIFIED TO 1ST BRANCH

LAWN OR PLANTING BED EDGE (SPADE EDGE IN ALL LAWN AREAS)

6" MIN. DIA. EARTH SAUCER

(2) TREE STAKES DRIVEN A MIN. 2' BELOW GRADE (NW & SW)

3" DEPTH MULCH

3" HEIGHT TAMPED WATER BASIN AT EDGE OF EARTH SAUCER

FINISHED GRADE

AFTER EXPOSING TREE ROOT FLAIR, PLANT SO ROOT FLAIR IS AT 2" ABOVE ADJACENT FINISH GRADE

2"

3x ROOT BALL

REMOVE BURLAP, TWINE, ROPE AND WIRE FROM TOP HALF OF ROOTBALL

PLANTING SOIL

MOUND MIN. 6"

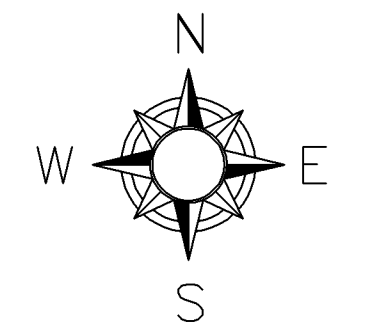
UNDISTURBED OR COMPACTED SOIL

12"-18"



LEGEND

- CATCH BASIN
- CLEAN OUT
- CULVERT
- ELECTRIC BOX
- ELECTRIC MANHOLE
- ELECTRIC METER
- GAS METER
- GUARD POST
- HANDICAP PARKING
- HANDHOLE ELECTRIC
- HYDRANT
- LIGHT POLE
- SANITARY MANHOLE
- SEMAPHORE
- SIGN
- STORM MANHOLE
- DECIDUOUS TREE
- FENCE
- GAS MAIN
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND ELECTRIC
- WATER MAIN
- FOUND IRON MONUMENT
- SET IRON PIPE WITH P.L.S. NO. 20281
- CONCRETE SURFACE
- BITUMINOUS SURFACE
- GRAVEL SURFACE



0 30 60
SCALE IN FEET

PL201800343
PL2018-343

SURVEY FOR: **HTG ARCHITECTS**

PROPERTY ADDRESS: 9550 Lyndale Avenue South, Bloomington, Minnesota.

LEGAL DESCRIPTION:

Lot 1, Block 1, RBCU ADDITION, Hennepin County, Minnesota.

CERTIFICATION:

I hereby certify that this map was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated: May 7, 2018

Anderson Engineering of Minnesota, LLC

by: Jack Bolke
Minnesota License No. 20281

NOTES:

