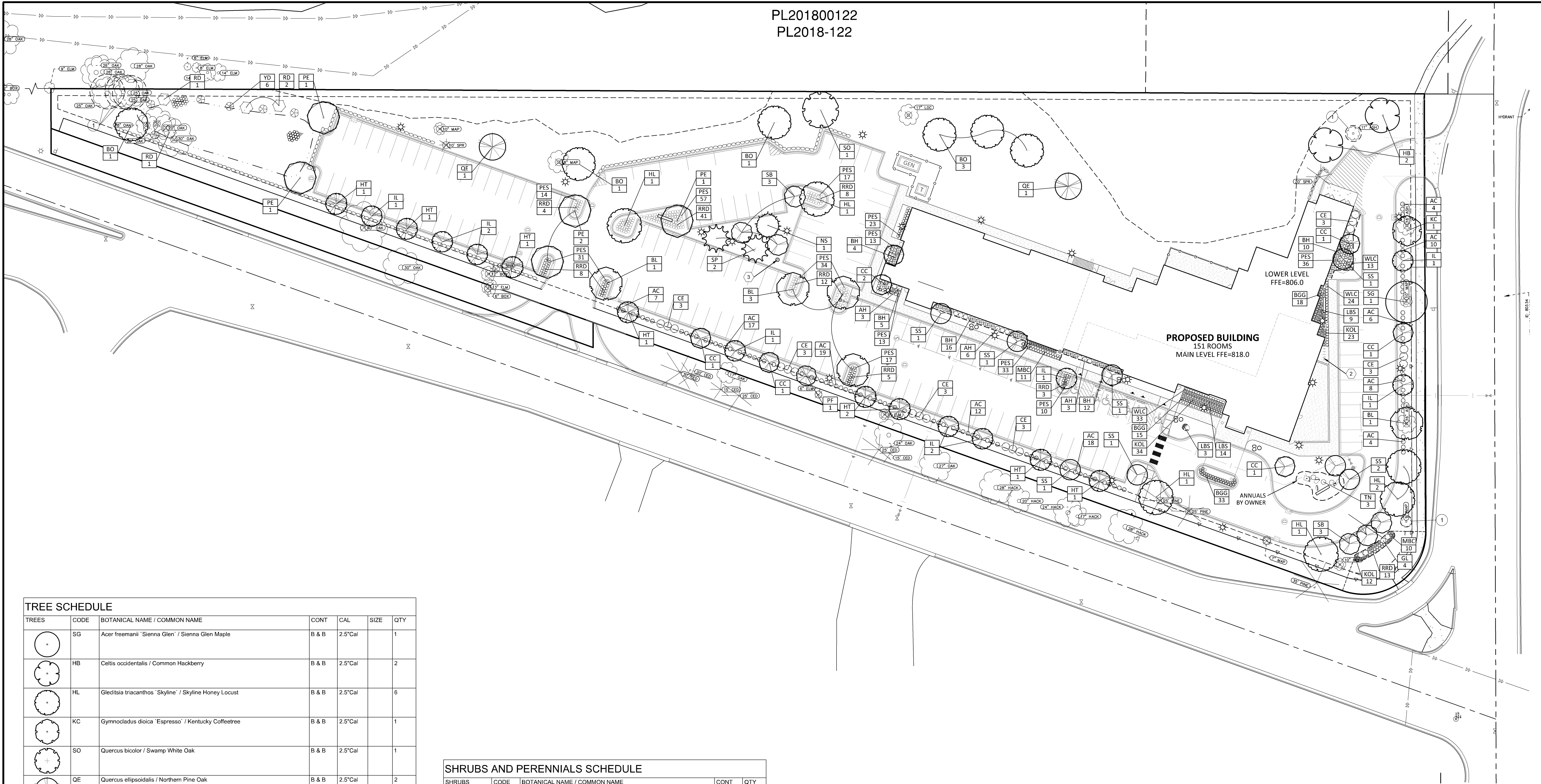




TREE SCHEDULE

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	SG	Acer freemanii 'Sienna Glen' / Sienna Glen Maple	B & B	2.5"Cal		1
	HB	Celtis occidentalis / Common Hackberry	B & B	2.5"Cal		2
	HL	Gleditsia triacanthos 'Skyline' / Skyline Honey Locust	B & B	2.5"Cal		6
	KC	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B & B	2.5"Cal		1
	SO	Quercus bicolor / Swamp White Oak	B & B	2.5"Cal		1
	QE	Quercus ellipsoidalis / Northern Pine Oak	B & B	2.5"Cal		2
	BO	Quercus macrocarpa / Burr Oak	B & B	2.5"Cal		6
	BL	Tilia americana 'Boulevard' / Boulevard Linden	B & B	2.5"Cal		5
	PE	Ulmus americana 'Princeton' / American Elm	B & B	2.5"Cal		5
CONIFERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	NS	Picea abies / Norway Spruce	B & B		6'	1
	SP	Pinus sylvestris / Scotch Pine	B & B		6'	2
ORN. TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	SB	Amelanchier canadensis 'Autumn Brilliance' / Autumn Brilliance Serviceberry	B & B	2"Cal		6
	HT	Crataegus crus-galli 'Inermis' / Thornless Hawthorn	B & B	2.5"Cal		8
	CC	Malus x 'Coralburst' / Coralburst Crabapple	B & B	2"Cal		7
	PF	Malus x 'Prairifire' / Prairifire Crab Apple	B & B	2"Cal		1
	SS	Malus x 'Spring Snow' / Spring Snow Crab Apple	B & B	2"Cal		8
	IL	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B & B	2"Cal		9

SHRUBS AND PERENNIALS SCHEDULE

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	YD	Cornus alba 'Bud's Yellow' / Bud's Yellow Dogwood	5 gal	6
	RD	Cornus baileyi / Bailey's Red-twig Dogwood	5 gal	4
	BH	Dianella ionica / Dwarf Bush Honeysuckle	5 gal	47
	CE	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal	18
	AH	Hydrangea arborescens 'Annabelle' / Annabelle Smooth Hydrangea	5 gal	12
	TN	Physocarpus opulifolius 'SMPOTW' / Tiny Wine Ninebark	5 gal	3
	GL	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	4
	AC	Ribes alpinum / Alpine Currant	5 gal	105
GRASSES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	BGG	Bouteloua gracilis 'Blonde Ambition' / Blue Grama	1 gal	66
	LBS	Schizachyrium scoparium 'Blue Heaven' / Blue Heaven Little Bluestem	1 gal	26
