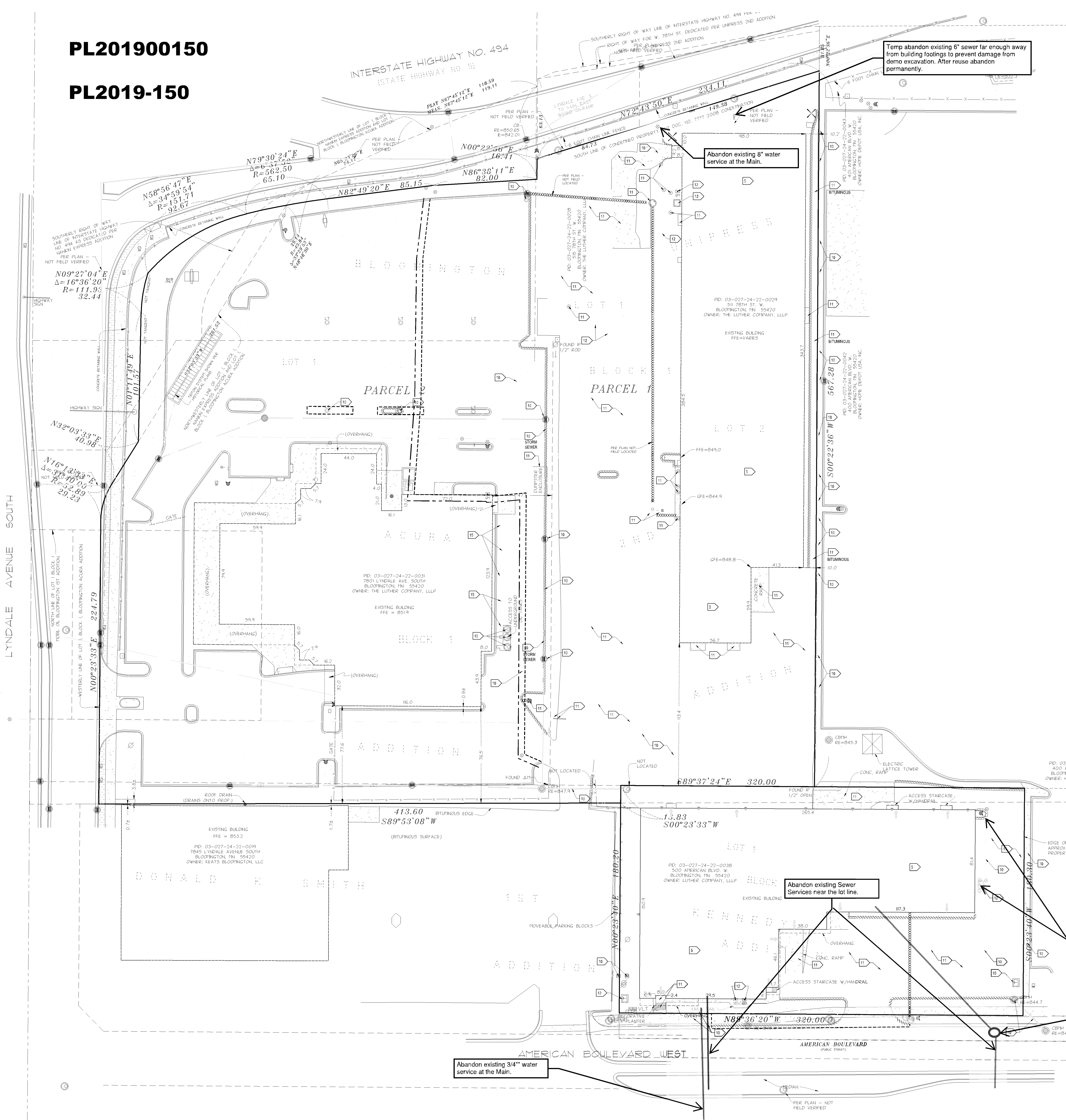




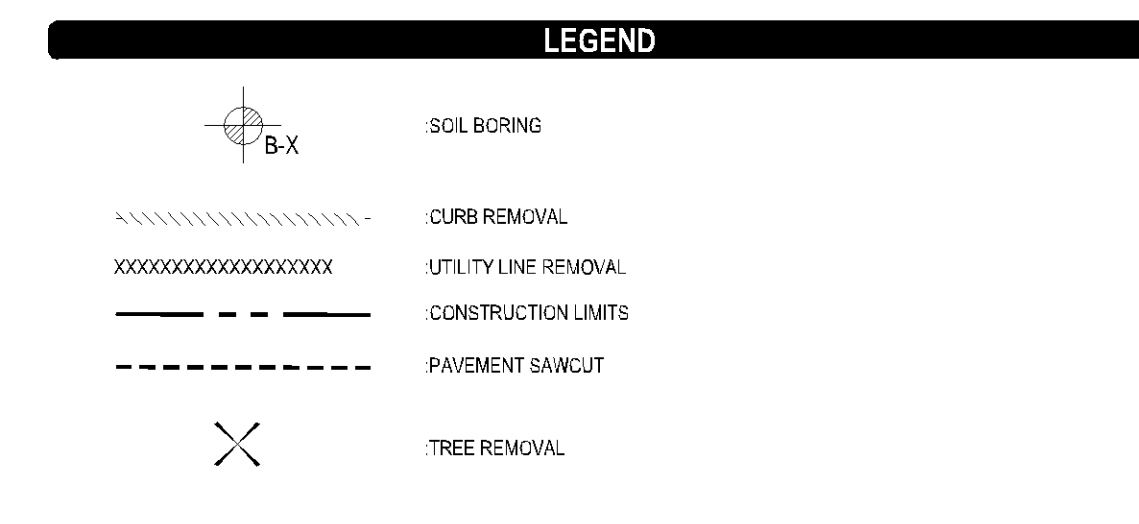


PL201900150

PL2019-150



- GENERAL NOTES**
- FOR CONSTRUCTION STAFF AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.8070.
  - CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
  - SEE SHEET C1-1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
  - BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL.
  - DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
  - REFER TO DETAILS FOR PAVEMENT SANGLUT. REMOVE CONCRETE WALLS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
  - COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS.
  - PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION.
  - PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOIL AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
  - REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, DRIVEWAYS, FINISHES, RETAINMENT WALLS, SLOTTED DRAINAGE, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
  - COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND SPENTANNEAGES WITH THE UTILITY COMPANIES. RESTORE ELECTRICAL, MECHANICAL, PIPING, POWERPOLES, SUPPLIES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
  - EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN PLACE IF FILLED WITH SAND AND FLOUT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SURVEY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
  - HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS, UNLESS NOTED OTHERWISE.
  - REMOVE PAVEMENT MARRIAGES.



**DEVELOPER**  
**MOTORS MANAGEMENT CORPORATION**  
 3701 ALABAMA AVENUE SOUTH  
 ST. LOUIS PARK, MN 55416  
 TEL: (612) 558-8800 FAX: (612) 558-8800

**MUNICIPALITY**  
  
**BLOOMINGTON**

**PROJECT**  
**LUTHER BLOOMINGTON**  
**ACURA SUBARU**  
**BLOOMINGTON, MN**

**SHEET INDEX**

SHEET	TITLE
C-1	SITE PLAN
C-2	GENERAL BARRICADE, PAVING & SIGNAGE
C-3	CONTROL
C-4	UTILITIES

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
20 AUG 2019	DRG SUBMITTAL	SEE
20 AUG 2019	DRG PLAN SUBMITTAL	SEE

**PROJECT MANAGER REVIEW**  
 BY: [Signature] DATE: 08.21.2019

**CERTIFICATION**

**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL**  
 AUGUST 21, 2019

IF THE BARRICADE, SIGN, OR UTILITIES ARE NOTED AS BEING NOT TO BE REMOVED, THIS SHEET HAS BEEN REVISIONED AND THE REVISIONS WILL BE SHOWN IN RED. ANY OTHER REVISIONS TO THE PROJECT WILL BE SHOWN IN RED.

**LANDFORM**  
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-8070  
 Suite 513 Fax: 612-252-8077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: C1028A841.DWG  
 PROJECT NO.: BAA14041

**DEMOLITION**  
**C1.2**

Abandon existing 5" water service and hydrant to Key Collision. Add a valve and install a new hydrant north, to eliminate the need to abandon this 5" service main out at the 24" water main in the City ROW.

Abandon existing Sewer Service MH. Remove top section 4" below surface and fill with flowable foamcrete or sand.

Abandon existing Sewer Services near the lot line.

Abandon existing 3/4" water service at the Main.

Temp abandon existing 6" sewer far enough away from building footings to prevent damage from demo excavation. After reuse abandon permanently.

Abandon existing 8" water service at the Main.

**811**  
 Know what's Below.  
 Call before you dig.

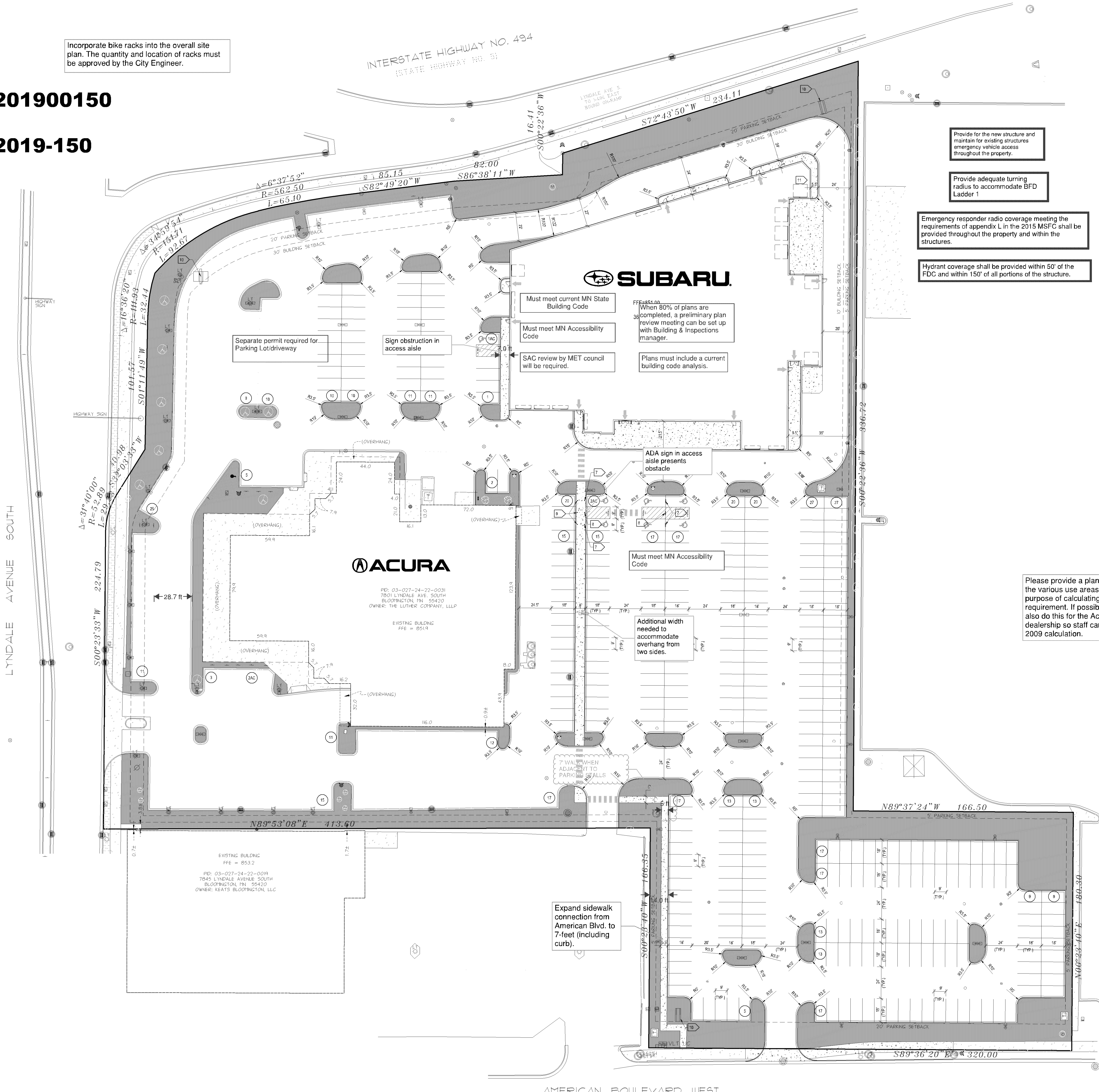
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PL201900150

PL2019-150

Incorporate bike racks into the overall site plan. The quantity and location of racks must be approved by the City Engineer.



Provide for the new structure and maintain for existing structures emergency vehicle access throughout the property.

Provide adequate turning radius to accommodate BFD Ladder 1

Emergency responder radio coverage meeting the requirements of appendix L in the 2015 MSFC shall be provided throughout the property and within the structures.

Hydrant coverage shall be provided within 50' of the FDC and within 150' of all portions of the structure.

Separate permit required for Parking Lot/driveway

Sign obstruction in access aisle

**SUBARU**  
 FFE=65.00  
 When 80% of plans are completed, a preliminary plan review meeting can be set up with Building & Inspections manager.  
 Plans must include a current building code analysis.

ADA sign in access aisle presents obstacle

Additional width needed to accommodate overhang from two sides.

Please provide a plan identifying the various use areas for the purpose of calculating the parking requirement. If possible, please also do this for the Acura dealership so staff can confirm the 2009 calculation.

Expand sidewalk connection from American Blvd. to 7-feet (including curb).

- GENERAL NOTES**
- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.8070.
  - VERIFY ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN OR USE OF PUBLIC RIGHT-OF-WAY.
  - THE DIGITAL FILE WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
  - BUILDING LAYOUT ANGLES ARE PARALLEL WITH OR PERPENDICULAR TO THE PROPERTY LINE AT THE LOCATION INDICATED.
  - DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.
  - DELINEATE PARKING STALLS WITH 4-INCH WIDE WHITE PAINTED STRIPE. DELINEATE ACCESS AISLES WITH 4-INCH WIDE WHITE PAINTED STRIPE 8 INCHES ON CENTER AND 30° OFFSET AND 1/2" TO DIRECTION OF TRAVEL.
- SITE PLAN NOTES**
- STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARD PER DETAIL C7.1.
  - STATE AND ADA APPROVED ACCESSIBLE ISLE SIGN PER DETAIL C7.2.
  - ROUND PPE BOLLARDS PER DETAIL C7.3.
  - PYLON SIGN
  - TRASH
  - GREEN SPACE (LANDSCAPE AREA)

- CITY OF BLOOMINGTON NOTES**
- ALL PARKING STALLS TO BE PAINTED WITH WHITE STRIPING.
  - TEMPORARY STREET SIGNS, LIGHTING, AND ADDRESSES SHALL BE PROVIDED DURING CONSTRUCTION.
  - ALL PUBLIC SIDEWALKS SHALL NOT BE OBSTRUCTED.
  - ALL CONSTRUCTION AND POST-CONSTRUCTION PARKING SHALL BE ON-STREET - NO ON-STREET PARKING LOADING/UNLOADING ALLOWED.
  - STORAGE OF MATERIALS OR EQUIPMENT SHALL NOT BE ALLOWED ON PUBLIC STREETS OR WITHIN PUBLIC RIGHT-OF-WAY.
  - STREET LIGHTING AND INTERCONNECT COUPLER MUST BE EXPOSED FOR CITY INSPECTION PRIOR TO POURING CONCRETE OR BACKFILLING EXCAVATIONS IN CITY RIGHT-OF-WAY.

**ZONING AND SETBACK SUMMARY**

THE PROPERTY IS ZONED GENERAL INDUSTRY ZONE (G1)

BUILDING SETBACK INFORMATION IS AS FOLLOWS:  
 FRONT YARD = 30 FT.  
 REAR = 25 FT.  
 SIDE (INTERIOR) = 10 FT.  
 SIDE (STREET) = 10 FT.

PARKING SETBACK INFORMATION IS AS FOLLOWS:  
 FRONT YARD = 30 FT.  
 REAR = 5 FT.  
 SIDE = 5 FT.

SIDE SETBACK INFORMATION IS AS FOLLOWS:  
 FRONT YARD = 5 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS:  
 LOT WIDTH 160/150' = 100 FT.

**AREA SUMMARY**

EXISTING	SQ. FT.	%
PERVIOUS	33,034	11.7%
IMPERVIOUS	297,133	88.9%
TOTAL (7/15 A2)	334,007	100.0%
PROPOSED		
PERVIOUS	43,855	15.9%
IMPERVIOUS	284,362	85.0%
TOTAL (7/15 A2)	334,007	100.0%

**PARKING SUMMARY**

REQUIRED SUBARU PARKING	REQUIRED ACURA PARKING (PER APPROVED PLANS DATED 03/18/2009)
SERVICE AREA THREE STALLS FOR EACH ENCLOSED "MAJOR SERVICE" BAY	ONE STALL PER 100 SF OF GFA EXCLUDING SERVICE BAYS
TWO STALLS FOR EACH ENCLOSED "MINOR SERVICE" BAY	TWO SPACES PER SERVICE BAY
ONE STALL PER 100 SF OF GFA EXCLUDING SERVICE AREA	ONE STALL PER 200 SF OFFICE
CAR WASH ONE STALL PER 100 SF OF GFA	ONE STALL PER 100 SF OF RETAIL GFA
OFFICE ONE STALL PER 200 SF OF OFFICE GFA	ONE STALL PER 1,000 SF OF WAREHOUSE GFA
RETAIL ONE STALL PER 100 SF OF RETAIL GFA	
WAREHOUSE ONE STALL PER 1,000 SF OF WAREHOUSE GFA	
TOTAL PARKING STALLS REQUIRED	TOTAL PARKING STALLS REQUIRED
75 STALLS	45 STALLS
21 STALLS	35 STALLS
43 STALLS	14 STALLS
3 STALLS	45 STALLS
17 STALLS	15 STALLS
21 STALLS	15 STALLS
43 STALLS	15 STALLS
15 STALLS	15 STALLS
75 STALLS	15 STALLS

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVIEW
07/18/2019	ISSUE: SUBMITTAL PREPARATION	REV: 01
07/18/2019	ISSUE: SUBMITTAL PREPARATION	REV: 02
07/18/2019	ISSUE: SUBMITTAL PREPARATION	REV: 03

**PROJECT MANAGER REVIEW**

DATE: 08/21/2019

**CERTIFICATION**

PRELIMINARY NOT FOR CONSTRUCTION

**SITE PLAN SUBMITTAL**  
AUGUST 21, 2019

LANDFORM  
From Site to Finish

105 South Fifth Avenue Suite 513 Minneapolis, MN 55401  
 Tel: 612-252-8070 Fax: 612-252-8077  
 Web: landform.net

FILE NAME: C2019AA041.DWG  
 PROJECT NO.: BAA14041

**811**  
Know what's Below. Call before you dig.

**NORTH**

0 30 60

**SITE PLAN C2.1**

**DEVELOPER**  
 MOTORS MANAGEMENT CORPORATION  
 3701 ALABAMA AVENUE SOUTH  
 ST. LOUIS PARK, MN 55416  
 TEL: (612) 558-8800 FAX: (612) 558-8800