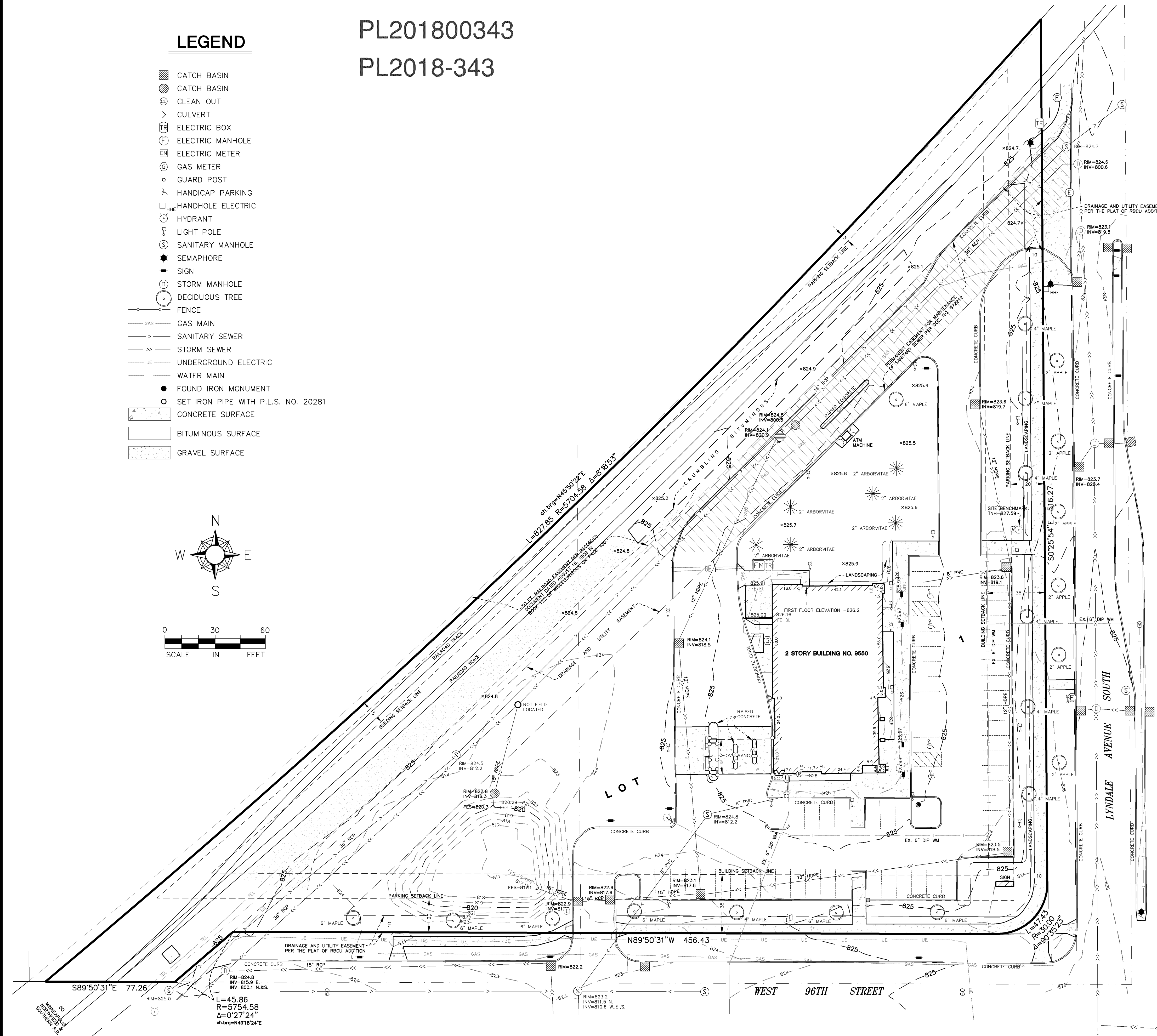
- The horizontal datum and bearings are based on the Hennepin County Coordinate System NAD83(2011).
- The vertical datum is NAVD 88. The site benchmark is the top nut hydrant located on the east side of the site and depicted hereon. Elevation = 827.59 feet.
- The area of the property described hereon is 149,074 square feet or 3.4222 acres.
- The location and extent of underground utilities, if shown, are based upon above ground evidence. There is no guarantee as to the accuracy or the completeness of this information. The size and location should be considered approximate. Additional underground utilities may be present. Verification of the existence and location of all utilities should be obtained from the utility owners prior to any planning or design. In accordance with Minnesota Statute, the location of utilities shall be confirmed prior to any demolition or construction.
- The tree information shown hereon was collected during the field survey by non-forestry trained Anderson Engineering of Minnesota survey personnel. Tree sizes are estimates and locations are accurate to plus or minus three feet.
- No title work was provided for the preparation of this survey to verify the legal description or the existence of any easements or encumbrances. Other easements may affect the property.
- According to the City of Bloomington, the subject property is zoned B-2 PD (Planned Development) and has the building setback requirements listed below. It is recommended that the property owner obtain a zoning letter from the City to verify all conditions that affect the property through the city zoning ordinance. This survey does not purport to describe all conditions contained in said ordinance.