PERENNIALS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	MBC	Coreopsis verticillata 'Moonbeam' / Threadleaf Coreopsis	1 gal	21
	RRD	Hemerocallis x 'Rosy Returns' / Daylily	1 gal	94
	KOL	Liatris spicata 'Kobold' / Spike Gayfeather	1 gal	82
	WLC	Nepeta x faassenii 'Walkers Low' / Walkers Low Catmint	1 gal	70
	PES	Sedum x 'Purple Emperor' / Stonecrop	1 gal	298

BLOOMINGTON LANDSCAPE CODE

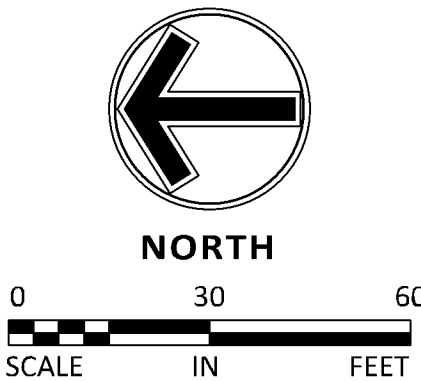
CITY OF BLOOMINGTON MIN LANDSCAPE STANDARDS:

- 19.52:
- (2) Minimum number of trees and shrubs. Excluding exceptions specified below in subsection (c)(2)(E) below, development must at a minimum provide the following numbers of trees and shrubs:
- (A) One tree per 2,500 square feet of developable landscaping area, and
- (B) One shrub per 1,000 square feet of developable landscaping area.
- (D) Existing healthy deciduous trees greater than four caliper inches or existing healthy evergreen trees greater than six feet in height that are located within the developable landscaping area and are not identified on the city's prohibited plant species list (see § 18.03) may be credited toward the minimum required trees on a site.
- (3) Minimum tree size. Required trees must meet the following minimum size standards:
- (A) Overstory trees must be at least two and one-half caliper inches at planting;
- (B) Single stem ornamental trees must be at least one and one-half caliper inches at planting;
- (C) Evergreen trees and multi-stem ornamental trees must be at least six feet in height at planting.
- (6) Parking island trees. A minimum of one deciduous tree must be provided per parking lot island, with the following exceptions:
- (E)
- (iii) Fee in lieu of planting. If landscape planting at required levels results in overcrowding of vegetation due to site constraints, the property owner may reduce the number of proposed trees and/or shrubs on the site at the sole discretion of the City Council, provided a cash fee is deposited into a city designated fund that matches the cost differential between the planting required by this provision and the vegetation actually planted on the site.

