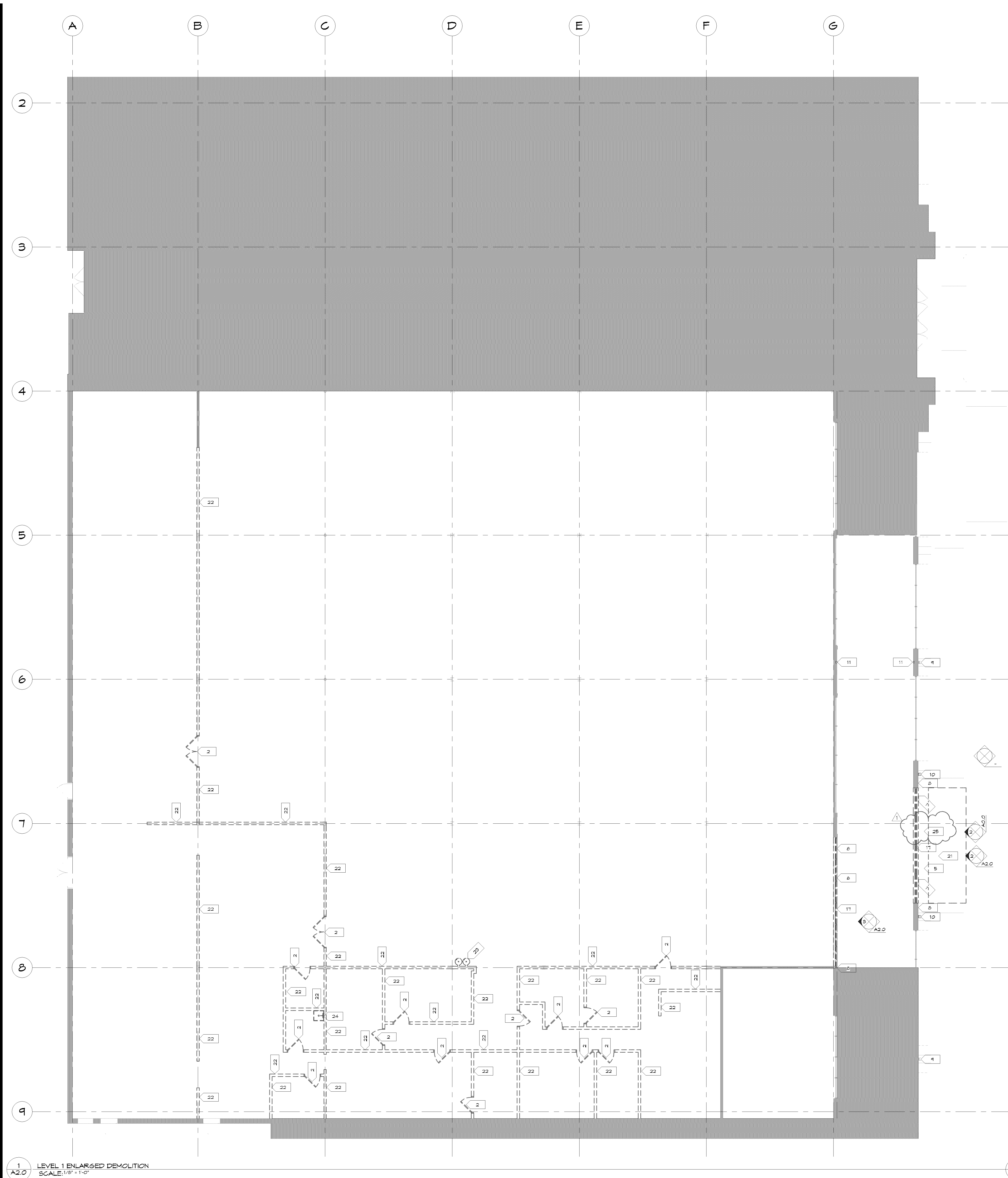
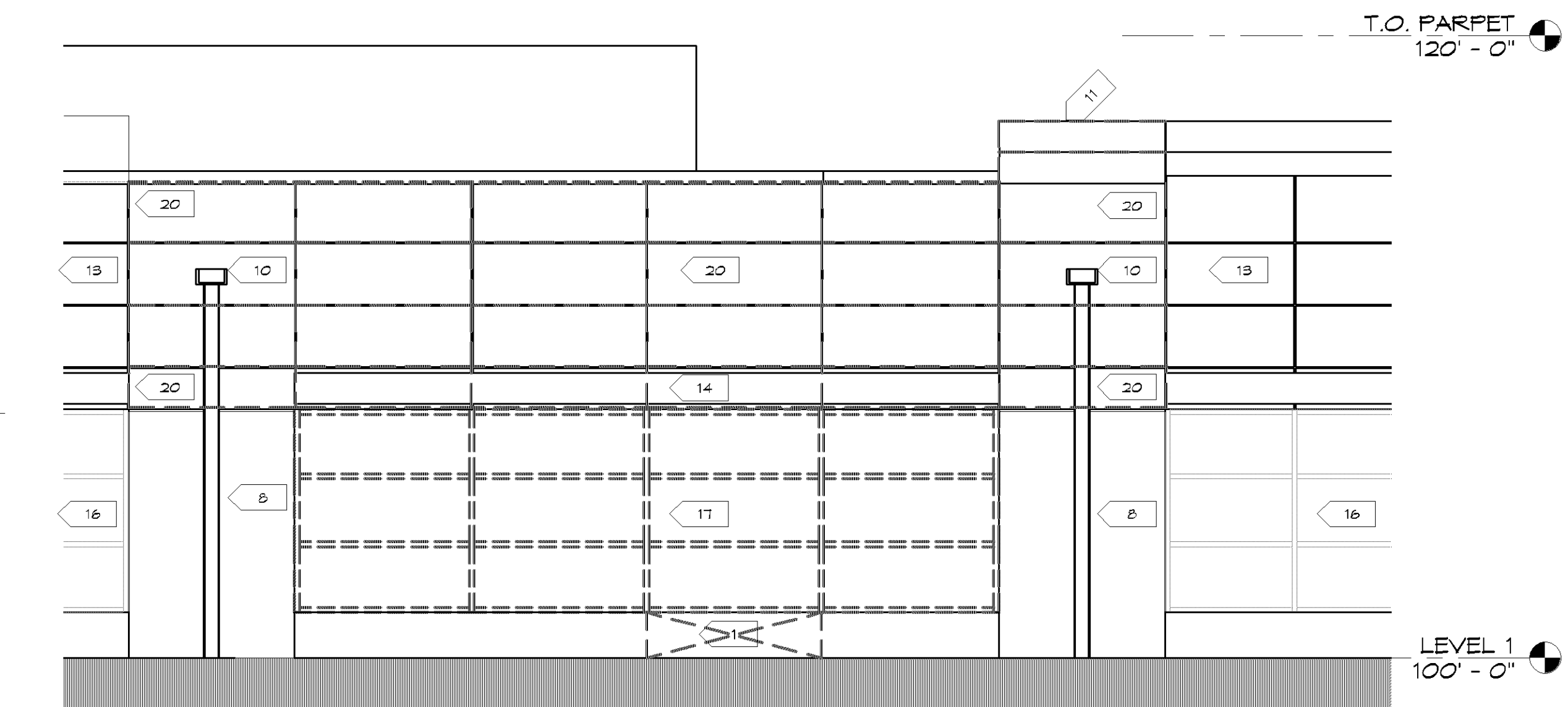




