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November 22, 2019

Attn: Planning Division
City of Bloomington, MN
1800 West Old Shakopee Road
Bloomington, MN 55431

Re: 1900- 86th Street East., Bloomington, Minnesota; PIN No. 01-027-24-33-0099.

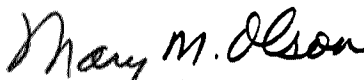
Dear Sir or Madam:

I am writing to request a zoning letter, including parking, confirming the current zoning of the above-referenced property which is located in Hennepin County, Minnesota. I have attached our standard form letter for your convenience in preparing the information.

Please deliver a copy of the zoning letter to my attention, either by fax, or by email addressed to Mary.Olson@FaegreBD.com and send the original zoning letter to my attention at the address provided in the letter.

If you have any questions or comments concerning this request, please do not hesitate to contact me at 612-766-8128. Thank you for your assistance.

Sincerely


Mary M. Olson
Paralegal

Enclosures
US.125632294.01

[To be retyped on City letterhead]

_____, 2019

Aeon VP Bloomington LLC
901 N. 3rd Street, Suite 150
Minneapolis, MN 55401

Faegre Baker Daniels LLP
2200 Wells Fargo Center
90 South Seventh Street
Minneapolis, MN 55402

RE: 1900 86th Street East, Bloomington, MN 55431. Property Tax ID
Number: 01-027-24-33-0099.

Ladies and Gentlemen:

The undersigned hereby certifies with respect to the real property listed on the Real Property Schedule identified as Exhibit A attached hereto (the "Property") and the associated Improvements (defined below) located thereon as follows:

The zoning code affecting the Property is _____ which unconditionally permits use as _____.

2. The required number of parking spaces for the Property is _____.

3. The Property complies with all zoning code, city and county ordinances and building and use restrictions, including without limitation all parking requirements.

4. There are no variances, conditional use permits or special use permits required for the improvements as constructed on the Property.

5. The Property as described complies with applicable platting and subdivision ordinances and can be conveyed without subdividing or the filing of a plat or replat of the Property.

6. A copy of the applicable zoning ordinance is attached for your reference.

Signature of authorized person: _____

Typed or printed name of signatory: _____

Title of signatory: _____

Date: _____

Exhibit A

Lot 1, Block 1, Versailles Second Addition, Hennepin County, Minnesota.