GROSS SITE AREA: 208,671 SF
MINUS AREA BELOW 800' CONTOUR: 21,450 SF
LESS RIGHT-OF-WAY: 7,058 SF
REMAINING DEVELOPABLE AREA: 180,163 SF
SHADE TREES/ CONIFERS REQUIRED: 72 TREES
SHRUBS REQUIRED: 180 SHRUBS
NEW TREES PLANNED: 71 TREES
CURRENT SAVED TREES PER PLAN: 5 TREES
NEW SHRUBS PLANNED: 199 SHRUBS

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
	TREE TO BE SAVED		
	BIKE RACK - SEE DETAIL 4/L2.01		
	PET WASTE RECEPTICAL		
	TREE TO BE REMOVED		



Client
JR HOSPITALITY

Project
**HYATT HOUSE
HOTEL,
BLOOMINGTON**

Location
**BLOOMINGTON,
MINNESOTA**

2300 86TH STREET E
2325 OLD SHAKOPEE RD E
2349 OLD SHAKOPEE RD E
2357 OLD SHAKOPEE RD E
2373 OLD SHAKOPEE RD E

Certification

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.

William L. Delaney
William L. Delaney
Registration No. 40252 Date: 09/21/2018
This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnetonka, MN office.

Summary

Designed: BIL Drawn: JMW
Approved: CA Book / Page:
Phase: CD Initial Issued: 04/04/2018

Revision History

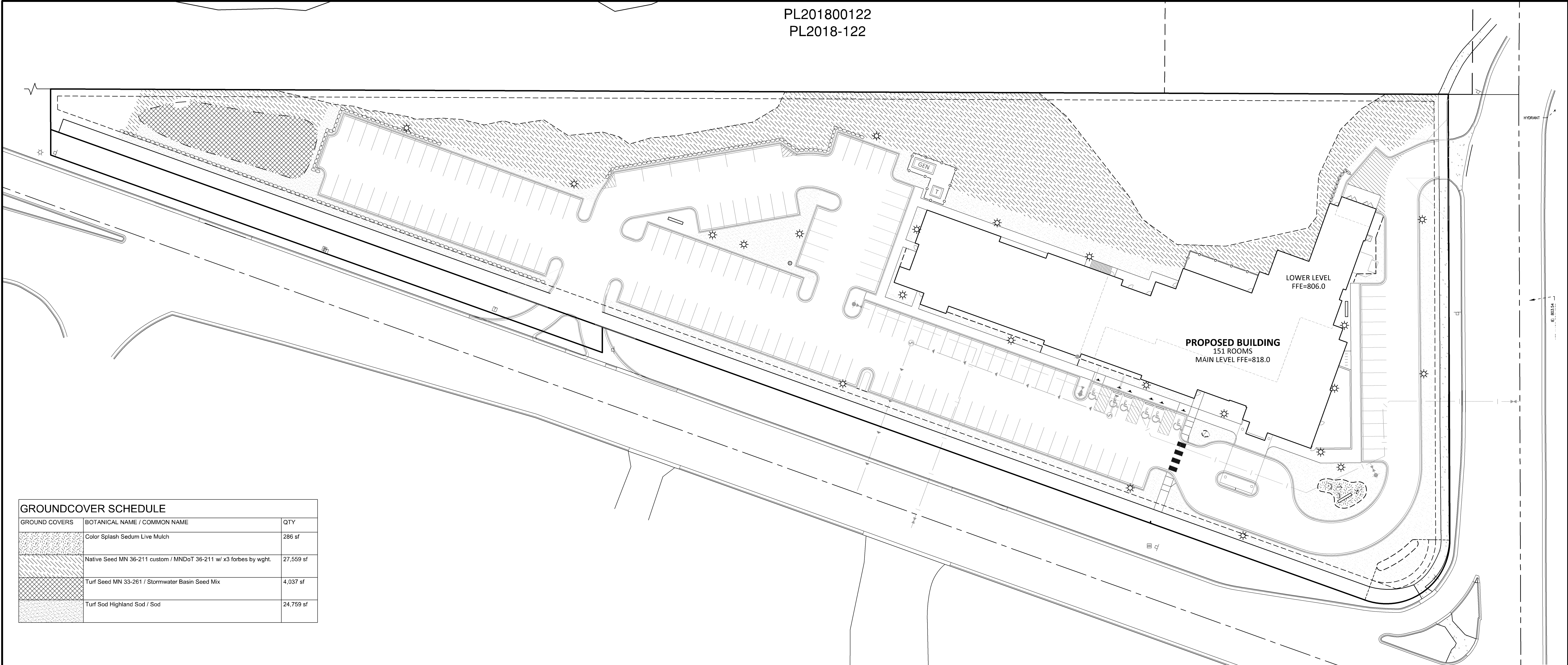
No. Date By Submittal / Revision

05/31/18	BL	Site Plan & Landscape Plan
09/21/18	EV	Revisions
01/29/19	ML	Issued for Permit
		Issued for Permit