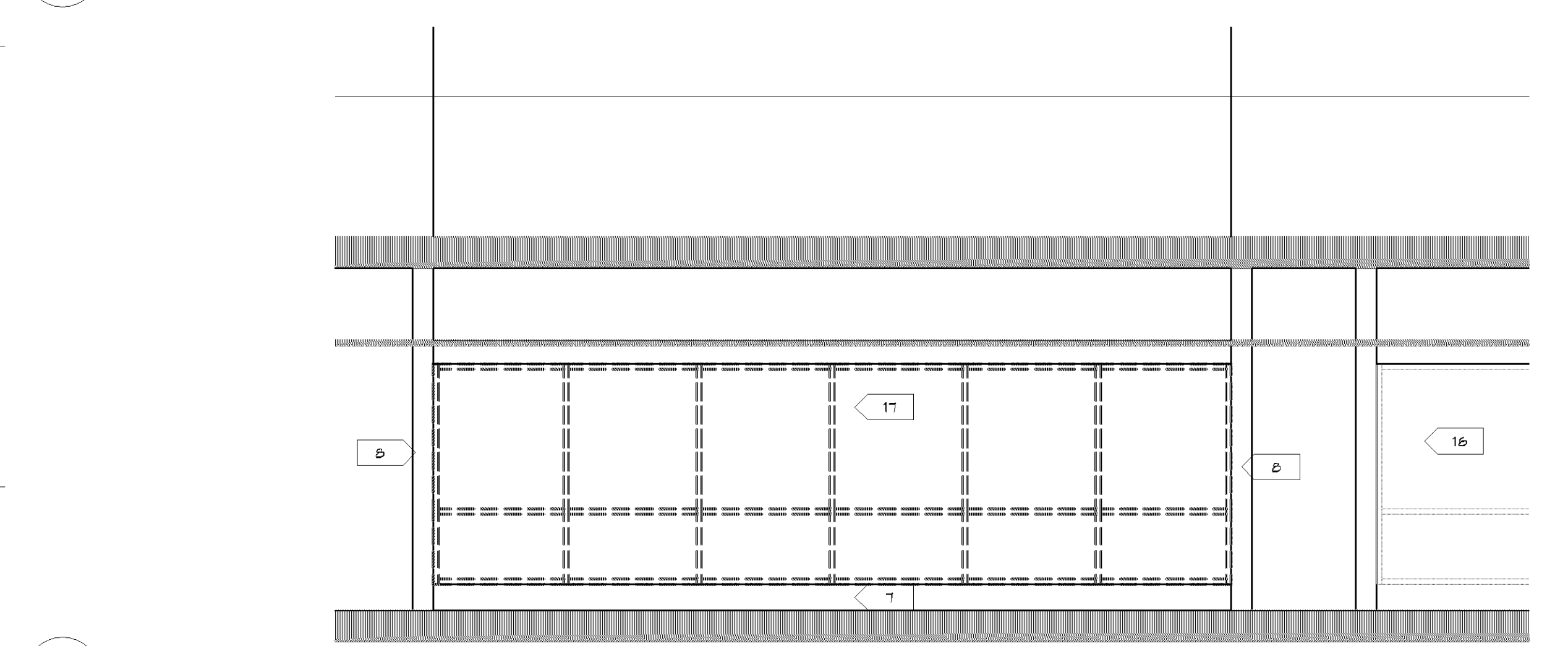
10520 France Avenue S
PL201900060
PL2019-60
Planet Fitness