**MUNICIPALITY**  
 BLOOMINGTON

**PROJECT**  
 LUTHER BLOOMINGTON  
 ACURA SUBARU  
 BLOOMINGTON, MN

**SHEET INDEX**

SHEET	TITLE
C2.1	SITE PLAN
C2.2	GENERAL NOTES
C2.3	ACCESSIBLE SIGN & BOLLARD
C2.4	ACCESSIBLE ISLE SIGN
C2.5	ROUND PPE BOLLARD
C2.6	PYLON SIGN
C2.7	TRASH

**PROJECT MANAGER REVIEW**

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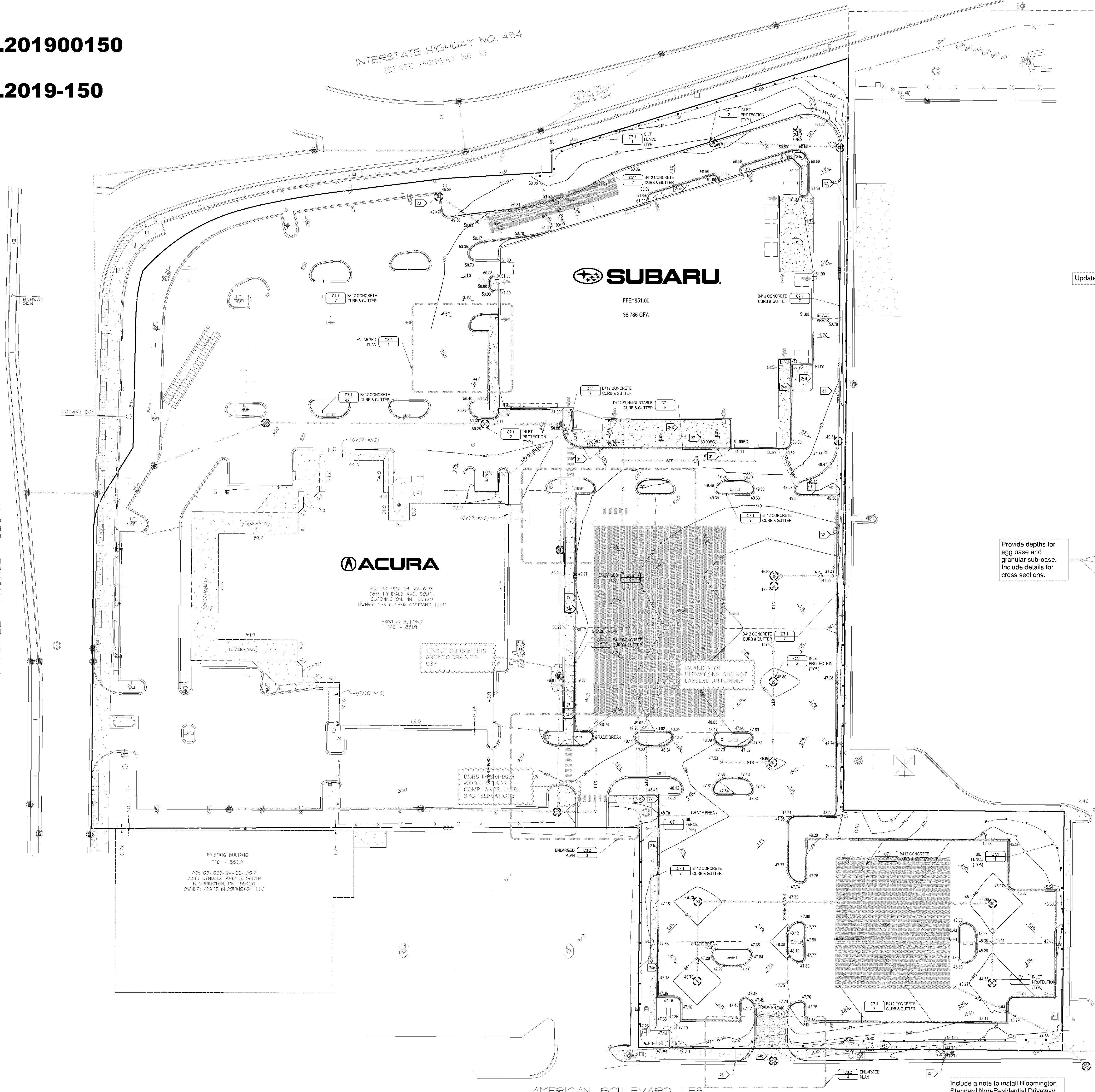


PL201900150

PL2019-150

LYNDALE AVENUE SOUTH

INTERSTATE HIGHWAY NO. 494  
STATE HIGHWAY NO. 51



**SUBARU**  
FFE=851.00  
38,786 GFA

**ACURA**  
PID: 03-027-24-22-0031  
7801 LYNDALE AVE. SOUTH  
BLOOMINGTON, MN 55420  
OWNER: THE LUTHER COMPANY, LLP  
EXISTING BUILDING  
FFE = 853.9

EXISTING BUILDING  
FFE = 853.2  
PID: 03-027-24-22-0018  
7845 LYNDALE AVENUE SOUTH  
BLOOMINGTON, MN 55420  
OWNER: KEATS BLOOMINGTON, LLC

AMERICAN BOULEVARD WEST

Include a note to install Bloomington  
Standard Non-Residential Driveway

- GENERAL NOTES**
- FOR CONSTRUCTION STAFF AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612-252-9070.
  - INSTALL PERMANENT SEDIMENT CONTROL 5 PRIOR TO BEGINNING WORK AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTROLLING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSED OF OFF SITE.
  - 1/4" BENT BOARD DISTANCE TO THE SHOULDER LIMITS SHOWS SCHEDULE OPERATIONS TO MINIMIZE EXPOSURE OF DISTURBED AREAS.
  - MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
  - REFER TO SWPPP NOTES ON SHEET C4.1 FOR ADDITIONAL REQUIREMENTS.
  - CONTRACTOR SHALL PREVENT SEDIMENT LADEN WATER FROM ENTERING THE INFILTRATION SYSTEM UNTIL THE SITE IS COMPLETELY STABILIZED.
  - ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA.
  - SEED, SOIL MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:  
SEED: ITEM # SPECIFICATION NUMBER  
SEED: ITEM # SPECIFICATION NUMBER  
MULCH: ITEM # SPECIFICATION NUMBER  
FERTILIZER: ITEM # SPECIFICATION NUMBER  
GENERAL PLACEMENT: ITEM # SPECIFICATION NUMBER
  - SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
  - SCRAPE ADJACENT STREETS CLEAN DAILY AND KEEP CLEAN VISIBLE.

- GRADING NOTES**
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
  - REFER TO THE GEOTECHNICAL REPORT PREPARED BY K&K, DATED XXXXXX, FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
  - REMOVE TOPSOIL FROM GRADING AREAS AND STORE IN A SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MIXED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH OWNER APPROVAL.
  - REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND INSTABLE.
  - REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
  - AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSTABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE REPORTS TO THE OWNER.
  - PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN PROPOSED COMPACTION THROUGHOUT THE LIFT.
  - CONTRACTOR SHALL SOIL IN PAVED AREAS TO SOIL OF MAXIMUM DRY DENSITY. STANDARD PROCTION LASTS FROM EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100% COMPACTION TO 95% DENSITY WHERE FULL DEPTH EXCEPTS TO FEET THE SOIL SHALL BE WITHIN 2% OF OPTIMUM MOISTURE CONTENT IN GRANULAR SOILS ALL PORTIONS OF THE SUBGRADE SHALL BE COMPACTED TO NOT LESS THAN 95% OF PROPOSED PROCT DENSITY (ASTM D1557).
  - COORDINATE WITH ARCHITECTURAL FOR BUILDING STOOP LOCATIONS & SLOPES SHOWN ON ADJACENT WALKS AND PATHERNS SHOULD CONTINUE OVER STOOPS.
  - AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.

- PAVING NOTES**
- SPOT ELEVATIONS AT CURB/BERMS INDICATE FINISH ELEVATIONS UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR FINISH ELEVATIONS OF CATCH BASINS.
  - GRADES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND UNIFORM. SPOT ELEVATIONS SHALL GOVERN OVER CONTIGUOUS.
  - MEET AND MATCH EXISTING CURB TRANSITION AS NOTED BY K&K, DATED XXXXXX.
  - PAVING SECTIONS (REFER TO GEOTECHNICAL REPORT BY K&K, DATED XXXXXX):  
1. RETAINING WALL (INDOT 210)  
2. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
TACK COAT (INDOT 210)  
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74. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
75. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
76. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
77. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
78. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
79. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
80. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
81. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
82. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
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93. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
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98. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
99. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)  
100. 1.5" AND 1.5" BITUMINOUS WEAR (INDOT 210) (SPREAD 400)

- WET CAST/DRYCAST RETAINING WALL NOTES**
- DRYCAST CONCRETE SEGMENTAL RETAINING WALL COLOR TO BE DETERMINED BY OWNER OR ARCHITECT.
  - PROVIDE STRUCTURAL DESIGN OF RETAINING WALLS FOLLOWING LANDFORM RETAINING WALL SPECIFICATIONS FOR MINIMUM DESIGN AND PERFORMANCE. PROVIDE CONSTRUCTION OF WALLS IN ACCORDANCE WITH APPROVED DESIGNS.
  - CONFIRM ARCHITECTURAL REQUIREMENTS FOR WALL UNITS WITH OWNER.
  - SUBMIT DESIGN TO CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
  - PROVIDE COORDINATION AND ASSURANCE THAT RELATED WORK CONSTRUCTED WITHIN THE REINFORCED EARTH ZONE INCLUDING FENCES, SIGNAGE AND UTILITIES SHALL NOT BE ETC. IN ACCORDANCE WITH APPROVED DESIGNS AND DOES NO DAMAGE TO REINFORCING ELEMENTS OF THE RETAINING WALL.

**LEGEND**

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
(Symbol)	INLET PROTECTION	18 EACH
(Symbol)	SILT FENCE	1.51 FEET
(Symbol)	VEHICLE TRACKING PAD	1 EACH
(Symbol)	SPOT CURB	
(Symbol)	PAVEMENT EDICUT	
(Symbol)	CONSTRUCTION LIMITS	

**DEVELOPER**  
MOTORS MANAGEMENT CORPORATION  
3701 ALABAMA AVENUE SOUTH  
ST. LOUIS PARK, MN 55416  
TEL: 612-252-9070 FAX: 612-252-9070

**MUNICIPALITY**  
BLOOMINGTON

**PROJECT**  
LUTHER BLOOMINGTON  
ACURA SUBARU  
BLOOMINGTON, MN

**SHEET INDEX**

SHEET	FILE
C01	FILE SHEET
C02	SITE PLAN
C03	GRADING, DRAINAGE, PAVING & EROSION CONTROL
C04	LANDSCAPE

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVISION
07/18/2019	DRG SUBMITTAL	REV
07/18/2019	DRG SUBMITTAL	REV

**PROJECT MANAGER REVIEW**  
BY: [Signature] DATE: 08/21/2019

**CERTIFICATION**

**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL**  
AUGUST 21, 2019

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C3018A041.DWG  
PROJECT NO.: BAA14041