Sheet Title
**LANDSCAPE
PLAN**

Sheet No. Revision
L1.01

Project No. 21061



1. THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
2. THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
4. THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS/GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
5. LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND Gopher State. ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
6. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
7. THE CONTRACTOR SHALL REVIEW THE SITE FOR SPECIFICITIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
8. THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
9. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
10. EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4' HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6" O.C. MAXIMUM SPACING.
11. LONG TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
12. CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.
13. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 3 DAYS PRIOR TO PLANNED DELIVERY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF BEGINNING PLANT INSTALLATION.
14. SEASONS/TIME OF PLANTING AND SEEDING: NOTE: THE CONTRACTOR MAY ELECT TO PLANT IN OFF-SEASONS ENTIRELY AT HIS/HER RISK. DECIDUOUS
- 15.1. POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
- 15.2. DECIDUOUS /8&8: 4/1 - 6/1; 9/21 - 11/1
- 15.3. EVERGREEN POTTED PLANTS: 4/1 - 6/1; 9/21 - 11/1
- 15.4. EVERGREEN 8&8: 4/1 - 5/1; 9/21 - 11/1
- 15.5. TURF/LAWN SEEDING: 4/1 - 6/1; 7/20 - 9/20
- 15.6. NATIVE MIX SEEDING: 4/1 - 7/20; 9/20-10/20
16. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PORTION OF THE WORK IS IN PLACE. PLANT MATERIAL SHALL BE PROTECTED AND MAINTAINED UNTIL THE INSTALLATION OF THE PLANTS IS COMPLETE. INSPECTION HAS BEEN MADE, AND PLANTINGS ARE ACCEPTED EXCLUSIVE OF THE GUARANTEE. MAINTENANCE SHALL INCLUDE WATERING, CULTIVATING, MULCHING, REMOVAL OF DEAD MATERIALS, RE-SETTING PLANTS TO PROPER GRADE AND KEEPING PLANTS IN A PLUMB POSITION. AFTER ACCEPTANCE, THE OWNER SHALL ASSUME MAINTENANCE RESPONSIBILITIES. HOWEVER, THE CONTRACTOR SHALL CONTINUE TO BE RESPONSIBLE FOR KEEPING THE TREES PLUMB THROUGHOUT THE GUARANTEE PERIOD.
17. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES PRIOR TO TOTAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
18. WATERING: MAINTAIN A WATERING SCHEDULE WHICH WILL THOROUGHLY WATER ALL PLANTS ONCE A WEEK. IN EXTREMELY HOT, DRY WEATHER, WATER MORE OFTEN AS REQUIRED BY INDICATIONS OF HEAT STRESS SUCH AS WILTING LEAVES. CHECK MOISTURE UNDER MULCH PRIOR TO WATERING TO DETERMINE NEED. CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR WATER.
19. SEEDING MIX TURF'S SHALL BE BASED ON MNDOT SEED MIX 36-211 WITH THE ADDITION OF 3 TIMES THE BASE FORBES MIX BY WEIGHT. APPLICATION RATE SHALL REMAIN CONSISTENT WITH RECOMMENDED AMOUNTS. DEPENDING ON TIME OF YEAR OF SEEDING, EITHER OATS OR WINTER WHEAT SHALL BE SEEDING IN CONJUNCTION WITH THE SEED MIX AT A RATE OF 56 LBS PER ACRE.
- TURF NOTES:
- TURF ESTABLISHMENT SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROVISIONS OF THE MNDOT 2105 AND 2575 EXCEPT AS MODIFIED BELOW.
1. ALL AREAS TO RECEIVE SOD SHALL ALSO RECEIVE 4" OF TOPSOIL PRIOR TO INSTALLING SOD. TOPSOIL SHALL BE FREE OF TREE ROOTS, STUMPS, BUILDING MATERIAL, AND TRASH, AND SHALL BE FREE OF STONES LARGER THAN 1 1/2" INCHES IN ANY DIMENSION.
2. WHERE SOD ADJUTS PAVED SURFACES, FINISHED GRADE OF SOD/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
3. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, SOD SHALL BE STAKED SECURELY.