BUILDING SETBACKS

Front = 35 feet from the public right-of-way
Side = 35 feet from the public right-of-way
Rear = 15 feet

PARKING SETBACKS

Front = 20 feet from the public right-of-way
Side = 20 feet from the public right-of-way
Rear = 5 feet



ANDERSON ENGINEERING
ENGINEERING • ARCHITECTURE • LAND SURVEYING
ENVIRONMENTAL SERVICES • LANDSCAPE ARCHITECTURE

Anderson Engineering of Minnesota, LLC
13605 1st Avenue North
Suite 100
Plymouth, MN 55441
763-412-4000 (o) 763-412-4090 (f)
www.ae-mn.com

1. GRADING CONTRACTORS SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
2. ALL EROSION CONTROL MEASURES CALLED FOR ON THESE PLANS AND SPECIFICATIONS, WHICH MAY INCLUDE Silt Fence, SEDIMENTATION BASINS OR TEMPORARY SEDIMENT TRAPS, SHALL BE CONSTRUCTED AND SERVICEABLE IN THE FOLLOWING ORDER:
 - A. ROCK CONSTRUCTION ENTRANCES A MINIMUM OF 50 FEET
 - B. Silt FENCE
 - C. TEMPORARY CURLETS
 - D. TEMPORARY SEDIMENTATION BASINS AND OUTLET FACILITIES
 - E. ROMANETTED POND CONSTRUCTION
 - F. COMBINATION EXCAVATION AND EMBANKMENT (SPALLING)
 - G. SEED AND MULCH OR EROSION CONTROL MATS
 - H. BIO-ROLL BARRIERS IN FINISHED GRADED AREAS
 - I. INLET AND OUTLET FACILITIES SUBSEQUENT TO STORM SEWER WORK
3. GRADING CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY AND NPDES PHASE II PERMITTING REQUIREMENTS AS WELL AS STANDARD CONTRACT. MEASURES MAY BE SHOWN ON THESE PLANS OR SPECIFICATIONS. GRADING CONTRACTOR SHALL IMPLEMENT ANY EROSION CONTROL MEASURES AS MAY BE REQUIRED TO PROTECT ADJACENT PROPERTY.
4. ALL EROSION CONTROL FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR DURING GRADING OPERATIONS. ANY TEMPORARY FACILITIES WHICH ARE TO BE REMOVED AS CALLED FOR ON THESE PLANS AND SPECIFICATIONS SHALL BE REMOVED BY THE GRADING CONTRACTOR WHEN DIRECTED BY THE ENGINEER. THE GRADING CONTRACTOR SHALL RESTORE THE SUBSEQUENTLY DISTURBED AREA IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
5. THE GRADING CONTRACTOR SHALL SCHEDULE THE SOILS ENGINEER SO THAT CERTIFICATION OF ALL CONTROLLED FILL IS WILL BE FURNISHED TO THE OWNER DURING AND UPON COMPLETION OF THE PROJECT.
6. ALL DISTURBED AREAS, EXCEPT AREAS TO BE PAVED AND/OR SPECIFICALLY DESIGNED BY A LANDSCAPE PLAN, SHALL BE COVERED WITH A MINIMUM 1" OF TOP SOIL OR AS INDICATED IN SPECIFICATIONS OR LANDSCAPE PLAN. ALL DISTURBED AREAS SHALL BE SEEDED A MULCHED AT THE PRESCRIBED RATES WITH 72 HOURS OF FINAL GRADING. SEE ALSO OTHER NOTED.

SEED MIX:	MIXED NO. 25-41	50% AGRIC.
MULCH:	TYPE I	2 TONS/ACRE (DISK ANCHORED)
FERTILIZER:	TYPE I 2-2-5-10	50% AGRIC.

ALL EXPOSED SOIL AREAS WITH A CONTINUOUS POSITIVE SLOPE, LOWER THAN 200 LINEAL FEET, OF ANY SURFACE WATER, MUST HAVE TEMPORARY EROSION PROTECTION OR PERMANENT COVER FOR THE EXPOSED SOIL AREA YEAR ROUND, ACCORDING TO THE FOLLOWING TABLE OF SLOPES AND THE FRAMES.