**GRADING, DRAINAGE, PAVING & EROSION CONTROL - OVERALL**  
**C3.1**

**811**  
Know what's Below.  
Call before you dig.

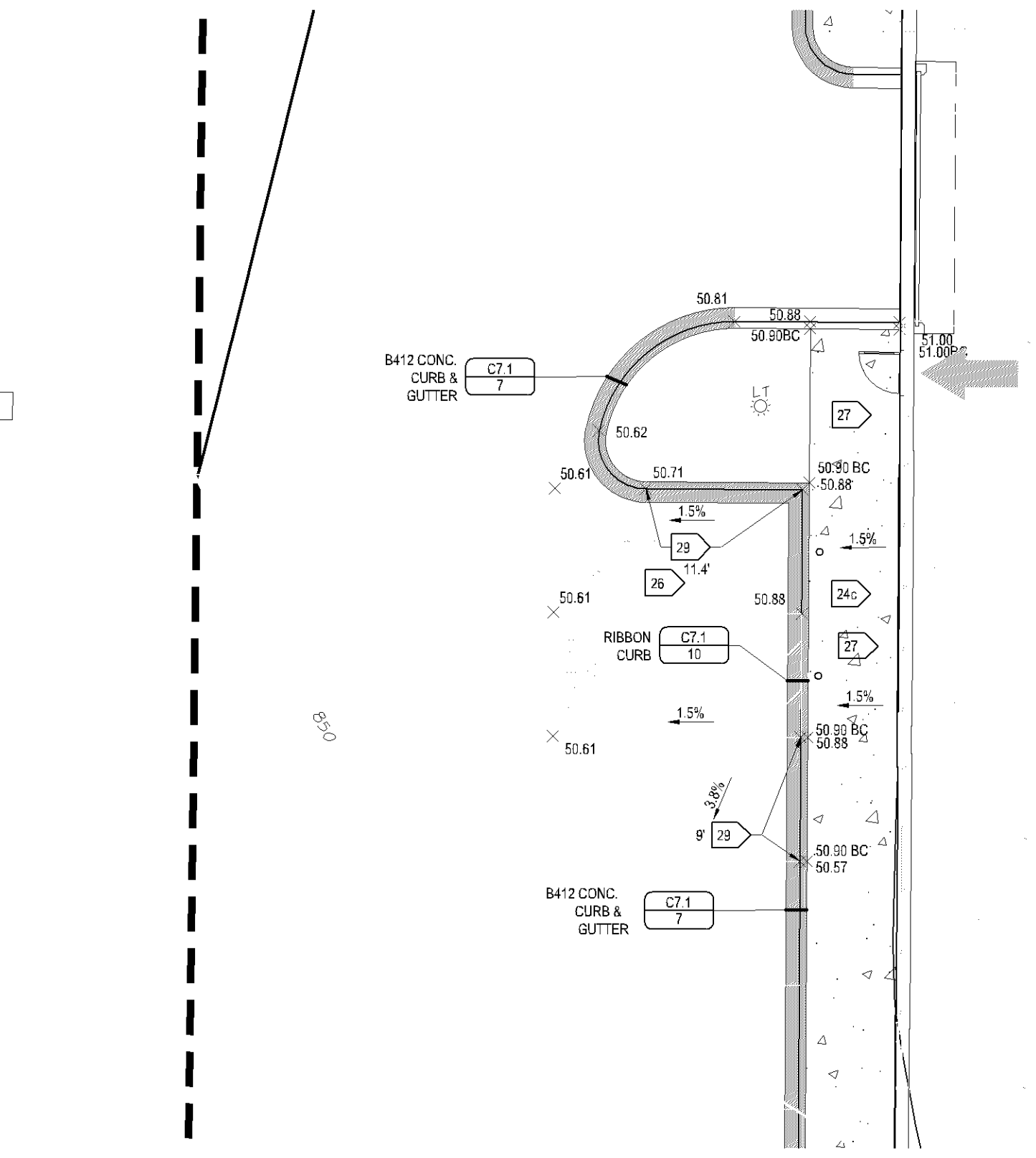
**NORTH**

0 30 60

© LANDFORM 2019

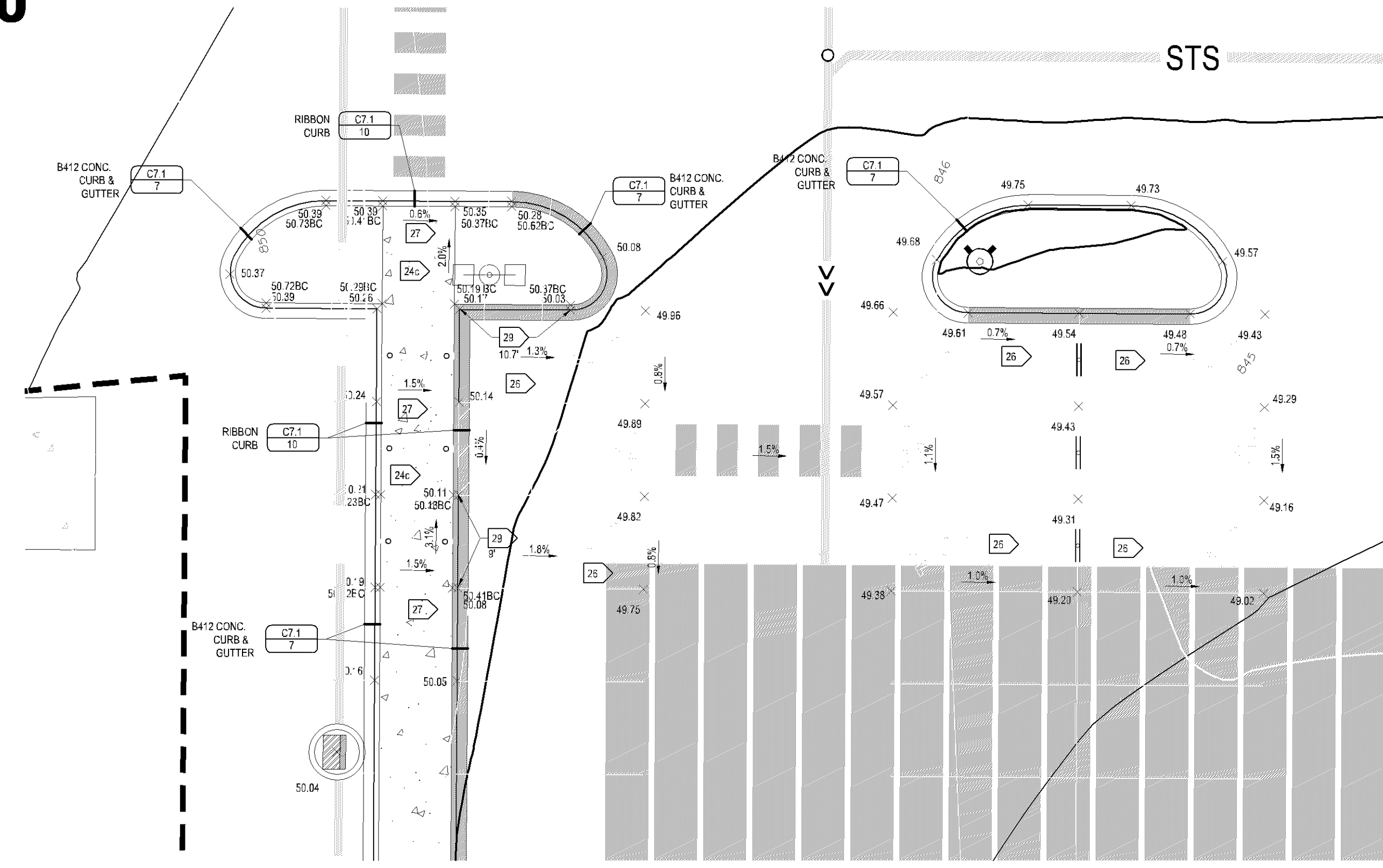
PL201900150

PL2019-150



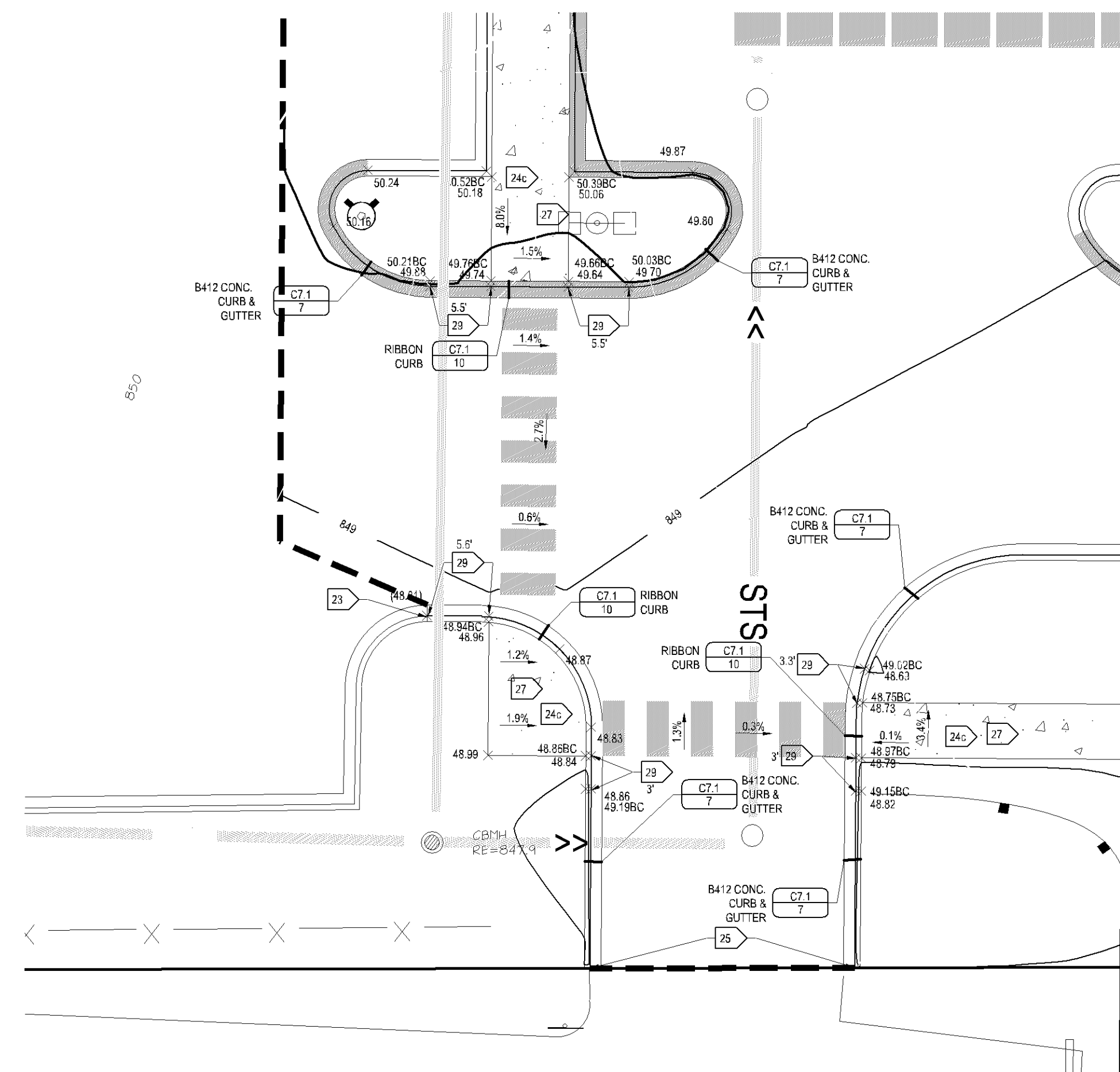
ENLARGED PLAN

10 SCALE



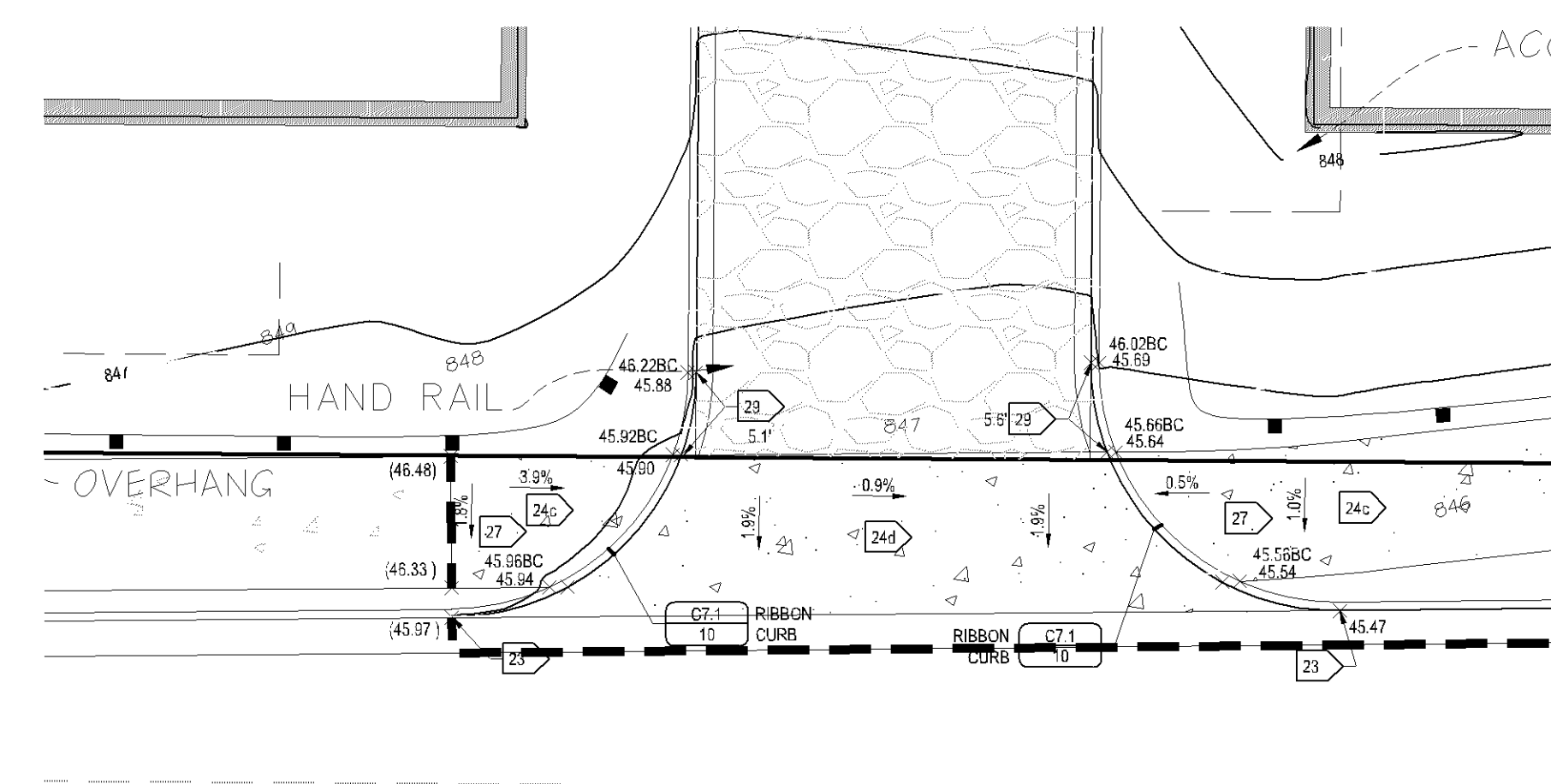
ENLARGED PLAN

10 SCALE



ENLARGED PLAN

10 SCALE



ENLARGED PLAN

10 SCALE

GENERAL NOTES

- 1. FOR CONSTRUCTION STAFF AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612-252-9070.
2. INSTALL PERIMETER SEDIMENT CONTROL 5 FEET FROM EXPOSED SOIL AND MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTROLLING RUNOFF ARE PERMANENTLY STABILIZED AND DISPOSED OF OFF SITE.
3. LIMIT SOIL DISTURBANCE TO THE SHADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
4. MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
5. REFER TO SWPPP NOTES ON SHEET C4.7 FOR ADDITIONAL REQUIREMENTS.
6. CONTRACTOR SHALL PREVENT SEDIMENT LOADED WATER FROM ENTERING THE INFILTRATION SYSTEM UNTIL THE SITE IS COMPLETELY STABILIZED.
7. ALL EXPOSED SOIL AREAS MUST BE STABILIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA.
8. SEED, SOIL MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:
ITEM SPECIFICATION NUMBER
SOIL INDOCT 3878
SEED MIN TYPE 22-11 @ 20 LBS/AC; TEMPORARY EROSION CONTROL MIN TYPE 25-15 @ 120 LBS/AC; PERMANENT TURF INDOCT 3975
MULCH INDOCT 3932
FERTILIZER INDOCT 3987
GENERAL PLACEMENT INDOCT 3775
9. SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
10. SCRAPE ADJACENT STREETS CLEAN DAILY AND SHEEP CLEAN WEEKLY.

GRADING NOTES

- 11. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
12. REFER TO THE GEOTECHNICAL REPORT PREPARED BY XEL DATED XXXXXX FOR ADDITIONAL INFORMATION ON BACKFILL MATERIAL AND GROUNDWATER CONDITIONS.
13. REMOVE TOPSOIL FROM GRADING AREAS AND STORE IN SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
14. REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
15. REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
16. AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSTABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
17. PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN PROPOSED COMPACTION THROUGHOUT THE LIFT.
18. CONTRACTOR SHALL SOIL IN PAVED AREAS TO 90% OF MAXIMUM DRY DENSITY. STAIRS AND PROTECTIVE LASTING EXCEPT THE TOP 3 FEET MINOR SHALL BE COMPACTED TO 100% COMPACTION TO 90% DENSITY WHERE FILL DEPTH EXCEEDS 1 FEET. THE SOILS SHALL BE WITHIN 2% OF OPTIMUM MOISTURE CONTENT IN SMALLER SOILS ALL PORTIONS OF THE SUBGRADE SHALL BE COMPACTED TO 90% MINIMUM OF PROPOSED PROCT DENSITY (ASTM D1557).
19. COORDINATE WITH ARCHITECTURAL FOR BUILDING STOOP LOCATIONS, SLOPES SHOWN ON ADJACENT WALKS AND DRIVEWAYS SHOULD CONTINUE OVER STOOPS.
20. AVOID SOIL COMPACTION OF INFILTRATION PRACTICES. ANY EQUIPMENT USED IN INFILTRATION AREAS SHOULD BE SMALL SCALED AND TRACKED.

PAVING NOTES

- 21. SPOT ELEVATIONS AT CURBS/REAR FLOORS/INLET UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RIM ELEVATIONS OF CATCH BASINS.
22. GRADIES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND NON-VARIABLE. SPOT ELEVATIONS SHALL GOVERN OVER CONTIGUOUS.
23. MEET AND MATCH EXISTING CURB, TRANSITION AS NOTED.
24. PAVING SECTIONS (REFER TO GEOTECHNICAL REPORT BY XEL DATED XXXXXX)
a. RETAINING PAVING @ 2% DUMP
1.5 INCH BITUMINOUS WEAR (INDOCT 2205, SP/PA/2408)
TACK COAT (INDOCT 2251)
1.5 INCH BITUMINOUS BASE (INDOCT 2205, SP/PA/2408)
6 INCH AGGREGATE BASE (INDOCT 2108, CLASS 5)
8 INCH DRAINAGE SUB-BASE (INDOCT 2146-20)
GEOPARIC
COMPACTED SUBSOL
b. BITUMINOUS PAVING HEAVY DUTY
8 INCH BITUMINOUS WEAR (INDOCT 2205, SP/PA/2408)
TACK COAT (INDOCT 2251)
2 INCH BITUMINOUS BASE (INDOCT 2205, SP/PA/2408)
8 INCH AGGREGATE BASE (INDOCT 2108, CLASS 5)
8 INCH DRAINAGE SUB-BASE (INDOCT 2146-20)
GEOPARIC
COMPACTED SUBSOL
c. CONCRETE WALKWAYS
4 INCH CONCRETE WALK 4000 PSI, 5% AIR ENTRAINMENT, MAX 4" SLUMP (INDOCT 2211)
4 INCH AGGREGATE BASE (INDOCT 2108, CLASS 5)
GEOPARIC
COMPACTED SUBSOL
d. CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
6 INCH CONCRETE 4000 PSI, 5% AIR ENTRAINMENT, MAX 4" SLUMP (INDOCT 2201)
8 INCH AGGREGATE BASE (INDOCT 2108, CLASS 5)
8 INCH DRAINAGE SUB-BASE (INDOCT 2146-20)
GEOPARIC
COMPACTED SUBSOL
25. CONCRETE JOINTS
DETAILS AS SHOWN AND ALSO ACROSS SIDEWALKS, CURBS, AND PAVEMENT. PAVING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
a. TYPICAL JOINTS: DRIVE PAVEMENT NORMALLY EQUAL AREAS UNLESS SHOWN OTHERWISE.
b. EXPANSION JOINTS: SIDEWALKS - 40 FEET MAX; CURBS - 10 FEET MAX.
c. PAVEMENT: 10 FEET MAX, ADJACENT TO SIDEWALKS AND STOOPS.
d. CONTRACTOR JOINTS: SIDEWALKS - 8 TO 10 FEET; CURBS AND APRONS - 12 TO 15 FEET.
26. ACCESSIBLE PAVING STALLS AND ADJACENT ACCESSIBLES SHALL NOT EXCEED A 2.0% SLOPE IN ANY DIRECTION.
27. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM PLANING SLOPE OF 5.0%.
28. ADJUST ALL STRUCTURE RIMS TO MATCH PAVEMENT ELEVATIONS.
29. TRANSITION FROM B412 CONCRETE CURB AND GUTTER TO CONCRETE RIBBON CURB. REFER TO DETAIL C7.111.
30. TRANSITION FROM B412 CONCRETE CURB AND GUTTER TO D412 SURMOUNTABLE CURB AND GUTTER. REFER TO DETAIL C7.111.
31. TRANSITION FROM D412 SURMOUNTABLE CURB AND GUTTER TO CONCRETE RIBBON CURB. REFER TO DETAIL C7.111.

WET CAST/DRYCAST RETAINING WALL NOTES

- 1. WET CAST CONCRETE RETAINING WALL. COLOR TO BE DETERMINED BY OWNER OR ARCHITECT.
PROVIDE STRUCTURAL DESIGN OF RETAINING WALLS FOLLOWING LANDFORM RETAINING WALL SPECIFICATIONS FOR DESIGN.
2. MINIMUM DESIGN AND PERFORMANCE. PROVIDE CONSTRUCTION OF WALLS IN ACCORDANCE WITH APPROVED DESIGNS.
3. CONFIRM ARCHITECTURAL REQUIREMENTS FOR WALL UNITS WITH OWNER.
4. SUBMIT DESIGN TO CITY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
5. PROVIDE COORDINATION AND ASSURANCE THAT RELATED WORK CONSTRUCTED WITHIN THE REINFORCED EARTH ZONE, INCLUDING FENCES, UNDERPASS UTILITY, GUARD RAILS, ETC., IS IN ACCORDANCE WITH APPROVED DESIGN AND DOES NO DAMAGE TO REINFORCING ELEMENTS OF THE RETAINING WALL.

LEGEND

Table with 3 columns: SYMBOL, DESCRIPTION, ESTIMATED QUANTITY. Includes symbols for inlet protection, silt fence, vehicle tracking pad, top out curb, pavement barrier, and construction limits.

MOTORS MANAGEMENT CORPORATION
3701 ALABAMA AVENUE SOUTH
ST. LOUIS PARK, MN 55416
TEL: (612) 558-8800 FAX: (612) 558-8800
MUNICIPALITY
BLOOMINGTON
PROJECT
LUTHER BLOOMINGTON
ACURA SUBARU
BLOOMINGTON, MN
SHEET INDEX

ISSUE / REVISION HISTORY

Table with 4 columns: DATE, ISSUE NUMBER, DESCRIPTION, REVIEW. Includes entries for 07/20/2011 and 07/20/2011.

PROJECT MANAGER REVIEW

DATE: 08.21.2019

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

SITE PLAN SUBMITTAL

AUGUST 21, 2019

LANDFORM

From Site to Finish

105 South Fifth Avenue Suite 513 Minneapolis, MN 55401

Tel: 612-252-9070 Fax: 612-252-9077 Web: landform.net

FILE NAME: C3028A8491.DWG PROJECT NO.: BAA14041

GRADING, DRAINAGE, PAVING & EROSION CONTROL - ENLARGED

C3.2

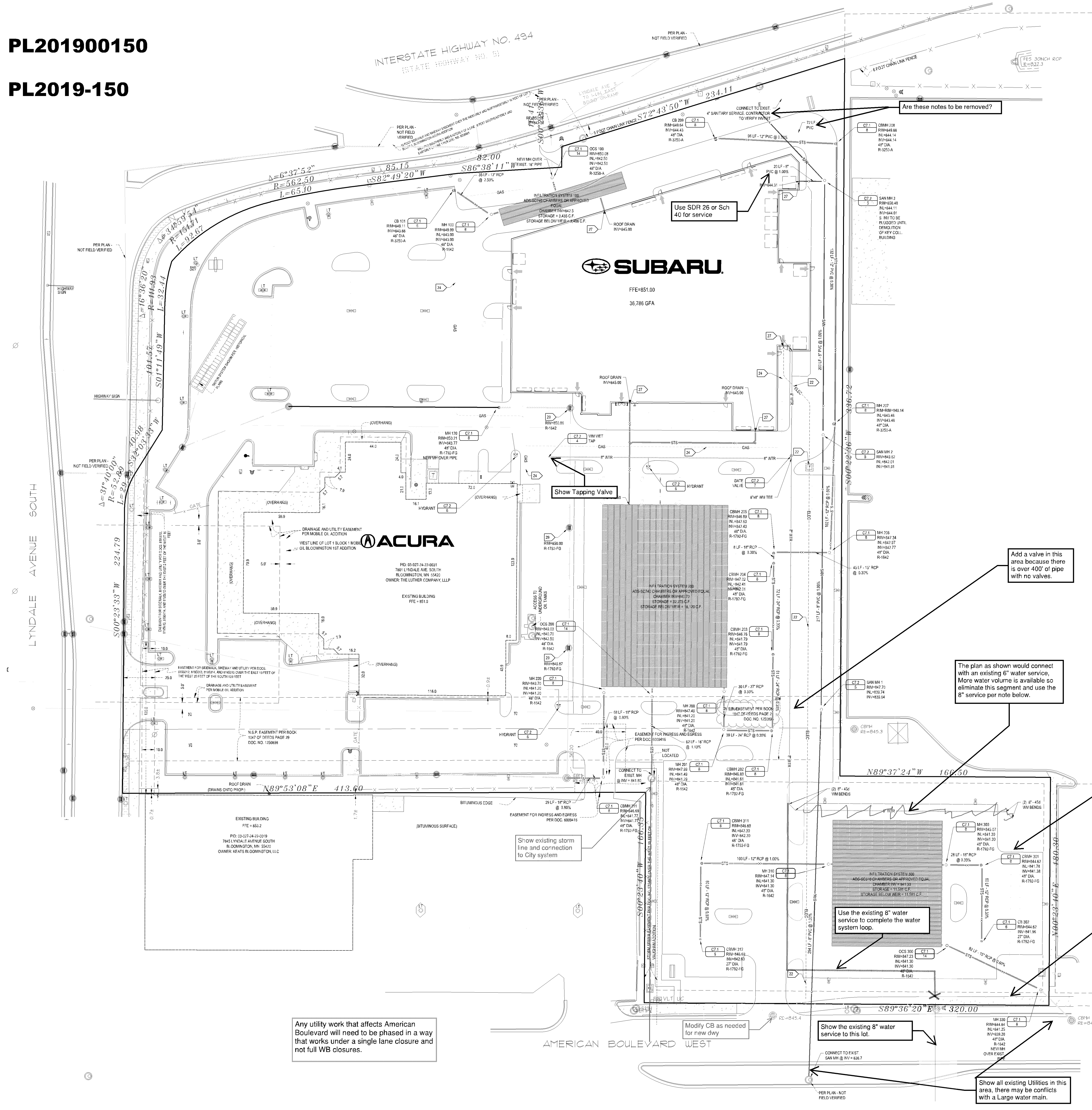
811 logo with text 'Know what's Below. Call before you dig.' and a north arrow pointing up.