4. TURF ON ALL OTHER AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED BY SEEDING, MULCHING AND FERTILIZING. SEED MIXTURE NO.25-121 (FORMERLY MNDOT 240) WILL BE PLACED AT THE RATE OF 70 POUNDS PER ACRE.
5. ALL DISTURBED AREAS TO BE TURF SEED, ARE TO RECEIVE 4" TOP SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
6. ALL DISTURBED AREAS TO RECEIVE NATIVE SEED, ARE TO RECEIVE PLANTING SOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. FOR SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES INSTALL EROSION CONTROL BLANKET.
- IRRIGATION NOTES:
1. IRRIGATION SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL OF SYSTEM LAYOUT PRIOR TO INSTALLATION.
2. ALL SOD TO RECEIVE SPRAY OR ROTOR IRRIGATION HEADS WITH MINIMUM DESIGN OF 1" IRRIGATION PER WEEK.
3. ALL PLANT BEDS TO RECEIVE DRIP LINE IRRIGATION, WITH A MINIMUM DESIGN OF .25" IRRIGATION PER WEEK.
4. CONTRACTOR TO INSTALL A TOTAL OF 4 QUICK COUPLERS AT THE CORNERS OF THE PROPERTY. A 2.5" TYPE K SOURCE PIPE IS PROVIDED BY MECHANICAL.
- PLANTING NOTES:
1. NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
2. A GRANULAR PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AT THE MANUFACTURERS RECOMMENDED RATE PRIOR TO PLANT INSTALLATION.
3. ALL PLANTING STOCK SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK," AND-260, LATEST EDITION, OF THE AMERICAN ASSOCIATION OF NURSEYMEN, INC. AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIALS.
4. OVERSTORY TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE PAVED SURFACES.
5. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE AND BE CONTAINER GROWN OR BAILED AND BURLAPPED AS INDICATED IN THE LANDSCAPE LEGEND.
6. PLANT MATERIALS TO BE INSTALLED PER PLANTING DETAILS.
7. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
8. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
9. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE ACCEPTED UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
10. ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION.
11. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
12. MULCH: SHREDDED HARDWOOD MULCH, CLEAN AND FREE OF NOXIOUS WEEDS OR OTHER DELETERIOUS MATERIAL, IN ALL MASS PLANTING BEDS AND FOR TREES, UNLESS INDICATED AS ROCK MULCH ON DRAWINGS. SUBMIT SAMPLE TO LANDSCAPE ARCHITECT PRIOR TO DELIVERY ON-SITE FOR APPROVAL. DELIVER MULCH ON DAY OF INSTALLATION. USE 4" FOR SHRUB BEDS, AND 3" FOR PERENNIAL/GROUND COVER BEDS, UNLESS OTHERWISE DIRECTED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MULCHES AND PLANTING SOIL QUANTITIES TO COMPLETE THE WORK SHOWN ON THE PLAN.
14. USE ANTI-DESCISSANT (WILTRUP OR APPROVED EQUAL) ON DECIDUOUS PLANTS MOVED IN LEAF AND FOR EVERGREENS MOVED ANYTIME. APPLY AS PER MANUFACTURER'S INSTRUCTION. ALL EVERGREENS SHALL BE SPRAYED IN THE LATE FALL FOR WINTER PROTECTION DURING WARRANTY PERIOD.
15. PLANTING SOIL FOR TREES, SHRUBS AND GROUND COVERS: FERTILE FRIABLE LOAM CONTAINING A LIBERAL AMOUNT (4% MIN.) OF HUMUS AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. IT SHALL COMPLY WITH MNDOT SPECIFICATION 3677 TYPE B SELECT TOPSOIL. MIXTURE SHALL BE FREE FROM HARDPACK SUBSOIL, STONES, CHEMICALS, NOXIOUS WEEDS, ETC. SOIL MIXTURE SHALL HAVE A PH BETWEEN 6.1 AND 7.5 AND 10-10-10 FERTILIZER AT THE RATE OF 3 POUNDS PER CUBIC YARD. IN PLANTING BEDS INCORPORATE THIS MIXTURE THROUGHOUT THE ENTIRE BED IN A 6" LAYER AND FOTO-TILLING IT INTO THE TOP 12" OF SOIL AT A 1:1 RATIO ANY PLANT STOCK NOT PLANTED ON DAY OF DELIVERY SHALL BE HELED IN AND WATERED UNTIL INSTALLATION. PLANTS NOT MAINTAINED IN THIS MANNER WILL BE REJECTED.
16. ALL PLANTS SHALL BE GUARANTEED FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1), UNLESS OTHERWISE SPECIFIED. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS.