TYPE OF SLOPE	TIME (Maximum time areas can remain open when the area is not actively being worked)
STEEPER THAN 3:1	7 DAYS
10:1 TO 3:1	4 DAYS
FLATTER THAN 10:1	21 DAYS

7. THE EXISTING TOPOGRAPHY AND CONTOUR ELEVATIONS SHOWN ON THE PLAN WERE TAKEN FROM A PLAN FURNISHED BY THE OWNER.
8. CONTRACTORS GRADING AND EROSION CONTROL OPERATIONS SHALL TAKE PLACE WITHIN THE CONSTRUCTION LIMITS.
9. IT IS REQUIRED THAT SOIL TRACKED FROM THE SITE BY MOTOR VEHICLES BE CLEANED DAILY FROM PAVED ROADWAYS SURFACES THROUGHOUT THE DURATION OF CONSTRUCTION.
10. PROVIDE TEMPORARY SEDIMENTATION BASINS AS DIRECTED BY THE ENGINEER.
11. ALL REQUIREMENTS OF THE LOCAL WATER-SHED DISTRICT SHALL BE SATISFIED PER THE APPROVED PERMIT.
12. ALL EROSION A SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN AND IMPLEMENTED IN THE FIELD AS DIRECTED BY THE ENGINEER SHALL CONFORM TO THE MPCA'S "PROTECTING WATER QUALITY IN URBAN AREAS: BEST MANAGEMENT PRACTICES FOR MINNESOTA".
13. DETERMINING AND/OR BASIN DRAINING DEVICES SHALL BE DIRECTED TO SEDIMENTATION BASINS WHEREVER POSSIBLE.
14. ALL DISCHARGE POINTS SHALL BE ADEQUATELY PROTECTED FROM EROSION & SCOUR THROUGH USE OF APPROVED ENERGY DISSIPATION DEVICES.
15. ALL SOLID WASTE / CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH MPCA REQUIREMENTS. HAZARDOUS MATERIALS SHALL BE STORED / DISPOSED OF IN COMPLIANCE WITH MPCA REGULATIONS.
16. CONTRACTOR SHALL USE RAPID STABILIZATION METHODS PER MNDOT 2275 AS REQUIRED DURING THE COURSE OF THE WORK TO MAINTAIN CONTROL OF THE CITY AND NPDES II PERMITTING REQUIREMENTS. THIS WORK SHALL CONSIST OF OPERATIONS NECESSARY TO RAPIDLY STABILIZE SMALL CRITICAL AREA, TO PREVENT OFF SITE SEDIMENTATION AND / OR TO COMPLY WITH PERMIT REQUIREMENTS. THIS WORK MAY BE PERFORMED AT ANY TIME DURING THE CONTRACT AND AT ANY NORMAL WORKING HOURS. THIS WORK WILL BE CONDUCTED ON SMALL AREAS THAT MAY OR MAY NOT BE ACCESSIBLE WITH NORMAL EQUIPMENT. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE MNDOT STANDARDS SPECIFICATIONS, THE DETAILS SHOWN IN THE PLANS, AND THE FOLLOWING:

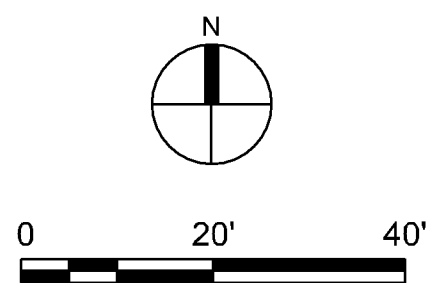
THERE ARE FIVE STABILIZATION METHODS APPROVED FOR THESE OPERATIONS. THESE METHODS MAY BE CONDUCTED INDEPENDENTLY OR IN COMBINATION.

METHOD	RAPID STABILIZATION
1	TYPE I MULCH WITH DISC ANCHORING
2	TYPE I MULCH WITH TYPE I HYDRAULIC MULCH
3	TYPE I HYDRAULIC MULCH WITH SEED MIXTURE 22-11
4	CATEGORY 3 EROSION CONTROL BLANKET WITH SEED MIXTURE
5	RRRAP CLASS I WITH GEOTEXTILE TYPE III

