

PROPERTY INFORMATION

8200 Grand Ave S
Bloomington MN 55420

PROPERTY ID

03-027-24-32-0032

PROPERTY DESCRIPTION

LOT 001
BLOCK 002

Manns Merry Acres

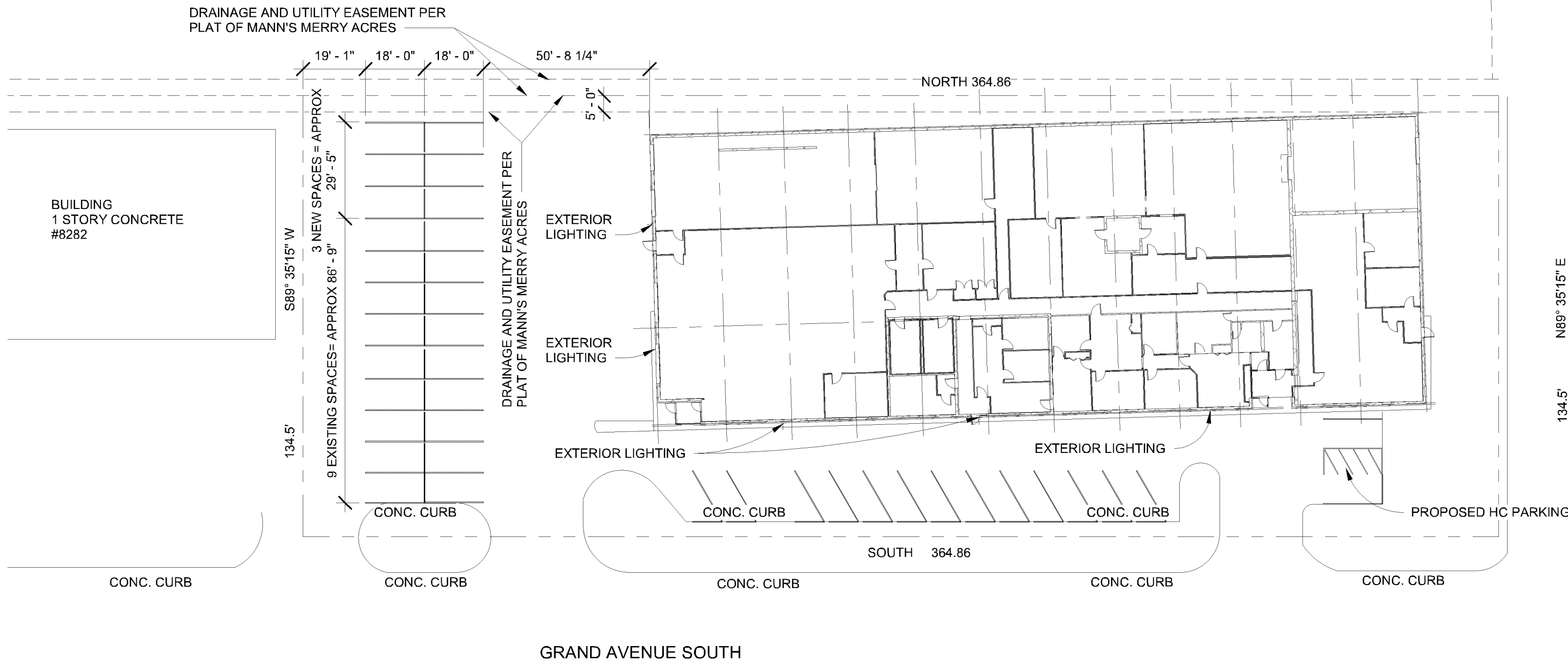
1.1 ACRES
47,737 Sq. Ft.

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A101	Floor Plans
A500	Door Types/ Frames/Sections
S1	Structural Notes and Details
PH 1	SITE- PHOTOMETRIC PLAN
PH 2	SITE- PHOTOMETRIC PLAN