- ### DEMOLITION KEYNOTES
- 1 REMOVE EXTERIOR WALL CONSTRUCTION AS REQUIRED FOR ALUMINUM-FRAMED ENTRANCE DOORS
 - 2 REMOVE DOOR AND FRAME. VERIFY IF SALVAGE AND/OR STORE DOOR/FRAME WITH OWNER
 - 3 REMOVE PORTION OF EXISTING CONCRETE PAVEMENT AS REQUIRED FOR STRUCTURAL STOOFF AND PEDESTRIAN GRASS RAMP
 - 4 EXISTING THRU-WALL SCUPPER AND OPEN-FACE DOWNSPOUT TO REMAIN
 - 5 REMOVE LANDSCAPING AND VERIFY WITH OWNER IF SALVAGE OR RELOCATE
 - 6 REMOVE INTERIOR FACE BRICK SILL
 - 7 EXISTING CONSTRUCTION TO REMAIN
 - 8 EXISTING FACE BRICK TO REMAIN
 - 9 EXISTING THRU-WALL SCUPPER AND OPEN-FACE DOWNSPOUT TO REMAIN
 - 10 EXISTING THRU-WALL SCUPPER TO REMAIN AND OPEN-FACE DOWNSPOUT REMOVE AND SALVAGE FOR REINSTALLATION
 - 11 REMOVE/MODIFY EXISTING CORNICE/PARAPET AS REQUIRED FOR STUCCO SYSTEM WALL
 - 12 EXISTING MASONRY SILL TO REMAIN
 - 13 EXISTING STUCCO SYSTEM TO REMAIN
 - 14 EXISTING STEEL CANOPY REMOVE AND SALVAGE FOR REINSTALLATION
 - 15 EXISTING SIGNAGE TO REMAIN
 - 16 EXISTING ALUMINUM-FRAMED STOREFRONT SYSTEM
 - 17 REMOVE WINDOW FRAME AND GLAZING. PATCH EXISTING OPENING AS REQUIRED TO MATCH ADJACENT SURFACES
 - 18 REMOVE EXISTING EXTERIOR WALL CONSTRUCTION AS REQUIRED FOR DOOR OPENING
 - 19 REMOVE PREFINISHED METAL COPING
 - 20 REMOVE EXTERIOR STUCCO, SHEATHING, AND 5 1/2" METAL STUD FRAMING OF PARAPET. SEE DETAIL B/A6.0
 - 21 DEMOLISH EXISTING CONCRETE SLAB AT DOOR OPENING
 - 22 REMOVE PARTITION IN ITS ENTIRETY. ELECTRICAL CONTRACTOR TO DISCONNECT ALL DEVICES BACK TO PANEL. AND PLUMBING CONTRACTOR SHALL CAP ALL PIPING EITHER ABOVE THE CEILING OR BELOW THE FLOOR
 - 23 REMOVE DRINKING FOUNTAIN
 - 24 REMOVE HOP SINK
 - 25 REMOVE LANDSCAPING AND PLANTINGS. RELOCATE PLANTINGS ON SITE