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Engineering | Surveying | Planning | Environmental

Client
JR HOSPITALITY

Project
HYATT HOUSE HOTEL, BLOOMINGTON

Location
BLOOMINGTON, MINNESOTA
2300 86TH STREET E
2325 OLD SHAKOPEE RD E
2349 OLD SHAKOPEE RD E
2357 OLD SHAKOPEE RD E
2373 OLD SHAKOPEE RD E

Certification
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed LANDSCAPE ARCHITECT under the laws of the State of Minnesota.
William L. Delaney
William L. Delaney
Registration No. 40252 Date: 09/21/2018
This certification is not valid unless wet signed in blue ink. If applicable, contact us for a wet signed copy of this survey which is available upon request at Sambatek, Minnesota, MN office.

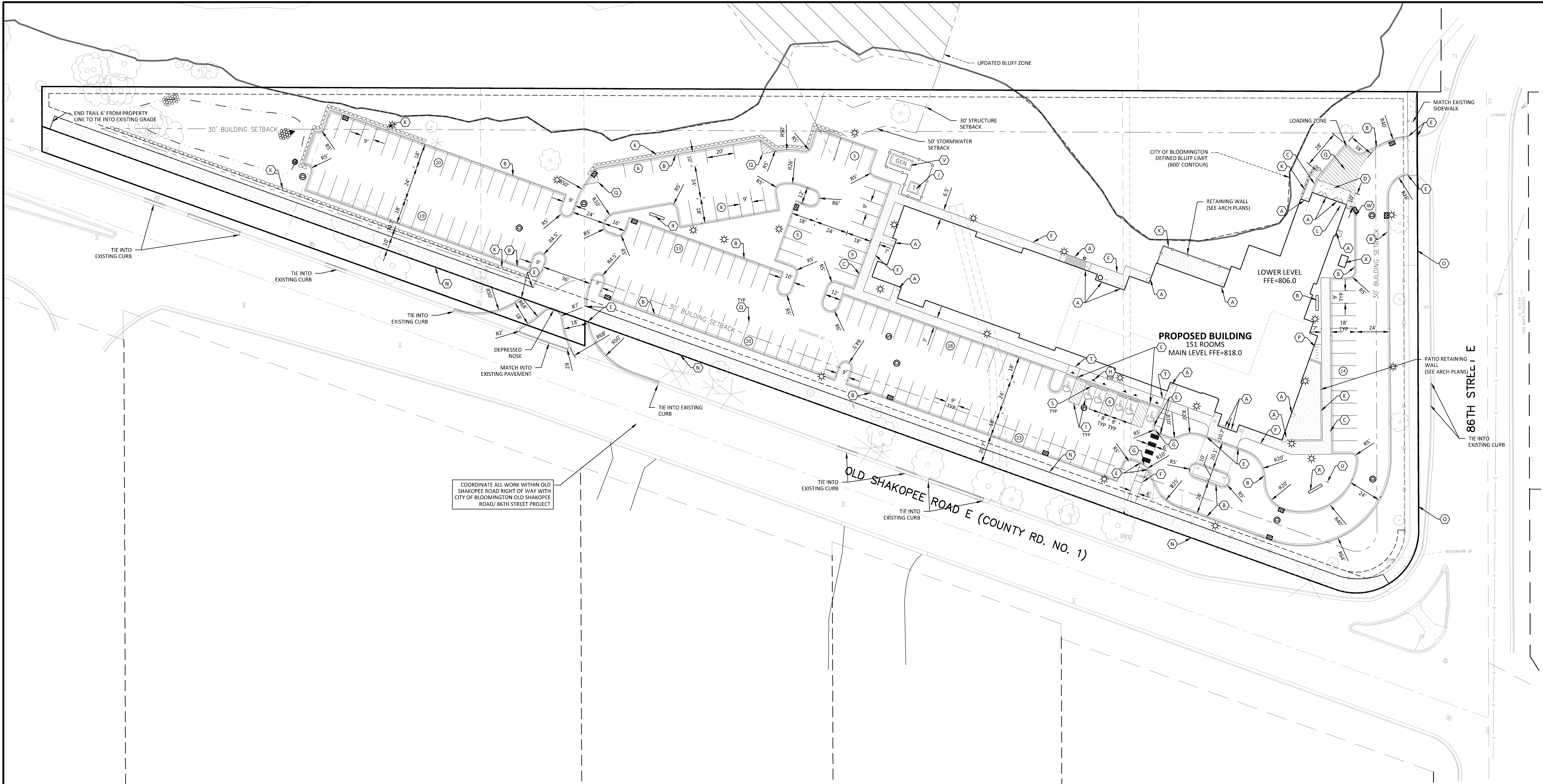
Summary
Designed: JLL Drawn: JMW
Approved: CA Book / Page:
Phase: CD Initial Issued: 04/04/2018