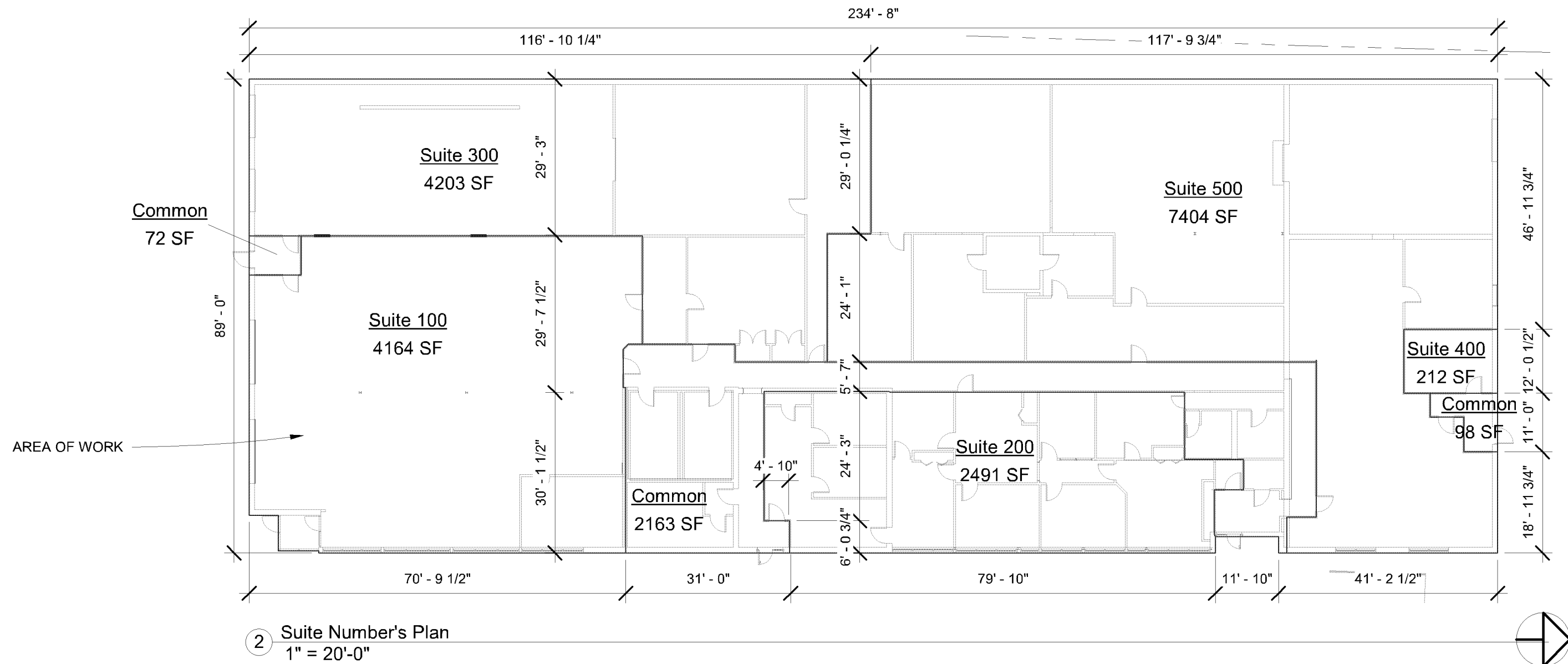
SAFE HAVEN
STRUCTURAL ENGINEERING

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CASE FILE #PL201900056



1 Site
1" = 30'-0"



2 Suite Number's Plan
1" = 20'-0"

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NMJ 08/06/2019

Project Description						
Remodel existing Office/ Warehouse Building. Remodel existing office space and finishes (walls, floors, and ceilings) and convert to Warehouse Space. Add (2) Overhead Garage Doors in converting office to Warehouse space. Add restroom, and Office Space at the end of Hall.						
Applicable Codes						
2015 MN State Building Codes Amending and Adopting 2012 International Building Code 2015 MN State Accessibility Code MN Chapter 1341 2015 MN State Plumbing Code MN Rules Chapter 4714 2015 MN State Mechanical Code MN Rules Chapter 1436 Adopting: 2012 International Fuel Gas Code 2012 International Mechanical Code 2012 International Fire Code						
Construction Type		Type II- B Noncombustible, Unprotected				
Building Elements Fire Resistance Rating- Table 601		# Hours				
Primary Structural Frame		0				
Bearing Walls-	Exterior	0				
	Interior	0				
Non-bearing Walls	Exterior (Table 602) 10<X<30	0				
	Interior	0				
Floor Construction- Secondary Members		0				
Roof Construction- Secondary Members		0				
Fire Protection- Sprinklered?		YES				
Occupancy Group		Mixed- B- Business, S-1 Moderate Hazard Storage, F-1 Factory				
Building Heights and Areas (Table 503)						
ALLOWABLE B, S-1, F-1	AREA 15,500	FLOORS 2	INCREASE 31,000			
		TOTAL 45,500				
ACTUAL B, S-1, F-1	20,808	1	20,808 sf			
Area Change- B to S-1						
Occupant Loads		Table 1004.1.2				
Maximum Floor Area Allowances per Occupant						
Space Function	Ratio Area/Occupant	Area	Occupants			
B- Business	1:100	6,938	69.4 of 98			
S-1	1:500	13,870	27.7 of 98			
Suite 100	B to S-1	1:100 to 1:500	36.74 of 17,544 S-1			
B stay B	1:100	561 of 3,264 B	33 of 69			
Total New Building Occupants		69 Occupants				
Plumbing Calculations						
Number of Fixtures						
Space Function	Occupants	WC	UR	Lav	DF	M/S
B	18 M	1:25<50	1/2 of WC	1:40<80	1:1000	1
S-1	18 W	1:25<50	1/2 of WC	1:40<80		
	17 M	1:100				
Actual	17 W	1:100				
	35 M	3	2	3	1	1
	35 W	5		3		
Egress Travel- Distances						
Common Path of Egress Travel Distance- (Table 1014.3)				75'-0"		(See Plan For Actual)
Spaces with 1 Exit Access- (Table 1015.1) Maximum Occupant N.I.C.=				29		(See Plan For Actual)
Exit Access Travel Distance (Table 1016.2)(2 Exits)				200'-0"		(See Plan For Actual)
Security and Sound Systems						