- ### DEMOLITION GEN. NOTES
- A. ALL EXISTING CONDITIONS SHALL BE REMOVED AS REQUIRED TO ACCOMMODATE PROPOSED CONSTRUCTION, WHETHER OR NOT NOTED ON DEMOLITION PLAN. (COORDINATE WITH HIGH. ELEC. DRAWINGS)
 - B. FIELD VERIFY THAT PARTITIONS SCHEDULED FOR REMOVAL ARE NOT STRUCTURAL AND CONTAIN NO LOAD BEARING ELEMENTS. IF ANY CONFLICTS OCCUR, CONTACT THE PROJECT ARCHITECT IMMEDIATELY.
 - C. SURFACES ADJACENT TO REMOVAL AREAS SHALL BE PATCHED AND CLEANED. MAINTAIN ALL FIRE RATINGS AS REQUIRED.
 - D. PROVIDE DUST CONTROL, AND/OR TEMPORARY PARTITIONS AS REQUIRED BETWEEN CONSTRUCTION AREAS AND OCCUPANCY AREAS AT ALL TIMES.
 - E. PROVIDE A SAFE PASSAGE THROUGH AND/OR AROUND CONSTRUCTION AREAS AS REQUIRED TO MAINTAIN REQUIRED BUILDING EXITS.
 - F. KEEP NOISE TO A LEVEL ACCEPTABLE TO OWNER.
 - G. PLANTS AND LANDSCAPE TO BE RELOCATED ON SITE. VERIFY WITH OWNER FOR LOCATION.