THESE EFFORTS WILL BE INCIDENTAL TO THE EROSION CONTROL. BID ITEM.
17. CHANGE OF COVERAGE: FOR STORM WATER DISCHARGES FROM CONSTRUCTION PROJECTS WHERE THE OWNER OR CONTRACTOR AGREES (E.G. AN ORIGINAL DEVELOPER SELLS PORTIONS OF THE PROPERTY TO VARIOUS BUILDERS) THE OWNER OR OPERATOR MUST SUBMIT A SUBDIVISION REGISTRATION WITHIN 7 DAYS OF ASSUMING TRANSFERS, SALE OR CLOSING ON THE PROPERTY.
18. INDIVIDUAL SITE BUILDERS SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL NECESSARY EROSION CONTROL MEASURES AS MAY BE REQUIRED. REQUIRED EROSION SHALL CONSIST OF BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. STAKED FIBER LOG ROLL BACK AT BACK OF LOT, CURB EXCEPT CONSTRUCTION / DRIVEWAY ENTRANCE.
 - B. Silt FENCE ON ALL DOWN GRADIENT SLOPES FROM CONSTRUCTION AREA. Silt FENCE SHALL HAVE THE BOTTOM 18" IN WITH SOIL, FRAMED CONSTRUCTION.
 - C. ROCK CONSTRUCTION ENTRANCE HAVING 1" TO 2" CLEAR ROCK OVER GEOTEXTILE FABRIC.
 - D. STREET CLEANING AS MAY BE REQUIRED SHOULD VEGETATION TRACING OCCUR.
19. INDIVIDUAL SITE BUILDERS ARE REQUIRED TO MAINTAIN EROSION UNTIL SUCH TIME AS INDIVIDUAL YARDS/VEGETATION ARE ESTABLISHED.
20. CONTRACTOR SHALL PROVIDE A TEMPORARY SEDIMENTATION BASIN ON SITE FOR CONSTRUCTION WASH OUT USE. TEMPORARY BASIN SHALL BE LOCATED AS TO PROVIDE EASY ACCESS FOR CONSTRUCTION VEHICLES AND CONCRETE TRUCKS AS NECESSARY.
21. INLET SEDIMENTATION CONTROL, IS TO BE PROVIDED TO ALL STORM SEWER CATCH BASIN THROUGHOUT CONSTRUCTION MEASURES APPLIED SHALL COMPLY WITH BEST MANAGEMENT PRACTICES FOR MINNESOTA AND APPLICATION OF NPDES PHASE II AS APPROPRIATE FOR PHASE OF CONSTRUCTION.
22. CONTRACTOR SHALL PREVENT SOIL LOSS DURING CONSTRUCTION DUE TO WIND EROSION THROUGHOUT CONSTRUCTION. SOIL LOSS SHALL BE SUPPLEMENTED WITH THE APPLICATIONS OF WATER, AS DEEMED NECESSARY BY THE CONTRACTOR, OR THROUGH EQUIVALENT BARRIERS AS APPROVED BY THE ENGINEER.
23. IF LEED ACCREDITATION IS APPLICABLE, CONTRACTOR SHALL DOCUMENT THE IMPLEMENTATION OF THE EROSION AND SEDIMENTATION CONTROL PLAN THROUGH DATE-STAMPED PHOTOS AND INSPECTION LOGS. REPORTS, RECORDS SHALL BE MAINTAINED AT A MINIMUM DURING CONSTRUCTION. BMPs INCLUDING BOTH MEASURED TO PREVENT SOIL LOSS DUE TO RUNOFF AND SOIL LOSS DUE TO WIND EROSION, BMPs DEEMED UNNECESSARY DUE TO SITE CONDITIONS, CORRECTIVE ACTIONS TAKEN IN RESPONSE TO PROBLEMS, AND ANY ADDITIONAL INFORMATION RELEVANT TO THE EROSION OF THE EROSION CONTROL PLAN SHALL BE ESTABLISHED AT THE END OF CONSTRUCTION.