Revision History
No. Date By Submittal / Revision
05/31/18 BL Site Plan & Landscape Plan
09/21/18 EV Revisions
01/29/19 ML Issued for Permit
Issued for Permit

Sheet Title
GROUNDCOVER PLAN & DETAILS

Sheet No. Revision
L1.02

Project No. 21061



COORDINATE ALL WORK WITHIN OLD SHAKOPEE ROAD RIGHT OF WAY WITH CITY OF BLOOMINGTON OLD SHAKOPEE ROAD/ 86TH STREET PROJECT

DEVELOPMENT SUMMARY		
AREA		
GROSS SITE AREA	208,671 SF	4.79 AC
LESS RIGHT-OF-WAY	7,058 SF	0.16 AC
NET SITE AREA	201,613 SF	4.63 AC
BUILDING SETBACKS		
FRONT YARD	30 FEET	
REAR YARD	30 FEET	
SIDE YARD	30 FEET	
PARKING/LANDSCAPING SETBACKS		
RIGHT OF WAY	20 FEET	
OTHER PROPERTY LINE	5 FEET	
ZONING		
EXISTING ZONING	B-1 NEIGHBORHOOD OFFICE & RO-50 RESIDENTIAL OFFICE	
PROPOSED ZONING	C4 FREEWAY OFFICE	
PARKING SUMMARY		
STALLS REQUIRED (1:1 STALLS/ROOM)	166 STALLS	
STANDARD STALLS PROVIDED	160 STALLS	
ADA STALLS PROVIDED	6 STALLS	
TOTAL STALLS PROVIDED	166 STALLS	

- DEVELOPMENT NOTES**
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REVIEW PAVEMENT GRADIENT AND CONSTRUCT "GUTTER OUT" WHERE WATER DRAINS AWAY FROM CURB. ALL OTHER AREAS SHALL BE CONSTRUCTED AS "GUTTER IN" CURB. COORDINATE WITH GRADING CONTRACTOR.
 - ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
 - ALL PARKING STALLS TO BE 9' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - SEE ARCHITECTURAL PLANS FOR PYLON SIGN DETAILS
 - SEE ARCHITECTURAL PLANS FOR LIGHT POLE FOUNDATION DETAIL AND FOR EXACT LOCATIONS OF LIGHT POLE.
 - REFER TO FINAL PLAT FOR LOT BOUNDARIES, LOT NUMBERS, LOT AREAS, AND LOT DIMENSIONS.
 - ALL GRADIENTS ON SIDEWALKS ALONG THE ADA ROUTE SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE NOT TO EXCEED 5% (1:20), EXCEPT AT CURB RAMPS (1:12), AND A MAXIMUM CROSS SLOPE NOT TO EXCEED 2.08% (1:48). THE MAXIMUM SLOPE IN ANY DIRECTION ON AN ADA PARKING STALL OR ACCESS AISLE SHALL NOT EXCEED 2.08% (1:48). THE CONTRACTOR SHALL REVIEW AND VERIFY THE GRADIENT IN THE FIELD ALONG THE ADA ROUTES PRIOR TO PLACING CONCRETE OR BITUMINOUS PAVEMENT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE IS A DISCREPANCY BETWEEN THE GRADIENT IN THE FIELD VERSUS THE DESIGN GRADIENT AND COORDINATE WITH GRADING CONTRACTOR. SEE DETAIL SHEET C9.03 FOR ADA ACCESSIBLE ROUTE AND DETAILS.
 - "NO PARKING" SIGNS SHALL BE PLACED ALONG ALL DRIVEWAYS AS REQUIRED BY CITY.
 - SEE ARCHITECTURAL LIGHTING PLANS FOR LIGHT POLE LOCATIONS AND PHOTOMETRICS.