2 A2.0 EXTERIOR ELEVATION DEMOLITION
SCALE: 1/4" = 1'-0"



3 A2.0 INTERIOR ELEVATION DEMOLITION
SCALE: 1/4" = 1'-0"

AREA OF WORK

	NO WORK EXISTING CONSTRUCTION TO REMAIN
	AREA OF WORK

1 A2.0 LEVEL 1 ENLARGED DEMOLITION
SCALE: 1/8" = 1'-0"

4800 WEST OLD SHAKOPEE ROAD
SUITE 320
BLOOMINGTON, MINNESOTA 55437
TEL: 612-995-0663
FAX: 612-995-0663
WWW.SPA-MN.COM

BKBM
ENGINEERS

6190 EARLE BROWN DRIVE
SUITE 700
MINNEAPOLIS, MN 55430

PERMITS
REGISTERED ARCHITECT IN THE STATE OF MINNESOTA
BLOOMINGTON, MN

DATE: 4/10/2019
REGISTRATION NO.: 05176

ISSUE RECORD

ISSUE #	DATE	DESCRIPTION
1	7/8/2019	PERMIT ISSUE REVISIONS

VALLEY WEST SHOPPING CENTER
ENTRANCE & DEMISING WALL
RENOVATION

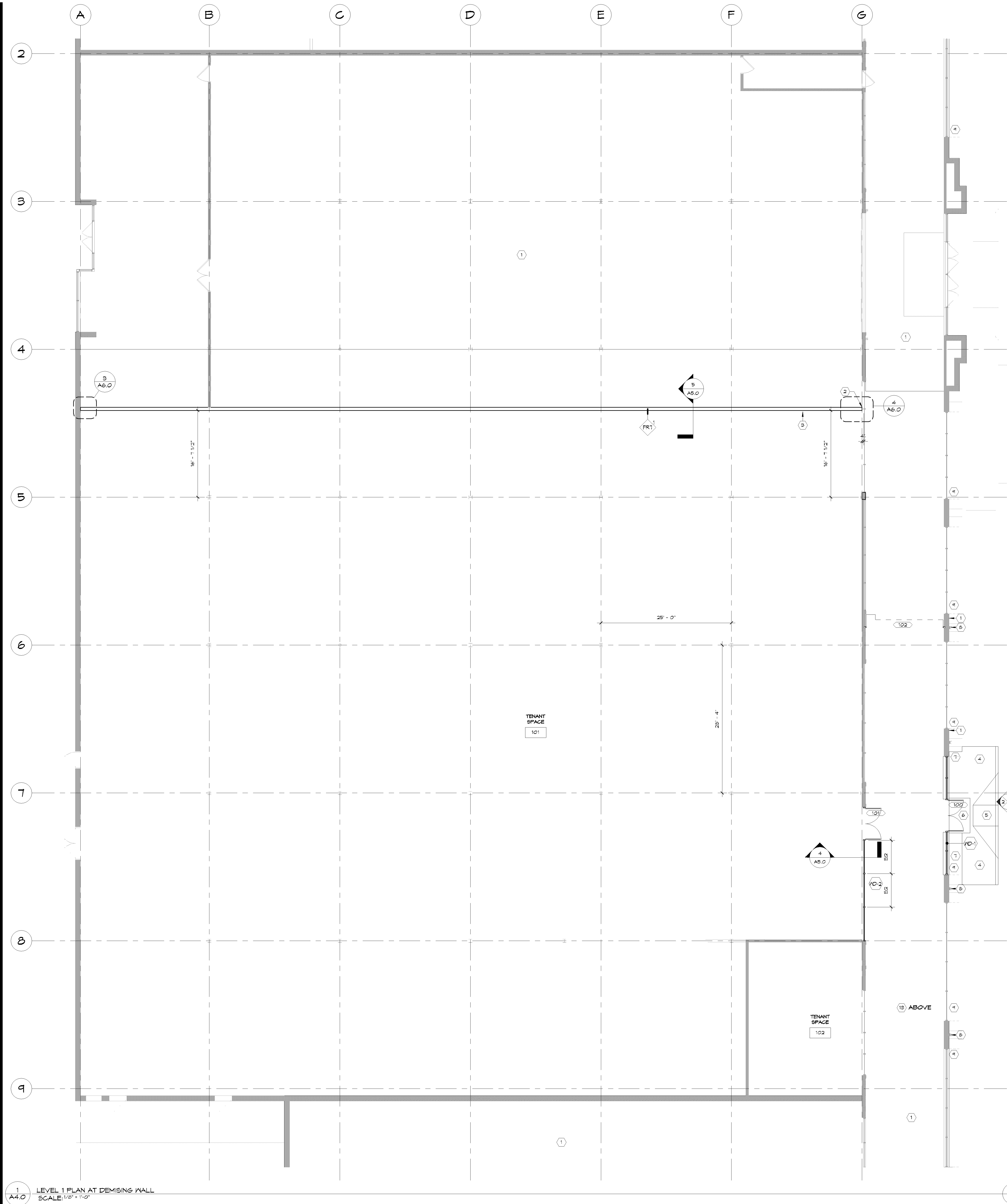
10520 FRANCE AVE S. BLOOMINGTON, MN 55431