Landform Professional Services, LLC



PL201900150

PL2019-150



- GENERAL NOTES**
- FOR CONSTRUCTION STAFF AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612-252-8070.
  - PER MATERIALS:
    - WATER MAIN: 30\"/>
  - CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 7 DAYS PRIOR TO BEGINNING.
  - CONTRACTOR TO FIELD VERIFY LOCATION AND PLACEMENT OF ALL UTILITY POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.
  - CONTRACTOR TO PROTECT ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
  - PROVIDE MEANS AND METHODS TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
  - PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF SECTION.
  - INSTALL TRAZER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
  - CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF BLOOMINGTON STANDARDS.
  - CONTACT CITY OF BLOOMINGTON UTILITIES DEPARTMENT AT 651-563-8777 FOR WET TAP INFORMATION.
  - MAINTAIN 4 FEET OF COVER ON WATER.
  - DEFLECT WATER TO MAINTAIN MINIMUM 18\"/>
- CITY OF BLOOMINGTON NOTES**
- UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
  - COORDINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAD ON FLANGE OR AN NU TO FLANGE WAPTER.

**DEVELOPER**  
**MOTORS MANAGEMENT CORPORATION**  
 3701 ALABAMA AVENUE SOUTH  
 ST. LOUIS PARK, MN 55416  
 TEL: (651) 558-8800 • FAX: (651) 558-8800

**MUNICIPALITY**  
**BLOOMINGTON**

**PROJECT**  
**LUTHER BLOOMINGTON**  
**ACURA SUBARU**  
**BLOOMINGTON, MN**

**SHEET INDEX**

01	UTILITY
02	WATER
03	SEWER
04	STORM
05	IRRIGATION
06	LANDSCAPE
07	ASPHALT
08	CONCRETE
09	PAVING & GRASS
10	CONTROL
11	UTILITIES

Any utility work that affects American Boulevard will need to be phased in a way that works under a single lane closure and not full WB closures.

Show existing storm line and connection to City system

Modify CB as needed for new divy

Use the existing 8" water service to complete the water system loop.

Show the existing 8" water service to this lot.

Show all existing Utilities in this area, there may be conflicts with a Large water main.

The plan as shown would connect with an existing 6" water service. More water volume is available so eliminate this segment and use the 8" service per note below.

Add a valve in this area because there is over 400' of pipe with no valves.

Install a new hydrant in this area so 6" service doesn't need to be abandoned. Locate it so that the old service running to the west for Key Collision is eliminated.

This water line is only about 7' deep at the valve on the City main.

**811**  
 Know what's Below.  
 Call before you dig.

**NORTH**

0 30 60

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	BY	CHK
07/18/2019	ISSUE / REVISION	LANDFORM	LANDFORM
07/18/2019	ISSUE / REVISION	LANDFORM	LANDFORM
07/18/2019	ISSUE / REVISION	LANDFORM	LANDFORM

**PROJECT MANAGER REVIEW**

BY: JES	DATE: 08.21.2019
---------	------------------

**CERTIFICATION**

**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL**  
 AUGUST 21, 2019

**LANDFORM**  
 From Site to Finish

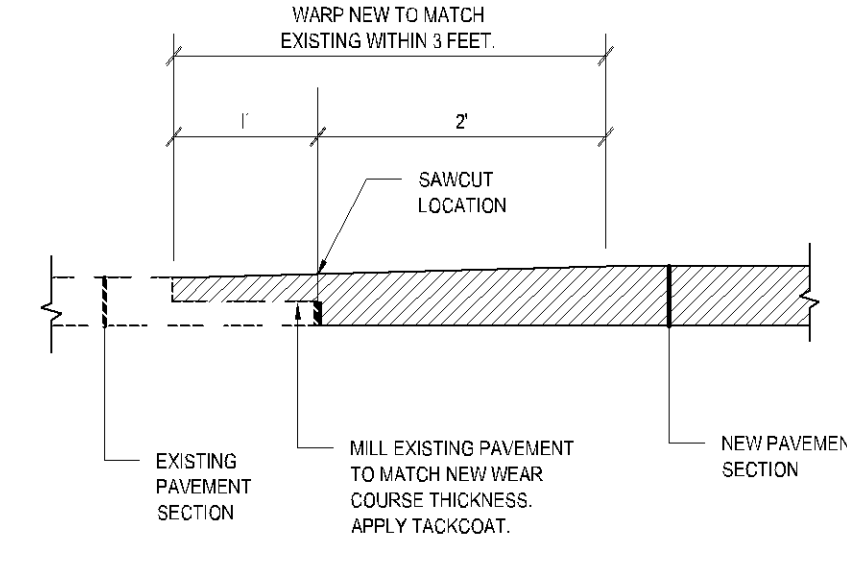
105 South Fifth Avenue Tel: 612-252-8070  
 Suite 513 Fax: 612-252-8077  
 Minneapolis, MN 55401 Web: landform.net

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 PROJECT NO.: BAA14041

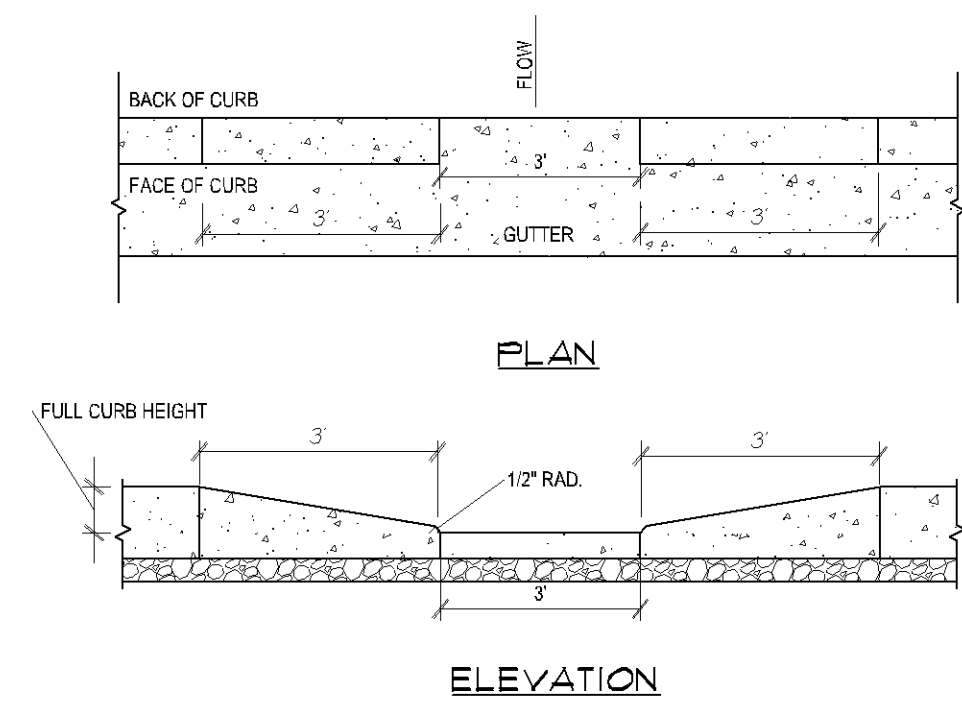
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**C4.1**

PL201900150

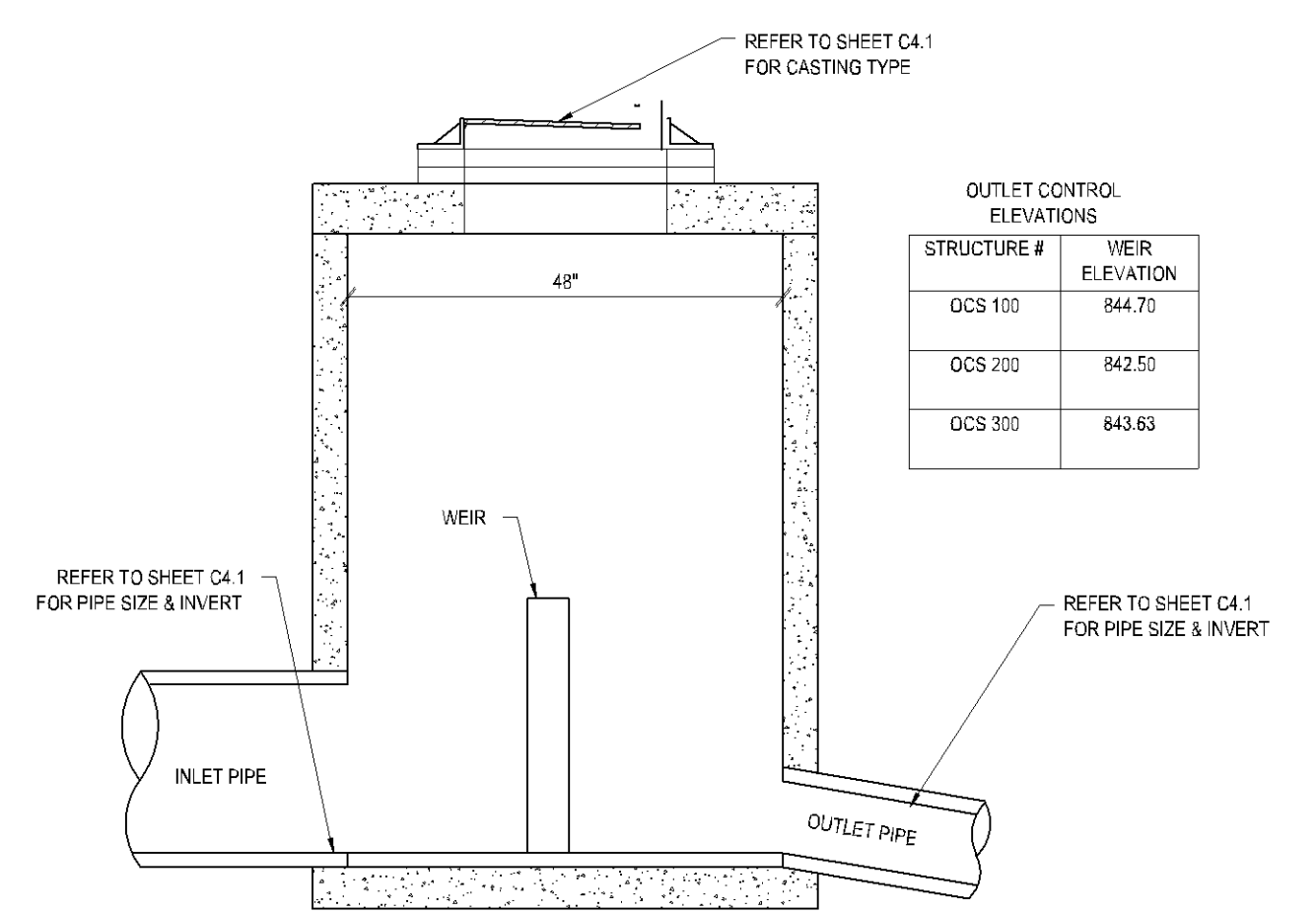
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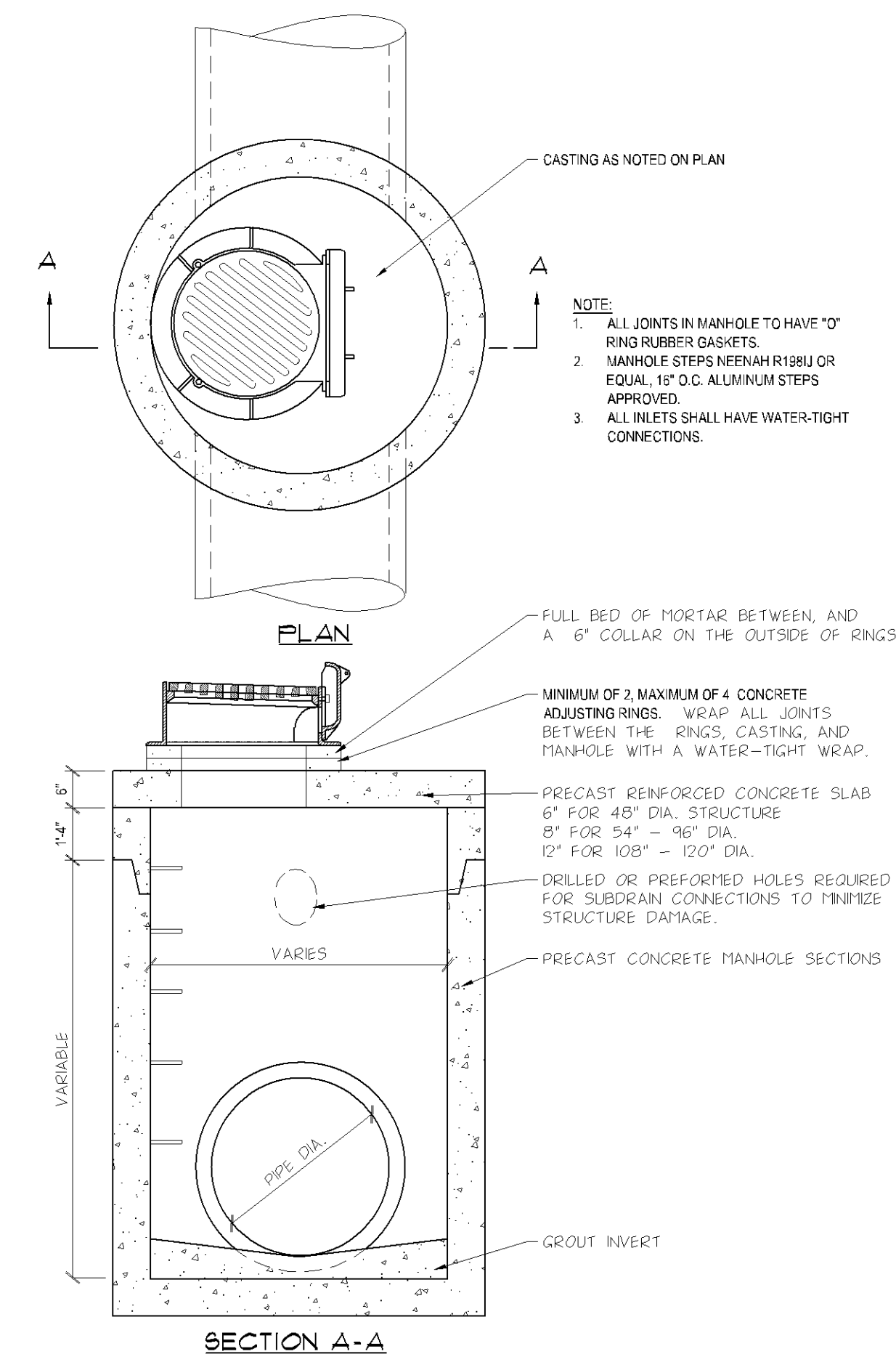
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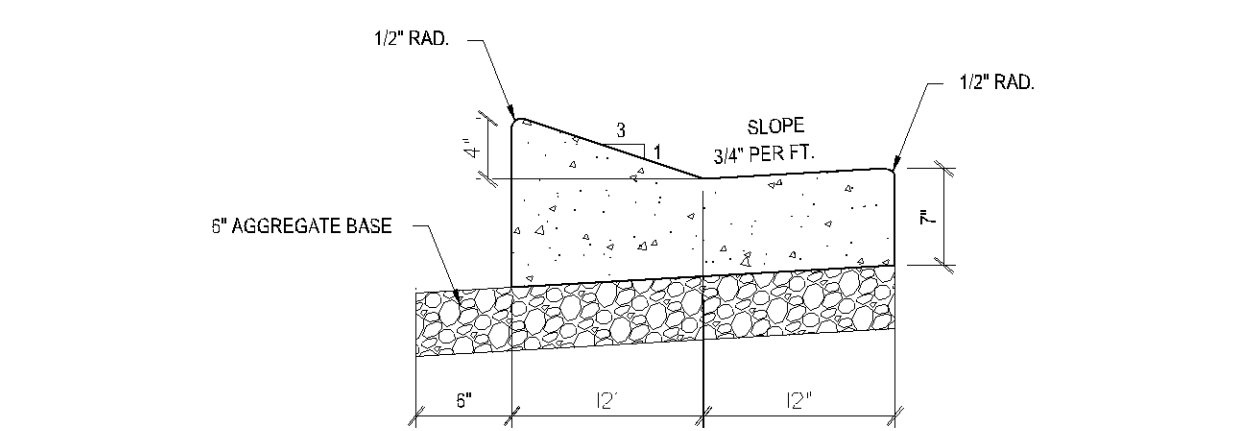
13 CURB CUT OUTLET NO SCALE