- KEY NOTES**
- A. BUILDING, STOOPS, STAIRS SEE ARCHITECTURAL PLANS
 - B. 6-12 CONCRETE CURB AND GUTTER
 - C. INTEGRATED CURB AND SIDEWALK
 - D. CONCRETE APRON
 - E. BEGIN FLUSH PAVEMENT/CURB
 - F. CONCRETE SIDEWALK
 - G. ACCESSIBLE RAMP
 - H. ACCESSIBLE PARKING SIGN
 - I. ACCESSIBLE STALL STRIPING
 - J. TRANSFORMER PAD
 - K. SEGMENTAL BLOCK RETAINING WALL
 - L. TRASH ENCLOSURE
 - M. MONUMENT SIGN
 - N. 10' ASPHALT TRAIL
 - O. EXISTING CONCRETE WALK TO REMAIN
 - P. BIKE RACK - SEE DETAIL ON L3.02
 - Q. WHITE PAVEMENT STRIPING
 - R. MONUMENT SIGN
 - S. CONCRETE CURB STOP
 - T. PEDESTRIAN CURB RAMP - PARALLEL
 - U. FLAGPOLE
 - V. GENERATOR PAD
 - W. 3" CURB CUT
 - X. GREASE INTERCEPTOR - DESIGN BY OTHERS

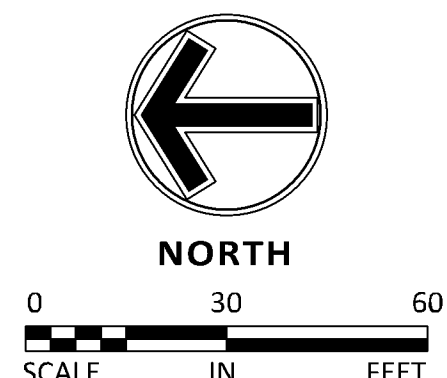
LEGEND		
PROPOSED	EXISTING	STANDARD DUTY ASPHALT PAVING
PROPERTY LIMIT		
CURB & GUTTER		
EASEMENT		
BUILDING		CONCRETE PAVING
RETAINING WALL		
WETLAND LIMITS		CONCRETE SIDEWALK
TREELINE		
SAWCUT LINE		ASPHALT TRAIL
SIGN		
PIPE BOLLARD		
NUMBER OF PARKING STALLS PER ROW		
KEY NOTE		
BALCONY FENCE		
LIGHT POLE		
BLUFF LIMIT (800' CONTOUR)		

THE SURFACE UTILITY INFORMATION SHOWN ON THESE PLANS IS A UTILITY QUALITY (UQ) OF 1. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF AUCUTS 18-20, TITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DISPOSITION OF EXISTING SURFACE UTILITY DATA". THE CONTRACTOR SHALL REVIEW THE UQ DATA AND SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. BY CONTACTING THE NOTIFICATION CENTER (NOC) OF THE STATE OF MINNESOTA, THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY AND ALL DAMAGES, WHEN CAUSED BY NEGLIGENCE, WHICH MAY BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES (UNDERGROUND AND OVERHEAD).

IF THE CONTRACTOR ENCOUNTERS ANY OBSTACLE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITHIN THE LOCATION, SIZE, DEPTH AND IF THE UTILITY IS ACTIVE, AND DRAINAGE SHALL BE INSTALLED WITHOUT APPROVAL FROM THE PROJECT ENGINEER.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

PL201800122
PL2018-122



Client
JR HOSPITALITY

Project
HYATT HOUSE HOTEL, BLOOMINGTON

Location
BLOOMINGTON, MINNESOTA

2300 86TH STREET E
2325 OLD SHAKOPEE RD E
2349 OLD SHAKOPEE RD E
2357 OLD SHAKOPEE RD E
2373 OLD SHAKOPEE RD E

Certification
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed professional ENGINEER under the laws of the state of Minnesota.

Chad Ayers

Chad Ayers
Registration No. 41301 Date: 09/21/2018
If applicable, contact us for a wet signed copy of this plan which is available upon request at Sambatek's, Minnetonka, MN office.

Summary
Designed: BUL Drawn: JMW
Approved: CA Book / Page:
Phase: CD Initial Issued: 04/04/2018

Revision History
No. Date By Submittal / Revision

05/31/18	BL	Site Plan & Landscape Plan	Revisions
09/21/18	EV	Issued for Permit	
01/29/19	ML	Issued for Permit	

Sheet Title
SITE PLAN

Sheet No. Revision

C3.01

Project No. 21061