DEMOLITION PLAN
AND ELEVATIONS

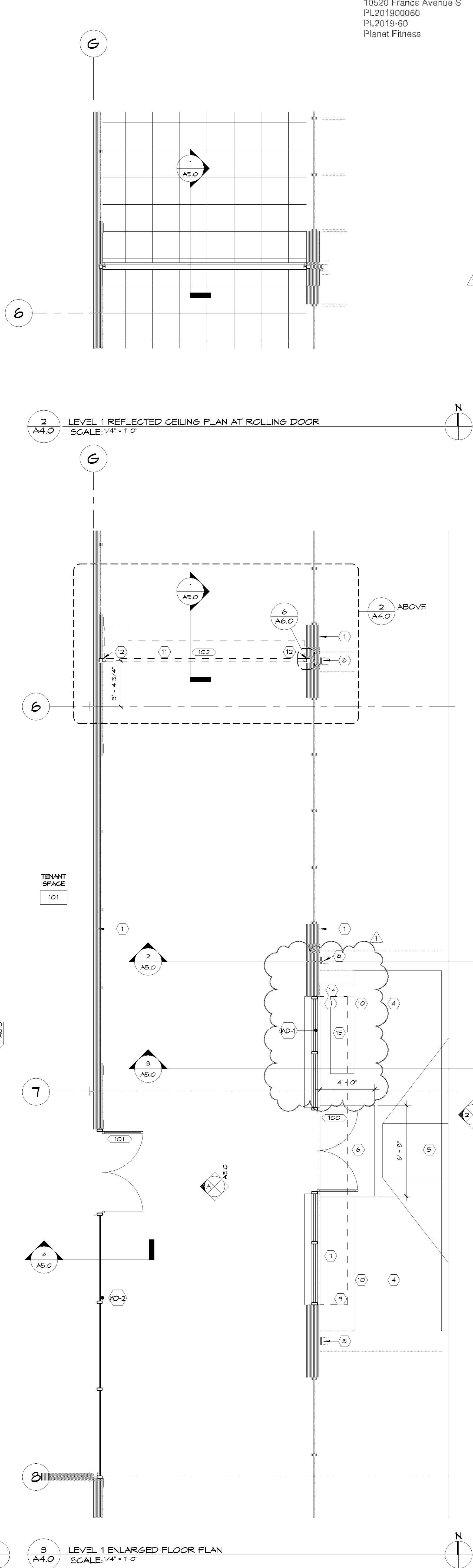
PROJECT NO.: 19-009
DRAWN BY: BC
CHECKED BY: JR