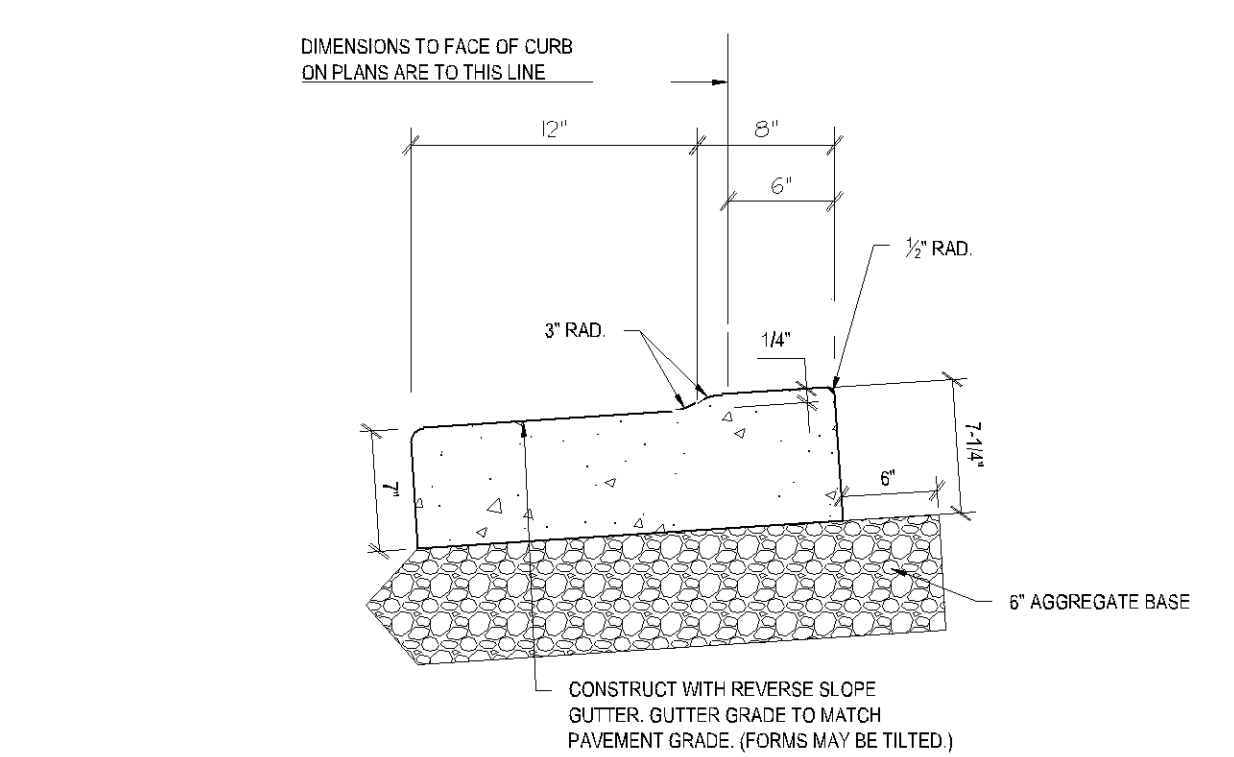
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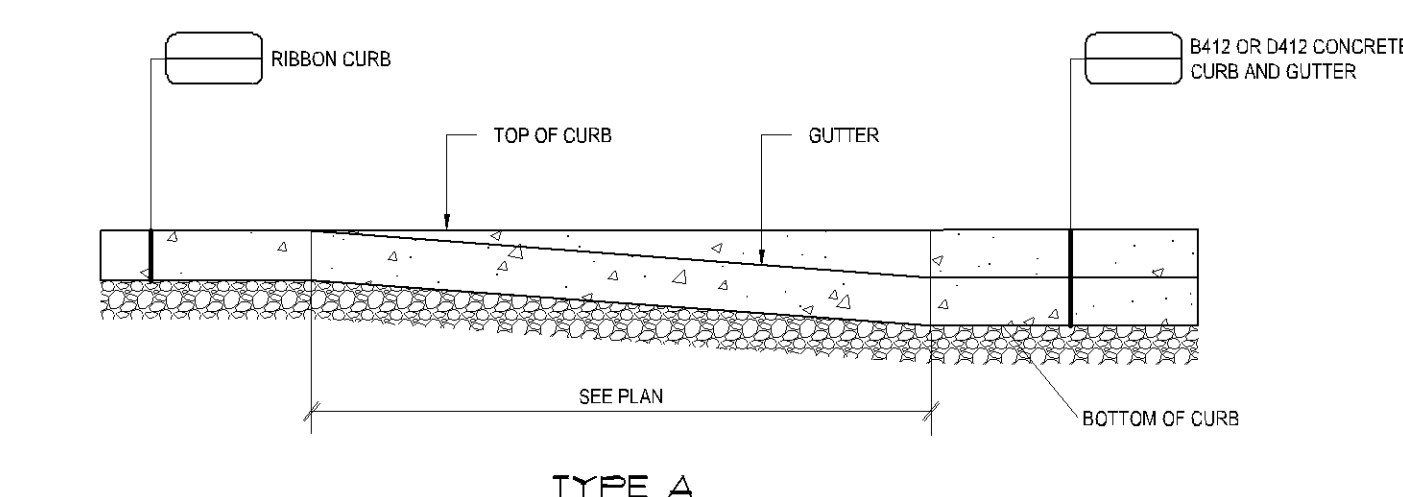
8 STORM SEWER CATCH BASIN MANHOLE NO SCALE