Legend 1
1/4" = 1'-0"

Area Schedule (Gross Building)		
Name	Comments	Area
Common		2163 SF
Common		98 SF
Common		72 SF
Suite 100		4164 SF
Suite 200		2491 SF
Suite 300		4203 SF
Suite 400		212 SF
Suite 500		7404 SF
Total: 8		20808 SF

REVISIONS	date



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota
Print Name: Jeffrey Hafferman AIA NCARB
Signature:

6/3/2019 12:05:33 PM
License # 44333

Sheet Title:	Site Plan
Project Name:	8200 Grand Ave S Bloomington MN

Project number	2019-05
Date	
Drawn by	Author
Checked by	Checker
Construction Documents	

A000

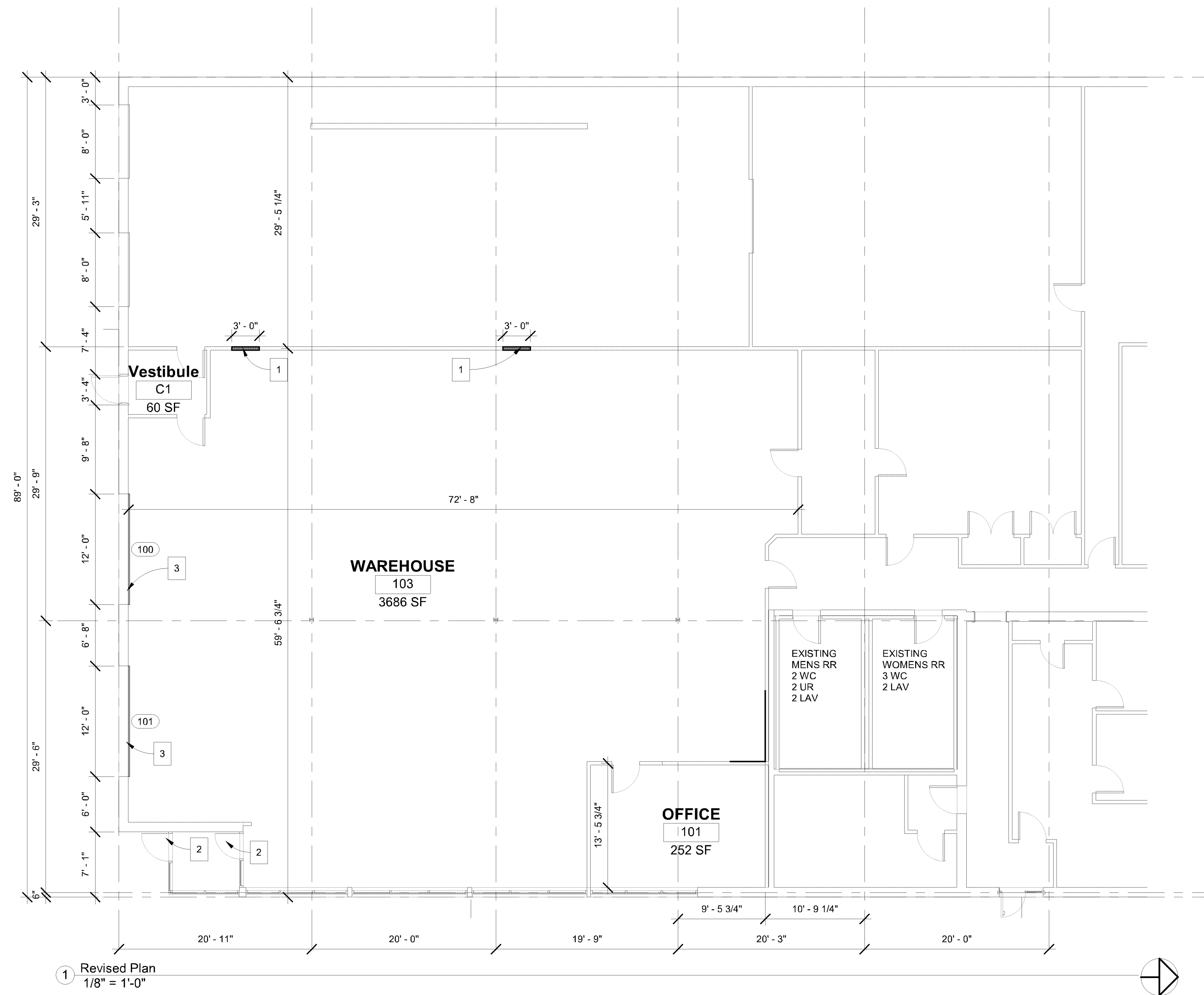


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Sheet Title:	Floor Plans
Project Name:	8200 Grand Ave S Bloomington MN

Project number	2019-05
Date	
Drawn by	Author
Checked by	Checker
Construction Documents	

A101



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