A2.0

7/8/2019 1:06:30 PM



1
A4.0
LEVEL 1 PLAN AT DEMISING WALL
SCALE: 1/8\"/>



3
A4.0
LEVEL 1 ENLARGED FLOOR PLAN
SCALE: 1/4\"/>

- FLOOR PLAN GEN. NOTES**
- A. DRAWINGS SHOULD NOT BE SCALED - DIMENSIONS GOVERN. CONTACT ARCHITECT FOR CLARIFICATION.
 - B. SEE SHEET A4.1 FOR PARTITION TYPE INFORMATION.
 - C. DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF GYP BD UNLESS NOTED OTHERWISE.
 - D. THE TYPICAL DIMENSION FROM OUTSIDE EDGE OF DOOR FRAME TO THE FACE OF ADJACENT PERPENDICULAR WALL IS 5' UNLESS NOTED OTHERWISE.
 - E. ALL WALLS TO DECK TO BE CONSTRUCTED TO ACCOMMODATE DEFLECTION OF ROOF STRUCTURE.
 - F. PROVIDE MOISTURE RESISTANT GYP BD AT ALL NET WALLS.
 - G. PROVIDE CONTROL JOINTS IN GYP BD AS RECOMMENDED BY MANUFACTURER.
 - H. COORDINATE UNDERGROUND AND UNDER SLAB UTILITIES. COORDINATE ALL SLEEVES THROUGH / UNDER FOOTING AND FOUNDATION W/ STRUCTURAL ENGINEER.
 - I. PROVIDE FIRE EXTINGUISHERS OF SIZE AND TYPE AND LOCATION AS REQUIRED BY THE FIRE MARSHALL.
 - J. VERIFY / COORDINATE LOCATION OF KNOX BOX WITH LOCAL FIRE MARSHALL. (IF REQUIRED)
 - K. REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO STRUCTURAL COMPONENT SIZES, LOCATIONS, CONFIGURATIONS, AND CAPACITIES.
 - L. SUBCONTRACTOR TO VERIFY DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. ANY DIMENSIONS, DISCREPANCIES, OR CONFLICTS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
 - M. PLANT RELOCATION: COORDINATE WITH FIREPROOF ENCLOSURE THE SPACE AROUND PENETRATION SHALL BE FIRE STOPPED TO MEET REQUIRED RATINGS.
 - N. PLANTS AND LANDSCAPE TO BE RELOCATED ON SITE. VERIFY WITH OWNER FOR LOCATION.

- FLOOR PLAN KEYNOTES**
- (1) EXISTING CONSTRUCTION TO REMAIN SHOWN SHADDED, TYPICAL.
 - (2) ALIGN PARTITION WITH EXISTING WINDOW MULLION.
 - (3) FULL HEIGHT DEMISING WALL.
 - (4) CONCRETE PAVING: CONTROL JOINTS TO ALIGN WITH EXISTING.
 - (5) CONCRETE PEDESTRIAN CURB RAMP: 1:12 MAX SLOPE. FLARED SIDES 1:10 MAX SLOPE CENTER ON DOOR OPENING.
 - (6) CONCRETE STRUCTURAL STOP: SEE DETAIL 7/A4.0.
 - (7) LANDSCAPE AREA.
 - (8) EXISTING OPEN-FACE DOWNSPOUT TO REMAIN.
 - (9) EXISTING STEEL CANOPY TO REMAIN SHOWN DASHED ABOVE.
 - (10) ALIGN CONCRETE PAVING WITH EXISTING, TYPICAL.
 - (11) OVER-HEAD ROLLING GRILLE: ELECTRIC OPERATED. CURTAIN FINISH: CLEAR ANODIZED ALUM. BOTTOM BAR: CLEAR ANODIZED ALUM.
 - (12) ROLLING GRILLE STRUCTURE: PROVIDED BY GRILLE MANUFACTURER PATCH AND PAINT SYSTEM BOARD. DISTURBED DURING CONSTRUCTION.
 - (13) CONTRACTOR TO FIELD VERIFY A RISER BEAM EXISTS IN THE ROOM DRAMING AT THE LOCATION OF THE EXISTING RISK. PROVIDE DOCUMENTATION TO ARCHITECT AND STRUCTURAL ENGINEER.
 - (14) EXTEND CONCRETE TO FACE OF BUILDING.
 - (15) BICYCLE RACK: GRID STYLE. MATCH EXISTING RACKS ON SITE.

AREA OF WORK

NO WORK EXISTING
CONSTRUCTION TO REMAIN

AREA OF WORK

4000 WEST OLD SHAWORE ROAD
SUITE 320
MINNEAPOLIS, MINNESOTA 55437
TEL: 612-339-0646
FAX: 612-339-0643
WWW.SPA-MN.COM

BKBM
ENGINEERS

6190 EARLE BROWN DRIVE
SUITE 700
MINNEAPOLIS, MN 55430

10520 FRANCE AVENUE S. BLOOMINGTON, MN 55431

**VALLEY WEST SHOPPING CENTER
ENTRANCE & DEMISING WALL
RENOVATION**

PLANS

PROJECT NO: 19-009
DRAWN BY: BC
CHECKED BY: JR

A4.0

7/8/2019 1:06:31 PM