9 D412 SURMOUNTABLE CURB AND GUTTER NO SCALE

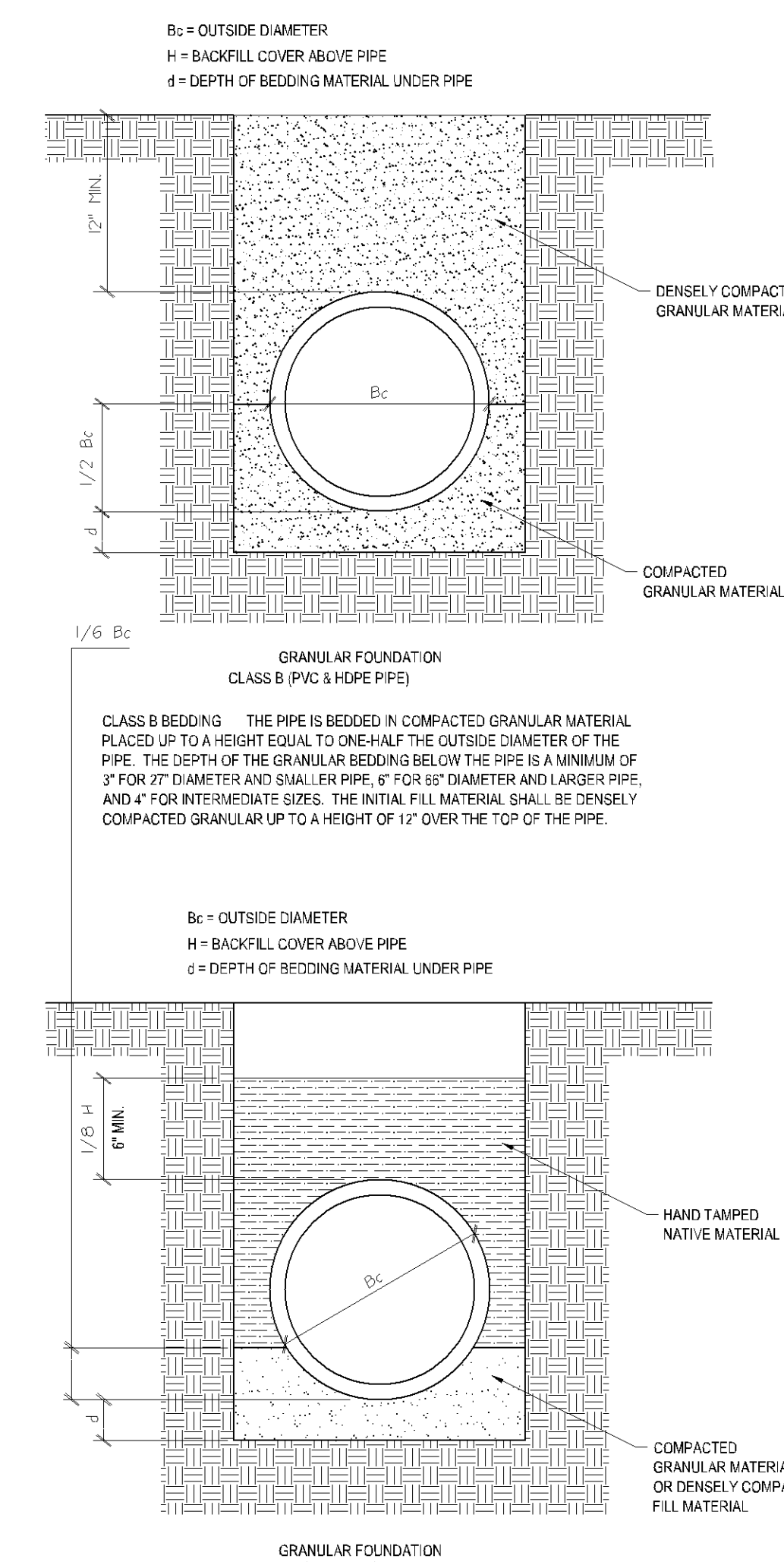


10 12\"/>

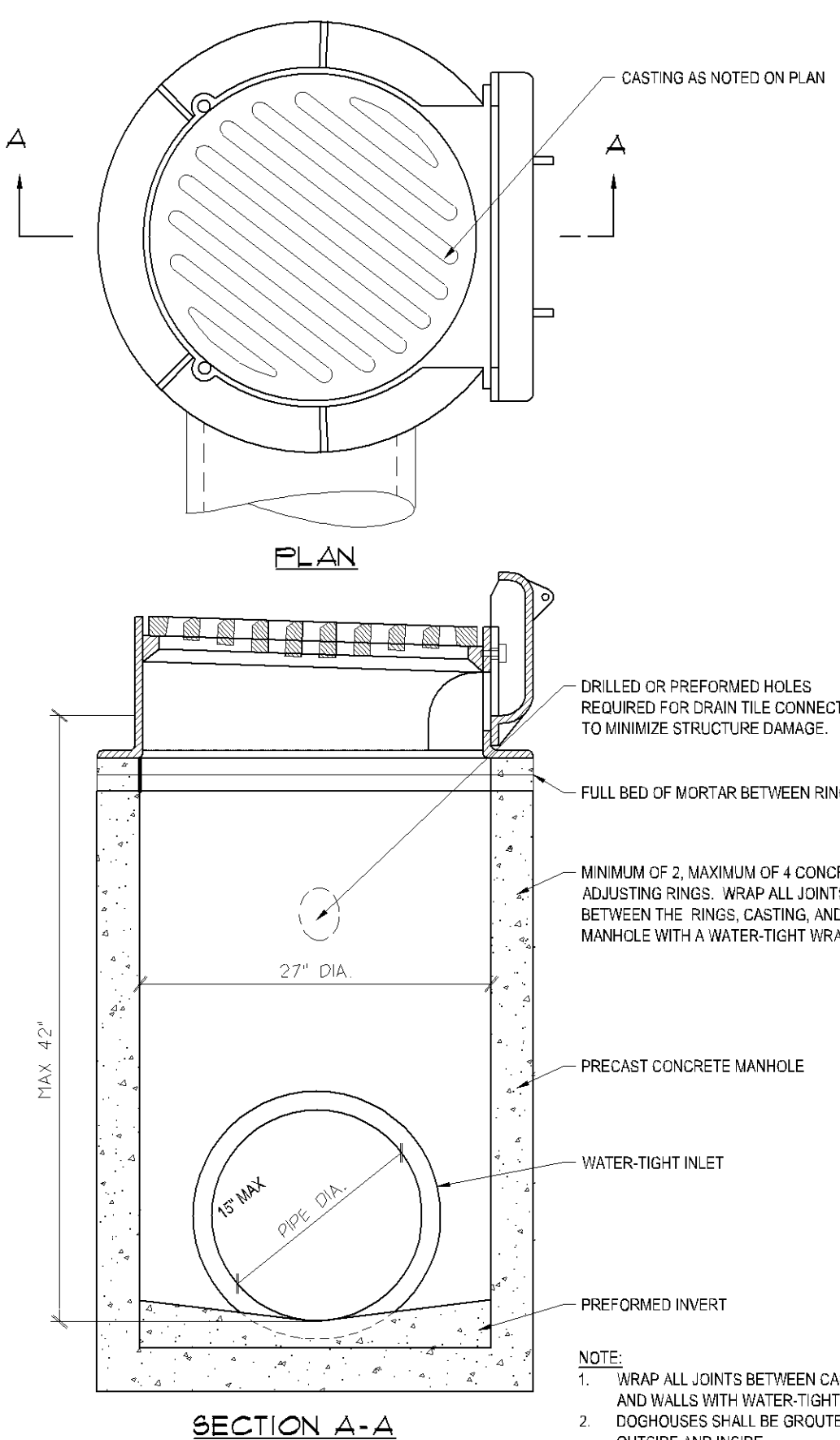


11 CONCRETE CURB TRANSITION NO SCALE

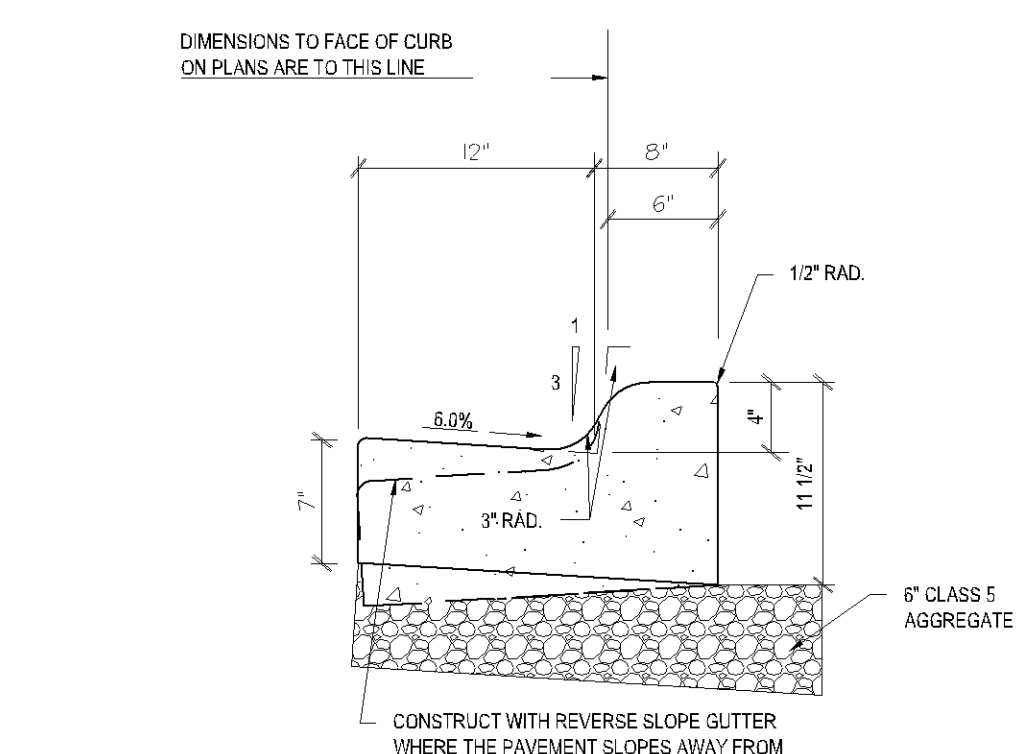
11 CONCRETE CURB TRANSITION NO SCALE



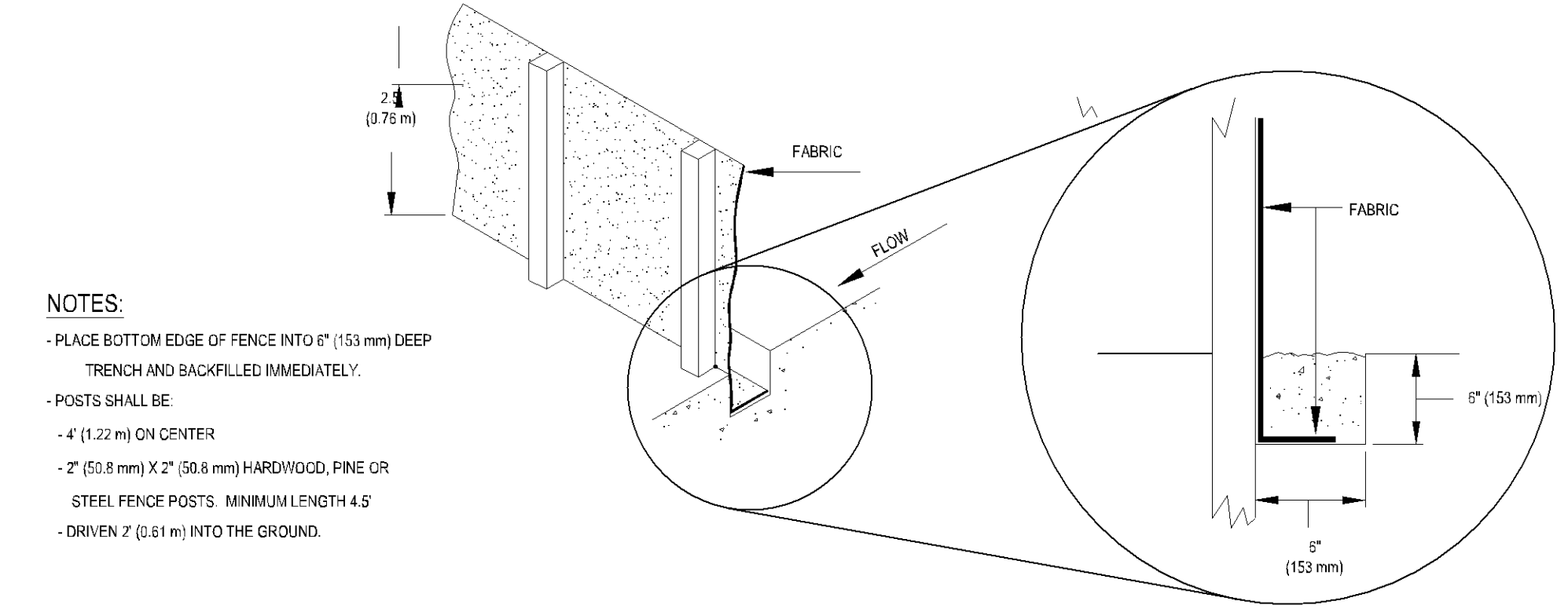
5 PIPE BEDDING NO SCALE



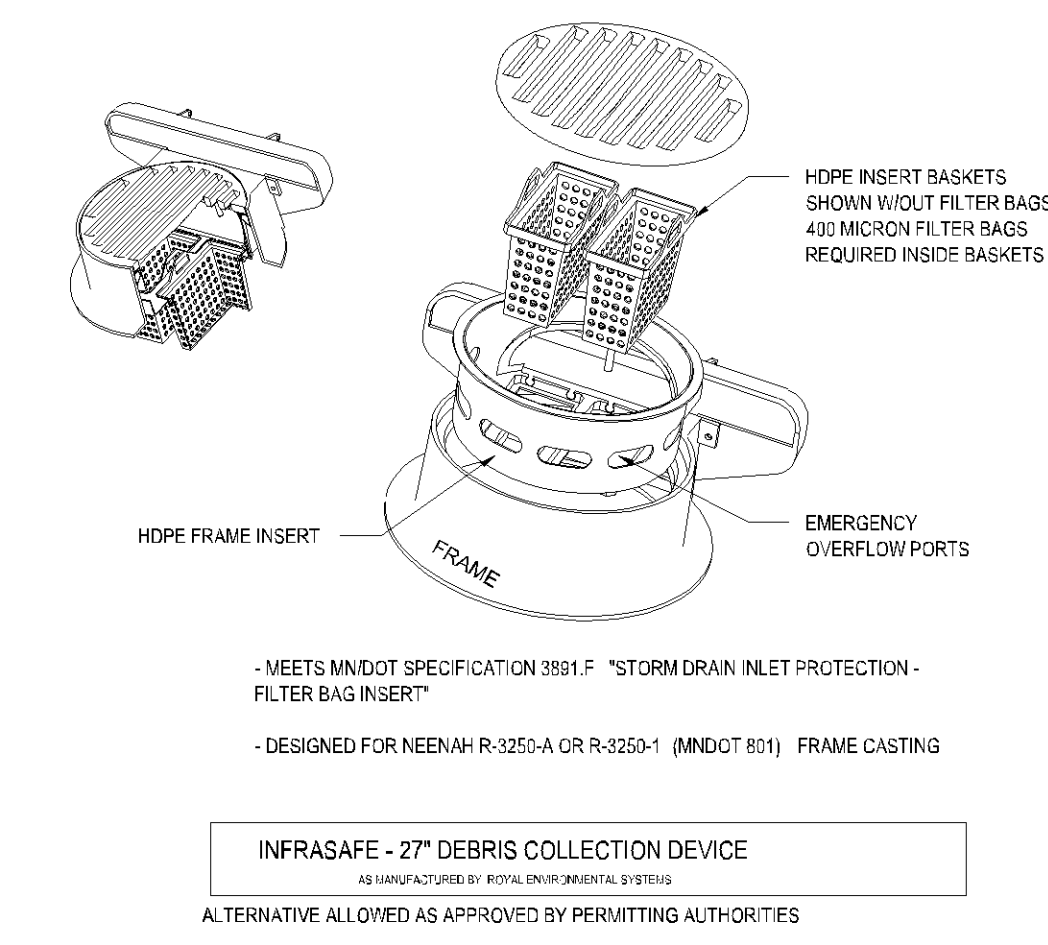
6 27\"/>



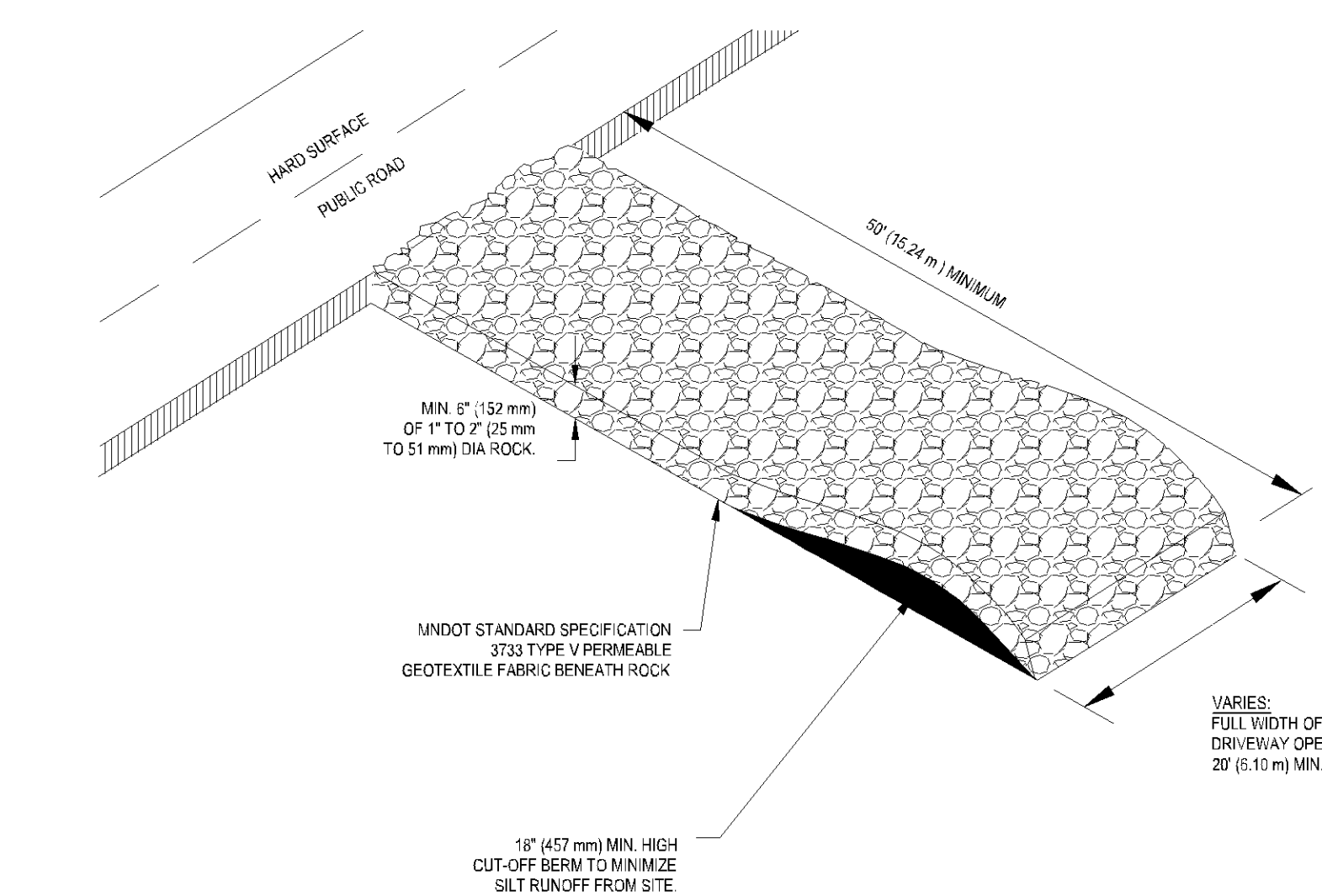
7 B412 CONCRETE CURB AND GUTTER SECTION NO SCALE



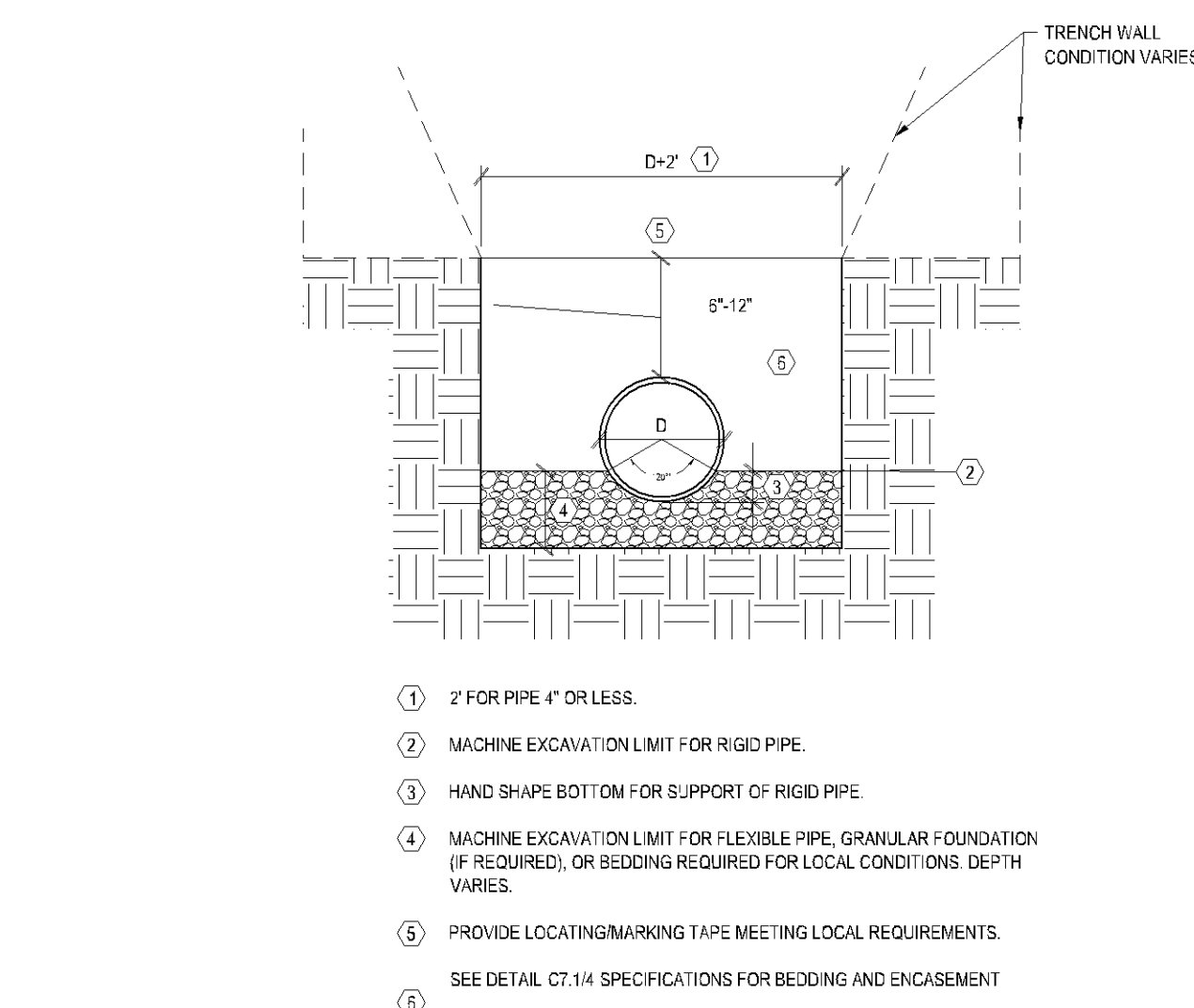
1 SILT FENCE CITY OF BLOOMINGTON NO SCALE



2 INLET PROTECTION NO SCALE



3 ROCK CONSTRUCTION ENTRANCE CITY OF BLOOMINGTON NO SCALE



4 UTILITY TRENCHING NO SCALE

DEVELOPER  
MOTORS MANAGEMENT CORPORATION  
3701 ALABAMA AVENUE SOUTH  
ST. LOUIS PARK, MN 55416  
TEL: (612) 558-8800 FAX: (612) 558-8800

MUNICIPALITY  
BLOOMINGTON

PROJECT  
LUTHER BLOOMINGTON  
ACURA SUBARU  
BLOOMINGTON, MN

SHEET INDEX

KEY: TITLE

C01 CIVIL - TITLE SHEET

C02 SITE PLAN

C03 GENERAL PROPOSAL, PLANS & EXCISE

C04 CONTROL

C05 UTILITIES

ISSUE / REVISION HISTORY

DATE	ISSUE NUMBER	REVISION
07/18/2019	001	ISSUE FOR PERMITS
07/18/2019	002	ISSUE FOR PERMITS
07/18/2019	003	ISSUE FOR PERMITS

PROJECT MANAGER REVIEW

DATE: 08/21/2019

CERTIFICATION

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SITE PLAN SUBMITTAL  
AUGUST 21, 2019