STORMWATER POLLUTION PREVENTION PLAN SCHEDULE OF INSTALLATION & MAINTENANCE

ITEM	INSTALLATION	INSPECTION & MAINTENANCE	REMOVAL
SILT FENCE	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS	INSPECT & MAINT. AFTER EACH RAIN EVENT. REMOVE AFTER 15 DAYS AS REQUIRED	AFTER THRU/ DRAINAGE ARE RESTORED
ROCK CONTRA ENTRENCH	PRIOR TO COMMENCEMENT OF EARTHWORK OPERATIONS	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PRIOR TO PAY
OUTLET SKIMMER STRUCTURE	AFTER POND GRADING IS COMPLETED	INSPECT REGULARLY. MAINTAIN AS NEEDED.	PERMANENT.
RIP-RAP & FILTER	UPON COMPLETION OF POND GRADING, CONC. SWALE CONCRETE AND OUTLET INSTALLATION.	INSPECT & MAINTAIN AT LEAST ANNUALLY AND AFTER HEAVY RAINFALL EVENT.	PERMANENT.
DETECTION POND	DURING EARTHWORK OPERATIONS.	AFTER HEAVY RAINFALL EVENTS. REMOVE SEDIMENTS AS NEEDED	PERMANENT.
SEED & MASH-OUT	AFTER POND GRADING IS COMPLETED	AFTER HEAVY RAINS. REMOVE SEDIMENTS AS NEEDED	NO REMOVAL. NECESSARY.
INLET PROTECTION	UPON INLET CONCRETING	WHEN 10 CAPACITY OF BMP IS REACHED	AFTER THRU/ AREAS ARE RESTORED



	PROPERTY LIMITS
	CONSTRUCTION LIMITS
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING SPOT ELEVATION
	DRAINAGE ARROW
	PROPOSED CONCRETE C&G
	SILT FENCE
	INLET SEDIMENT PROTECTION
	ROCK CONSTRUCTION ENTRANCE
	SPOT ELEVATION
	FLOW LINE OF CURB
	MATCH SPOT ELEVATION
	RIM ELEVATION

1. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL APPLICABLE EROSION & SEDIMENT CONTROL ITEMS.
2. SPECIFIED EROSION/SEDIMENT CONTROL MEASURES ARE THE MINIMUM. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.
3. THE TOTAL DISTURBED AREA IS EQUAL TO 5.5 ACRES. THIS IS BELOW THE 1.0 ACRE THRESHOLD, AND THEREFORE AN NPMA PERMIT IS NOT REQUIRED.
4. PROPOSED SPOT ELEVATIONS ARE TO TOP OF FINISHED SURFACE UNLESS OTHERWISE NOTED.
5. TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES. LOCATIONS OF UTILITIES SHOWN BASED ON SURVEY AND AS-BUILT INFORMATION AND MAY NOT REPRESENT ACTUAL CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR UTILIZING UTILITY LOCATES PRIOR TO STARTING ANY WORK.
6. COORDINATE CITY ENGINEERING INSPECTIONS FOR WATER, SEWER AND WORK IN RIGHT OF WAY.

1	INSTALL & MAINTAIN SILT FENCE PERIMETER SEDIMENT PROTECTION IN TURF AREAS	1 C4
2	INSTALL & MAINTAIN SEDIMENT PROTECTION BIO-ROLL IN PAVED AREAS	
3	INSTALL & MAINTAIN INLET SEDIMENT PROTECTION	2 C4
4	INSTALL TEMP ROCK ENTRANCE AT CONSTRUCTION VEHICLE INGRESS & EGRESS LOCATION(S).	3 C4
5	MATCH EXISTING CURB LINE ELEVATION	
6	DRAINAGE AND UTILITY EASEMENT	
7	RAISE EXISTING RIM APPROXIMATELY 6" TO FINISHED SURFACE ELEVATION.	
8	REMOVE & REPLACE CONC. SIDEWALK / PEDESTRIAN RAMP TO MATCH NEW CURB & GUTTER	

IMPERVIOUS SUMMARY		
	IMP. AREA (SF)	% OF SITE IMP.
EXISTING CONDITIONS	59,362	48%
PROPOSED CONDITIONS (PHASE 2)	69,350	56%
PHASE 2 PLANNED*	77,795	62%

NOTES*

1. EXISTING BIO-FILTRATION BASIN HAS BEEN SIZED FOR 62% IMPERVIOUS SURFACE FOR PHASE 2 OF CONSTRUCTION PERMITTED PER NINE MILE CREEK WATERSHED DISTRICT PERMIT NO. 2008-21.
2. STORMWATER TREATMENT IS EXEMPT FOR PHASE 2 OF CONSTRUCTION. EROSION CONTROL PERMIT TO BE APPLIED FOR.



www.htg-architects.com
Minneapolis Phoenix Tampa Bismarck

9300 Hennepin Town Road
Minneapolis, MN 55347
Tel: 952.278.8880
Fax: 952.278.8822

***RICHFIELD BLOOMINGTON
CREDIT UNION***

9550 LYNDALE AVE S
BLOOMINGTON, MN 55420

ISSUED SET
REVISIONS

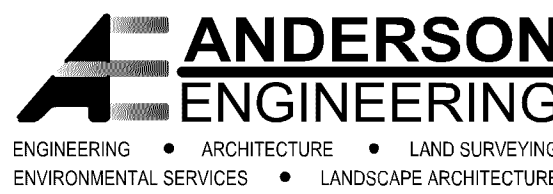
[illegible]

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

GARY R. JOHNSON, P.E.