LANDFORM  
From Site to Finish

105 South Fifth Avenue Suite 513  
Minneapolis, MN 55401  
Tel: 612-252-9070 Fax: 612-252-9077  
Web: landform.net

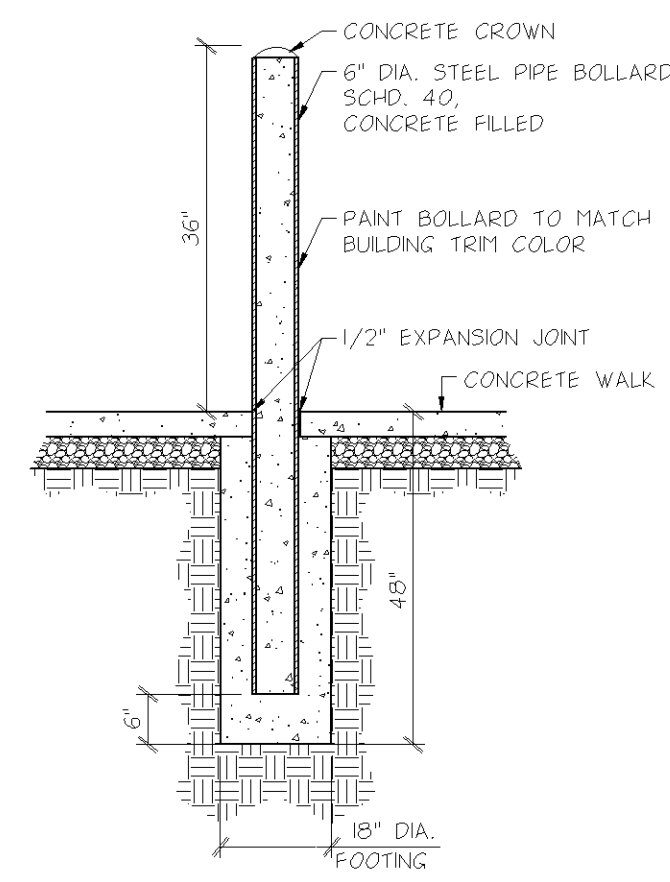
FILE NAME: C7018AA041.DWG

PROJECT NO.: BAA14041

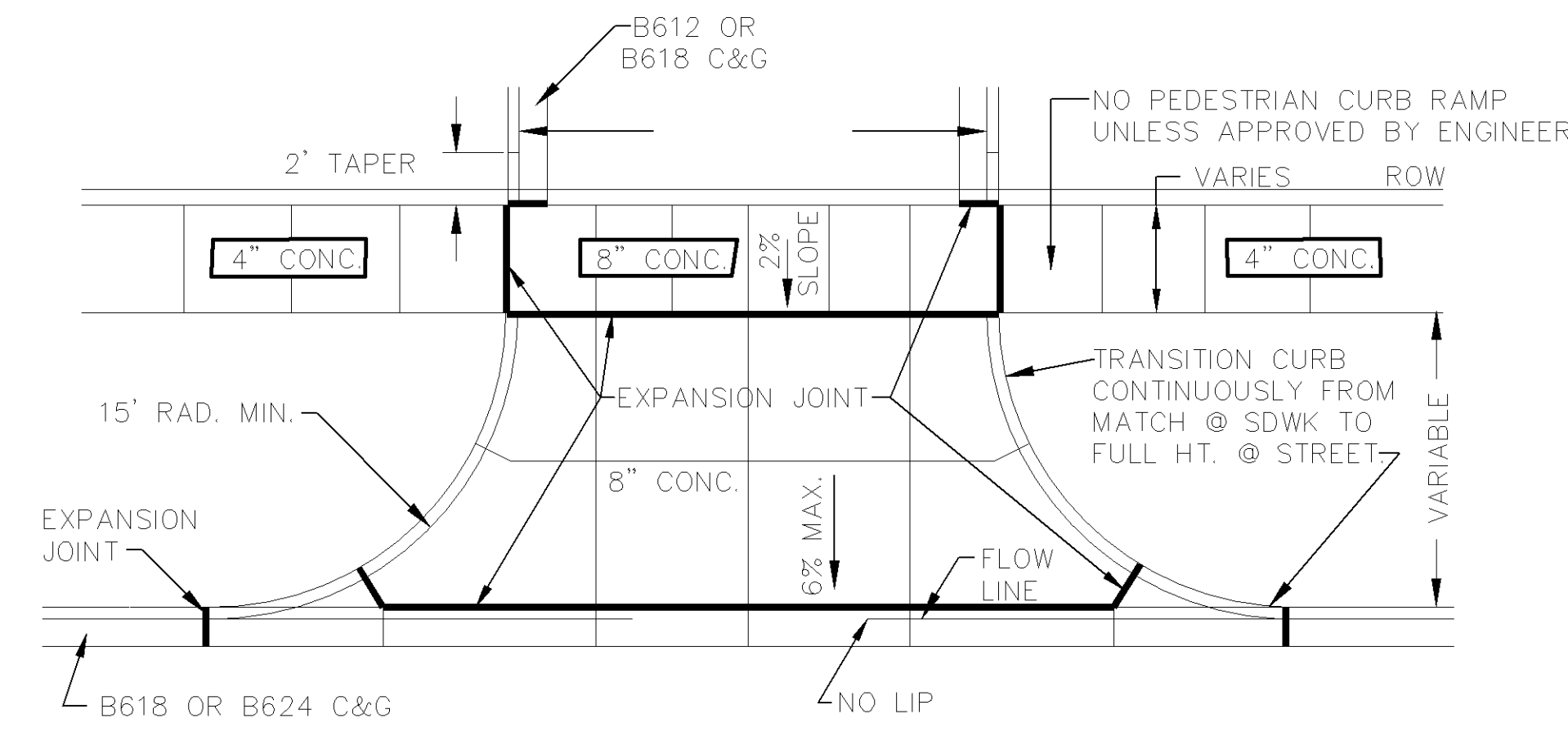
CIVIL CONSTRUCTION  
DETAILS  
C7.1

PL201900150

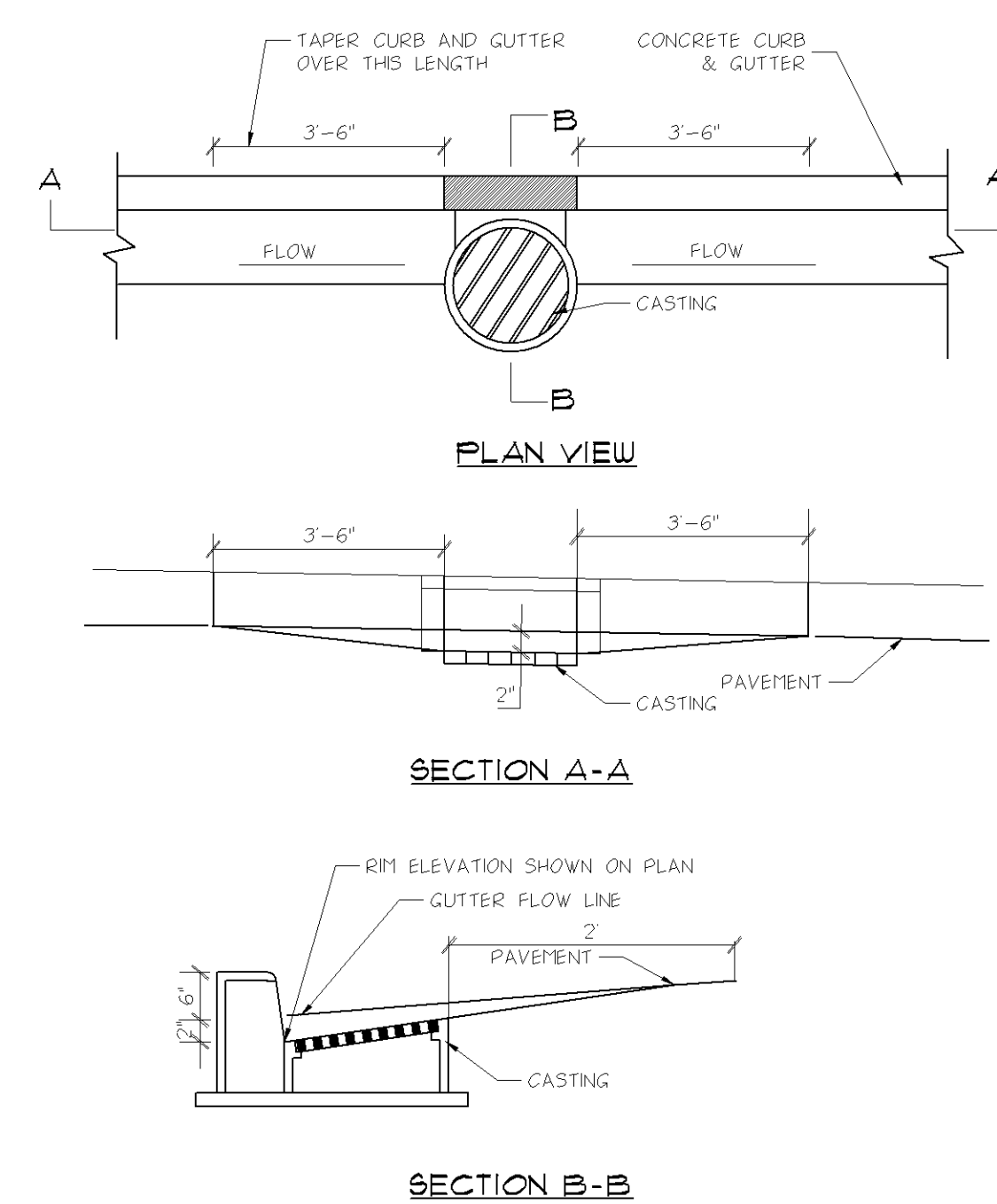
PL2019-150



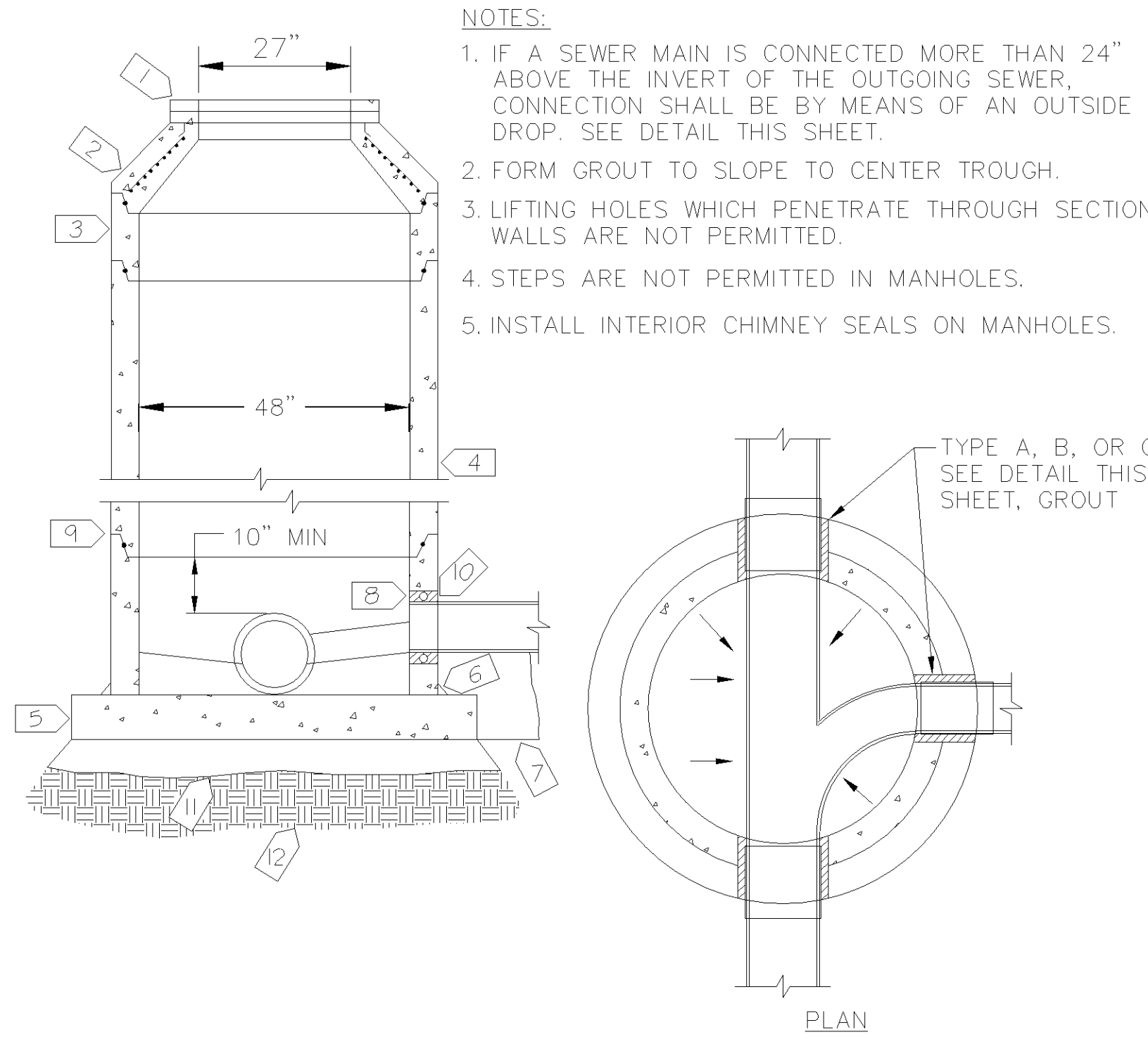
8 ROUND PIPE BOLLARD NO SCALE



9 COMMERCIAL DRIVEWAY CITY OF BLOOMINGTON NO SCALE



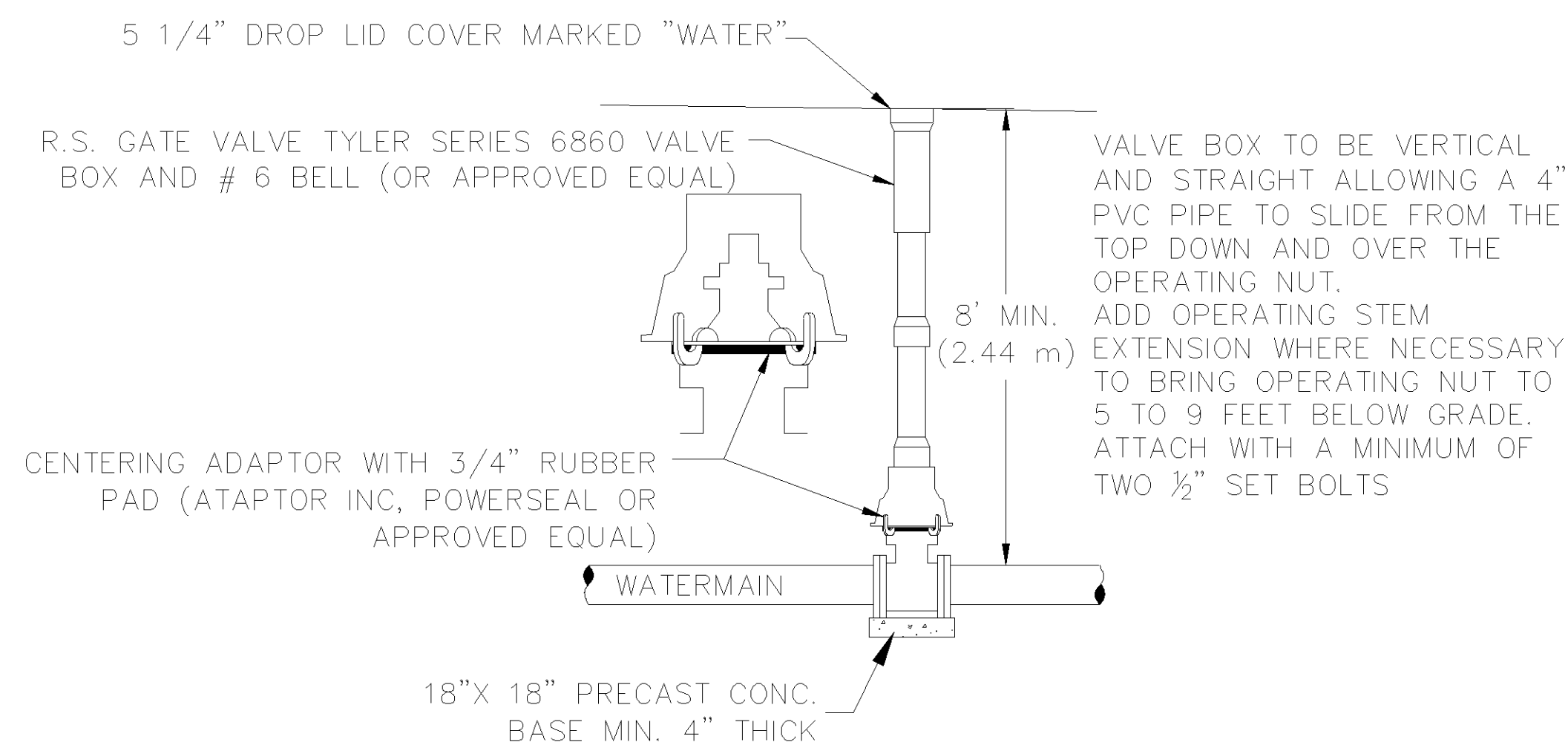
10 CATCH BASIN CASTING SUMP AT CONCRETE CURB AND GUTTER NO SCALE



5 STANDARD SANITARY SEWER MH CITY OF BLOOMINGTON NO SCALE

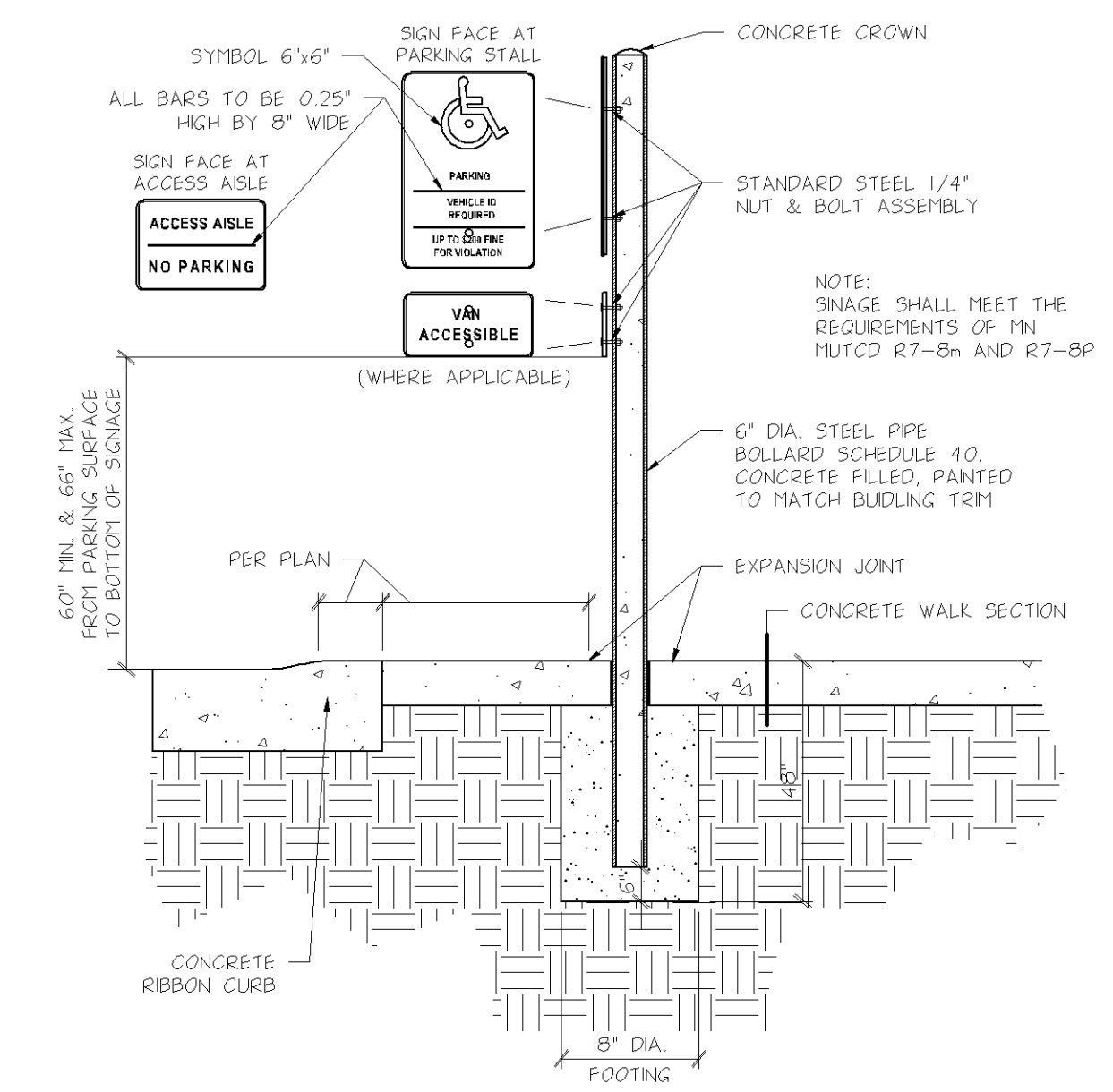
- HYDRANT TO BE:
  - WATEROUS PACER CLASSIC.
  - MUELLER SUPERCENTURION 250 MODEL A-423.
  - OR APPROVED EQUAL.
- EQUIP WITH THREE HOSE NOZZLES/CONNECTIONS AS FOLLOWS:
  - ONE - FACTORY INSTALLED 5 INCH STORZ PUMPER NOZZLE/CONNECTOR, INCLUDING A MANUFACTURER SUPPLIED AND INSTALLED ANODIZED ALUMINUM NOZZLE CAP WITH A 1.5 INCH PENTAGON NUT AND NO ROCKER LUG.
  - TWO - 2.5 INCH HOSE NOZZLES/CONNECTIONS (WITH NATIONAL STANDARD THREADS) AND STANDARD NOZZLE CAPS WITH 1.5 INCH PENTAGON NUTS, AND NO ROCKER LUGS.
- USE SS NUTS AND BOLTS AS APPROVED BY THE ENGINEER.
- ALL EXPOSED WATERMAIN SHALL BE WRAPPED WITH POLYETHYLENE IN ACCORDANCE WITH AWWA C-105.
- BARREL TO BE BRIGHT RED.
- ALL VALVES TO OPEN COUNTER-CLOCKWISE.
- SEE TYPICAL VALVE INSTALLATION DETAIL FOR VALVE DETAILS.
- WATEROUS PACER CLASSIC HYDRANTS SHALL INCLUDE INSTALLATION OF THE MANUFACTURER'S MOST CURRENT ANTI-CHATTER BRASS UPPER VALVE WASHER.

6 TYPICAL HYDRANT INSTALLATION CITY OF BLOOMINGTON NO SCALE

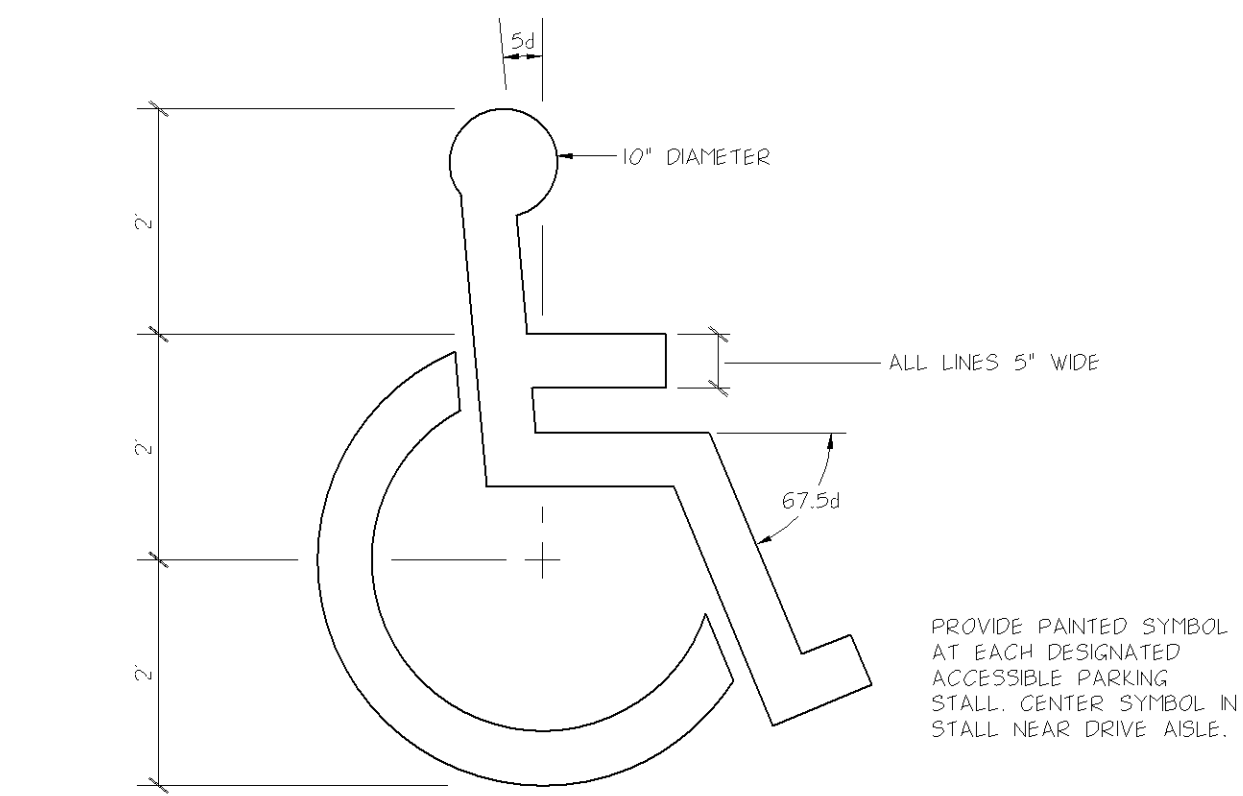


7 TYPICAL VALVE INSTALLATION CITY OF BLOOMINGTON NO SCALE

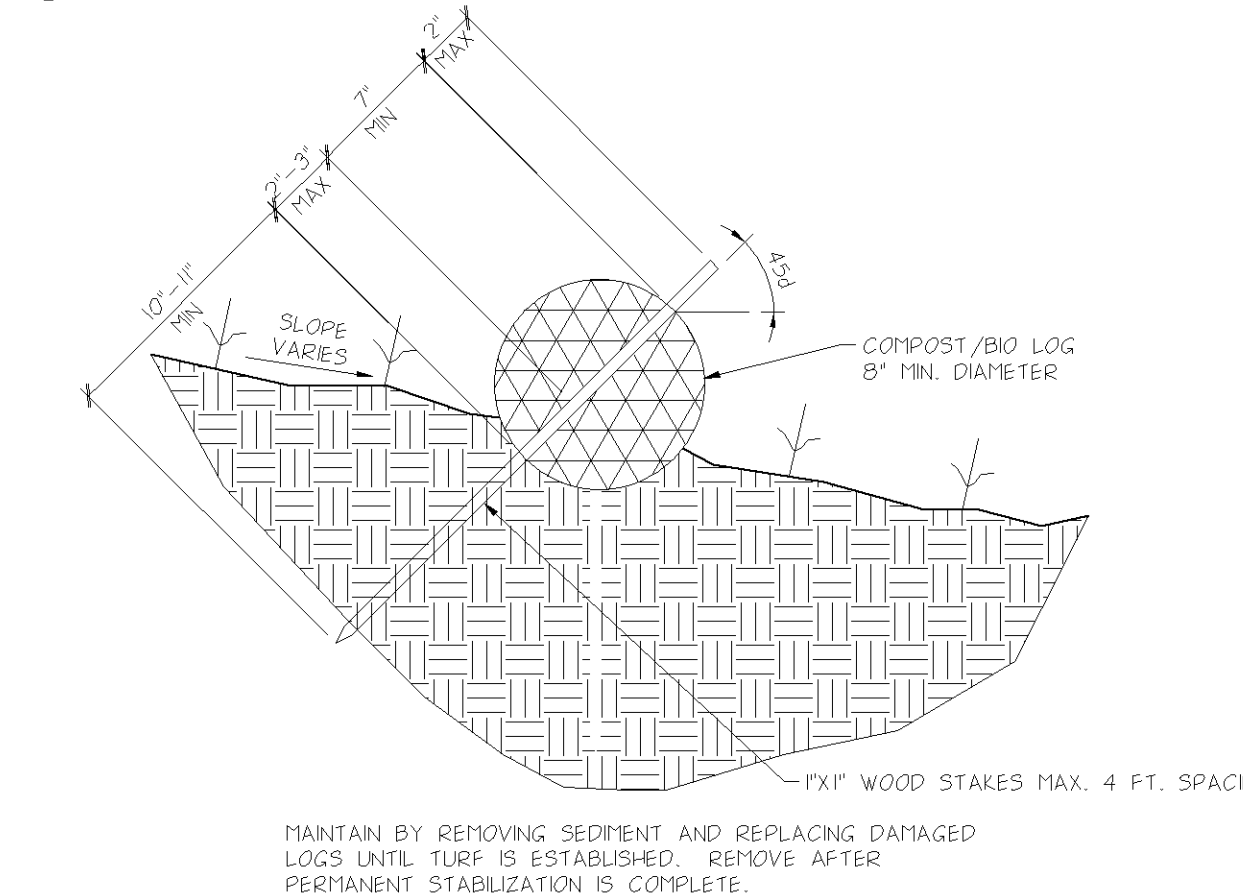
- KEY NOTES:
- MN/DOT S.P. 4010 2" ADJUSTING RINGS AS NEEDED [6" MIN. TO 12" MAX.]. SET EACH RING IN FULL BED OF MORTAR.
  - MN/DOT S.P. 4010 STD. SHORT CONE SECTION.
  - 12" TOP SECTION REQUIRED.
  - USE ONLY PRECAST SECTIONS. NO BRICK OR BLOCK
  - 8" CAST-IN-PLACE CONCRETE OR 6" PRECAST REINFORCED CONCRETE (64" MINIMUM OD)
  - CEMENT MORTAR ALL AROUND
  - LEAN CONCRETE TO BEAR AGAINST FIRM UNDISTURBED SOIL
  - PROVIDE WATER TIGHT PIPE CONNECTIONS SEE DETAIL THIS SHEET
  - O-RING GASKET
  - FOR CONNECTION TO EXISTING MH'S, CORE DRILL OPENING AND PROVIDE TYPE B WATER TIGHT CONNECTOR
  - 6" SAND OR FOUNDATION MATERIAL
  - UNDISTURBED SOIL OR COMPACTED SUBGRADE