# 42010	10.16.2018
REG. NO.	DATE



13605 1st Avenue North, Suite 100
Plymouth, MN 55441
Tel: 763-412-4000 Fax: 763-412-4090
www.ae-mn.com

GRADING DRAINAGE & EROSION CONTROL PLAN

DRAWN BY: B J F CHECKED BY: G R J

C2



PL2018-343



PROJECT

0550 LYNDAL AVE S
BLOOMINGTON, MN 55420

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.



ANDERSON
ENGINEERING

ENGINEERING • ARCHITECTURE • LAND SURVEYING
ENVIRONMENTAL SERVICES • LANDSCAPE ARCHITECTURE

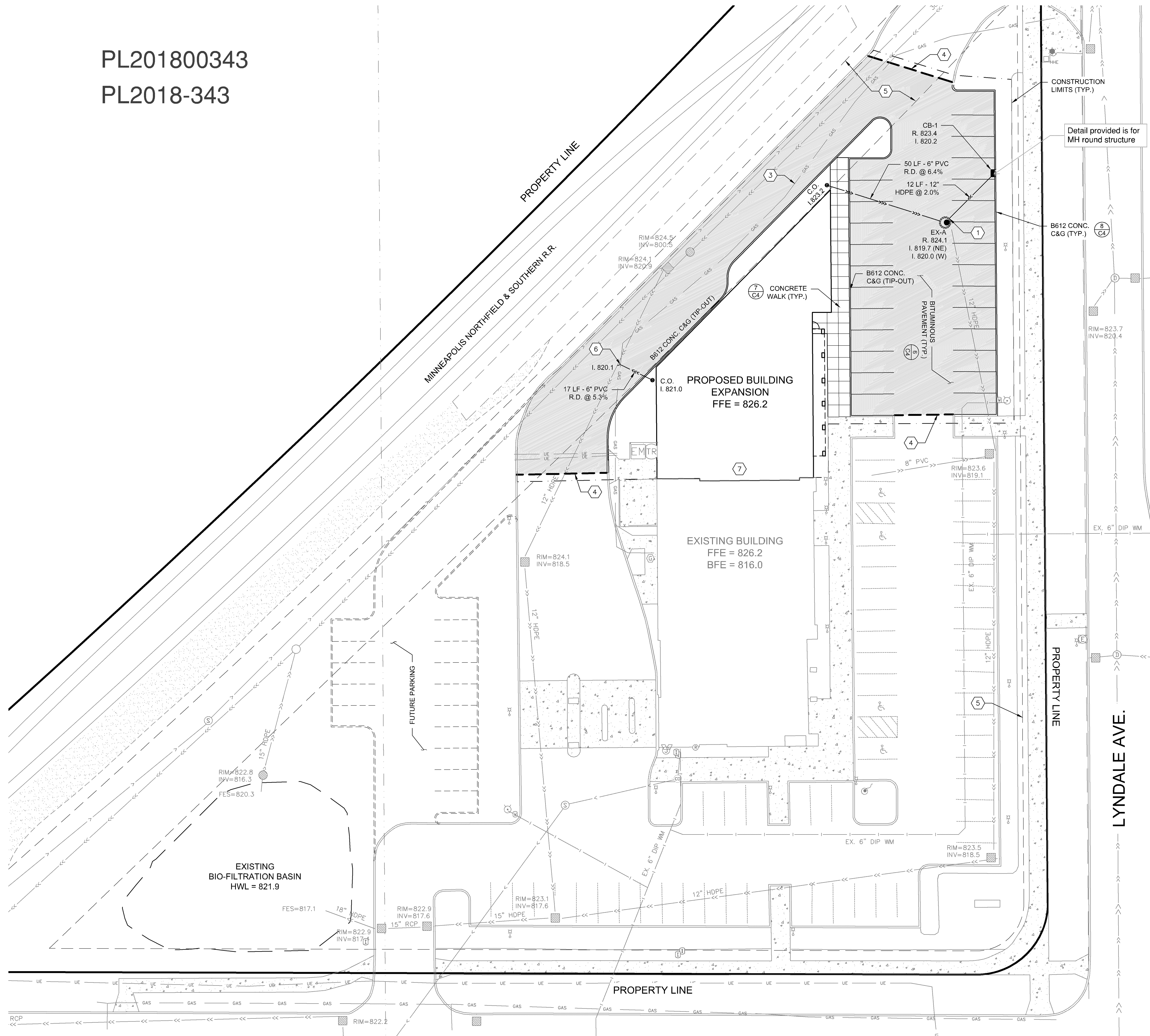
13605 1st Avenue North, Suite 100
Plymouth, MN 55441
Tel: 763-412-4000 Fax: 763-412-4090
www.ae-mn.com

UTILITY PLAN

RAWN BY: BJB CHECKED BY: GRJ

3

4924
COPYRIGHT © BY HTG ARCHITECTS



PL2018-343



PROJECT



COVER "C"	THICKNESS "T"	B.C. TO C.L. "A"
58"	6"	15"
72"	8"	21"
79"	8"	24"
86"	8"	27"
90"	8"	35"
14"	8"	39"
26"	12"	45"
44"	12"	48"

Diagram illustrating the cross-section of a manhole assembly, showing the relationship between cover, curb, and concrete sections.

Labels and Dimensions:

- COVER "C"**: Cover diameter.
- THICKNESS "T"**: Cover thickness.
- B.C. TO C.L. "A"**: Backsight to centerline distance.
- BACK OF CURB (B.C.)**: Backsight to curb.
- CENTERLINE (C.L.)**: Centerline.
- NEENAH R-3067, TYPE L GRATE OR APPROVED EQUAL**: Grate material.
- PRECAST REINFORCED CONCRETE ADJUSTING RINGS, IN FULL MORTAR BED, MIN. 6", MAX. 12"**: Adjusting rings.
- REINFORCED CONCRETE COVER CONFORMING TO ASTM C478, MNDOT STD. PLATE 4022**: Concrete cover.
- 14"**: Dimension from curb face to centerline.
- 24"**: Dimension from curb face to centerline.
- 12" TOP SECTION REQUIRED**: Minimum top section height.
- 0-RING GASKET OR 3 TUASTIC MATERIAL AT EACH BUTT JOINT**: Gasket material.
- BREAKOUT TOP HALF PIPE, GROUT AROUND PIPE & FLOW INVERT AS SHOWN.**: Pipe and grout details.
- DIAMETER "D"**: Pipe diameter.
- PRECAST REINFORCED CONCRETE SECTIONS AS NEEDED.**: Concrete sections.
- 4"**: Dimension from curb face to centerline.
- MN/DOT S.P. 401 PRECAST BASE PLACED ON 6" SAND OR FOUNDATION MATERIAL.**: Base material.



MAIN OFFICE ADDITION

[illegible]

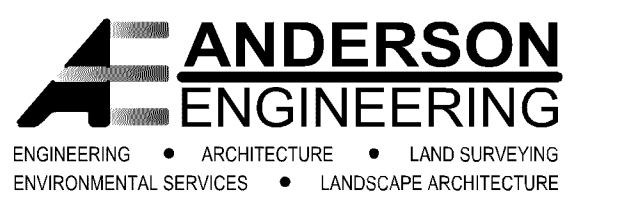
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

NOT FOR CONSTRUCTION

GARY R. JOHNSON, P.E.

42010
REG. NO.

10.16.2018
DATE



13605 1st Avenue North, Suite 100
Plymouth, MN 55441
Tel: 763-412-4000 Fax: 763-412-4090
www.ae-mn.com

CIVIL DETAILS

RAWN BY: BJB CHECKED BY: GRJ

C4

1924
COPYRIGHT © BY HTG ARCHITECTS



9 PIPE BEDDING DETAIL
SCALE: NTS