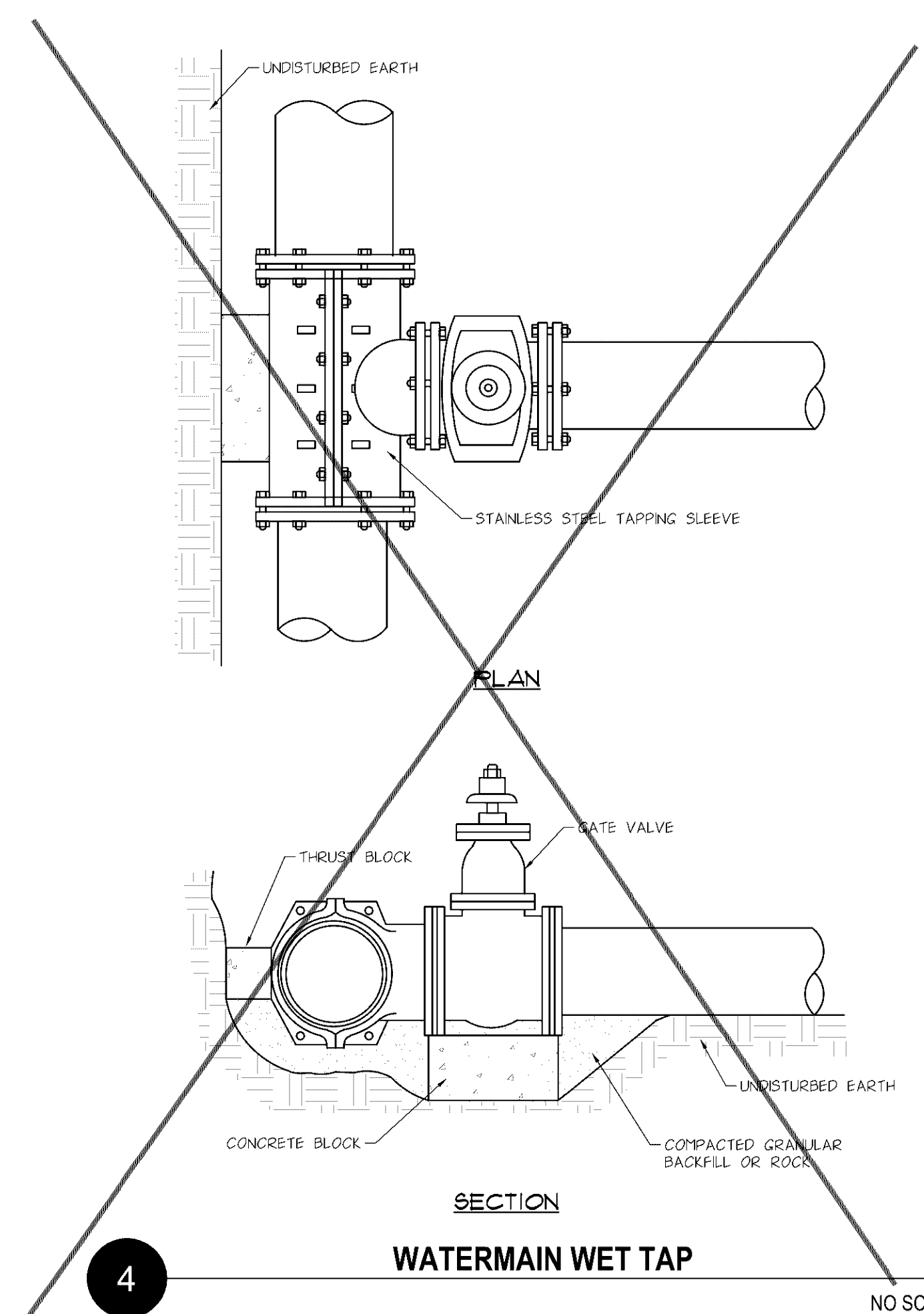
1 PIPE BOLLARD/ACCESSIBLE SIGN - MN NO SCALE



2 INTERNATIONAL SYMBOL OF ACCESS NO SCALE



3 TEMPORARY COMPOST/BIO LOG NO SCALE



4 WATERMAIN WET TAP NO SCALE

DEVELOPER  
MOTORS MANAGEMENT CORPORATION  
3701 ALABAMA AVENUE SOUTH  
ST. LOUIS PARK, MN 55416  
TEL: (651) 558-8800 FAX: (651) 558-8800

MUNICIPALITY  
BLOOMINGTON

PROJECT  
LUTHER BLOOMINGTON  
ACURA SUBARU  
BLOOMINGTON, MN

SHEET INDEX

SHEET	TITLE
C01	CIVIL TITLE SHEET
C02	SITE PLAN
C03	GENERAL NOTES, FINISH & ELECTIONS
C04	CONCRETE
C05	UTILITIES

DATE	ISSUE NUMBER	REVISION
07/18/2019	001	ISSUE FOR PERMIT
07/18/2019	002	ISSUE FOR PERMIT

PROJECT MANAGER REVIEW  
DATE: 08.21.2019

CERTIFICATION

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

SITE PLAN SUBMITTAL  
AUGUST 21, 2019

LANDFORM  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: C7028AAS41.DWG  
PROJECT NO.: BAA14041

CIVIL CONSTRUCTION  
DETAILS  
**C7.2**

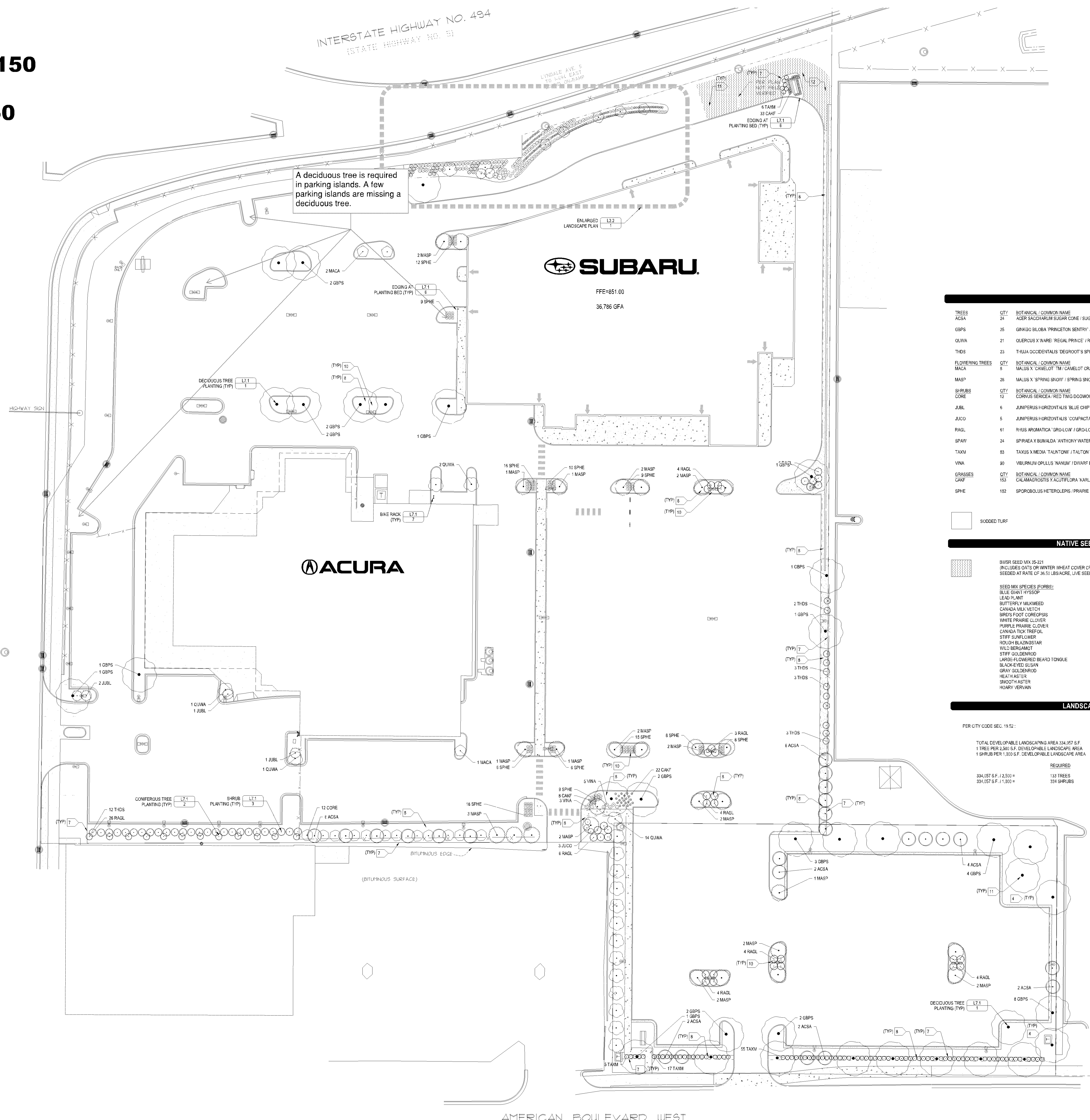
Landform and Site Management, Inc. is an Equal Opportunity Employer. M/F/V

PL201900150

PL2019-150

LYNDALE AVENUE SOUTH

INTERSTATE HIGHWAY NO. 494  
STATE HIGHWAY NO. 83



**SUBARU**  
FFE#851.00  
36,786 GFA

**ACURA**

**LANDSCAPE NOTES**

- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
- COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
- CONTRACTOR IS RESPONSIBLE FOR VISITING SITE TO FAMILIARIZE WITH SITE CONDITIONS AND CONSTRAINTS.
- SEE ALL AREAS AS INDICATED ON PLAN. OFFICE MINIMUM OF THREE (3) INCHES OF TOPSOIL AND HOLD DOWN TOPSOIL TWO (2) INCHES FOR SOIL THICKNESS. SEE SHEET C3.1 FOR FINAL DESIGN GRACES.
- ALL PLANT MATERIALS SHALL CONFORM WITH THE MOST CURRENT EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS AND SHALL BE OF HARDY STOCK. TREES FROM INFESTATION DISEASE, DAMAGE AND DISTORTION. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE PLAN THE PLAN SHALL GOVERN.
- PLANTING SOIL FOR PERENNIALS, SHRUBS AND TREES SHALL CONSIST OF (MINOT SELECT) TOPSOIL BORROW UNLESS OTHERWISE NOTED. SEE DETAILS FOR DEPTH OF PLANTING SOIL.
- EDGE PLANTING BEDS AND SEPARATE MULCH TYPES WITH 6-INCH BLACK VINYL EDGING, BLACK DIAMOND OR APPROVED EQUIV.
- INSTALL 1-INCH DEPTH 2% (NORMAL SLOPE) GREY TRAP ROCK IN ALL PLANTING BEDS UNLESS OTHERWISE NOTED. LANDSCAPE FABRIC SHALL BE INSTALLED UNDER ALL AREAS OF ROCK MULCH.
- AUTOMATIC IRRIGATION SYSTEM TO BE USED TO IRRIGATE ALL LANDSCAPE BEDS. DIRECTIONAL SPRAY IRRIGATION TO BE USED FOR TURF AND TREES IN TURF AREAS. IRRIGATION CONTRACTOR TO SUBMIT SHOP DRAWING TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTING SOIL FOR PARKING LOT ISLANDS SHALL BE A 1:1:1 MIX OF SOIL, COMPOST AND SAND.
- TREES NOT LOCATED WITHIN PLANTING BEDS SHALL RECEIVE A FOUR (4) FOOT DIAMETER (SHRIMPED) HARDWOOD MULCHING, TO A DEPTH OF FOUR (4) INCHES. DO NOT INSTALL EDGING AROUND MULCHING.
- SEED, SOIL, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS FACED/FIELD SPECIFICATION NUMBER INDICATED.
- QUANTITIES SHOWN ON PLANT SCHEDULE ARE TOTAL QUANTITIES FOR DESIGN.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
ACSA	24	ACER SAUCEROTUM / SUGAR MAPLE	25'H X 12"W	2.5' CAL	B & B
GBPS	35	GRASSY BLOOM PRINCETON SENTRY / PRINCETON SENTRY GRASS	50'H X 30"W	3' CAL	B & B
OUVA	21	QUERCUS X NUNEI REGAL PRINCE / REGAL PRINCE OAK	25'H X 12"W	2.5' CAL	B & B
THDS	23	TRIFOLIUM OCCIDENTALE / DEERFOOT SPRE / DEERFOOT'S SPRE ARBORVITAE	37' H X 6' W	4' H @ 4' H	B & B
FLORERING TREES	8	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
MACA	8	MALUS X CANELOT / CAMELOT CRAB APPLE	8'H X 10' W	1.75' CAL	POT
MASP	26	MALUS X SPRING SNOW / SPRING SNOW CRAB APPLE	25'H X 23' W	1.5' CAL	POT
SHRUBS	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
COBE	17	CORNUS SERICEA / RED TWIG DOGWOOD	10' H X 10' W	3' CAL	POT
JBL	6	JUNIPERUS HORIZONTALIS / BLUE CHIP JUNIPER	11'H X 10' W	3' CAL	POT
JUDO	5	JUNIPERUS HORIZONTALIS 'COMPACTA' / ANOXA COMPACT JUNIPER	1.5' H X 5' W	3' CAL	POT
RAGL	61	RHUS ARBORESCENS / RED BUD FRAGRANT SUMAC	2' H X 9' W	2' CAL	POT
SPAW	24	SPHAEAX BURBANKII / ANTHONY WATERER / ANTHONY WATERER SPHAEAX	3'H X 3' W	3' CAL	POT
TAXU	83	TAXUS MEDIA / TAUNTON / TAUNTON YEW	4' H X 1' W	3' CAL	POT
VINA	30	VIOLARIA PALLIDA / EDWARDS EUROPEAN VIOLARIA	2' H X 3' W	3' CAL	POT
GRASSES	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
CAIF	533	CALAMAGROSTIS XACERELLA / KARL FORBSTER / FEATHER REED GRASS	4' H X 3' W	2' CAL	POT
SPHE	182	SPHODROPODUS HETEROLOPHUS / PRAIRIE DROPSEED	2' H X 2' W	2' CAL	POT

SUCCESS TURF

**NATIVE SEED MIX**

- SEED MIX SPECIES (FORBID):  
 BLUE GRASS  
 BLUE GRASS  
 BLUE GRASS  
 BUTTERFLY MILKWEED  
 CANADA VIL VILCH  
 SWEET FOOT CLOVER  
 WHITE PRAIRIE CLOVER  
 PURPLE PRAIRIE CLOVER  
 CANADA TUCKER TREFOL  
 STIFF SUNFLOWER  
 ROUGH BLOODSTAR  
 WILD GERANIUM  
 STIFF GOLDENROD  
 LARKS FLOWERING BEARD TONGUE  
 BLACK-EYED SUSAN  
 GRAY GULLBERG  
 HEATH ASTER  
 SNAKE MASTER  
 HONEY BEEBURN
- SEED MIX SPECIES (GRASSES):  
 BIG BLUESTEM  
 SIDE OATS GRASS  
 BLUE GRASS  
 KANSAS BROME  
 NOODLING WILDFIRE  
 JUNE GRASS  
 LITTLE BLUESTEM  
 INDIAN GRASS  
 PRAIRIE GRASS

**LANDSCAPE CALCULATIONS**

PER CITY CODE SEC. 19.52:

TOTAL DEVELOPABLE LANDSCAPING AREA 134,167 S.F.  
 1 TREE PER 2,000 S.F. DEVELOPABLE LANDSCAPE AREA  
 1 SHRUB PER 1,000 S.F. DEVELOPABLE LANDSCAPE AREA

REQUIRED	PROVIDED
134 TREES	138
334 SHRUBS	334 SHRUBS + 331 PERENNIALS (EQUIV. TO 84 SHRUBS)

**DEVELOPER**

MOTORS MANAGEMENT CORPORATION  
3701 ALABAMA AVENUE SOUTH  
ST. LOUIS PARK, MN 55416  
TEL: (952) 835-8800 FAX: (952) 835-8800

**MUNICIPALITY**



**PROJECT**

LUTHER BLOOMINGTON  
ACURA SUBARU  
BLOOMINGTON, MN

**SHEET INDEX**

SHEET	TITLE
C01	CONTRACT ADMINISTRATION
C02	GENERAL NOTES
C03	GENERAL CONDITIONS, PLANNING & DESIGN
C04	UTILITIES

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	BY	CHKD
10/15/2019	ISSUE / REVISION	SS	SS
11/05/2019	ISSUE / REVISION	SS	SS

**PROJECT MANAGER REVIEW**

BY: SS DATE: 11/05/2019

**CERTIFICATION**

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly licensed professional engineer under the laws of the State of Minnesota.

**SITE PLAN SUBMITTAL**

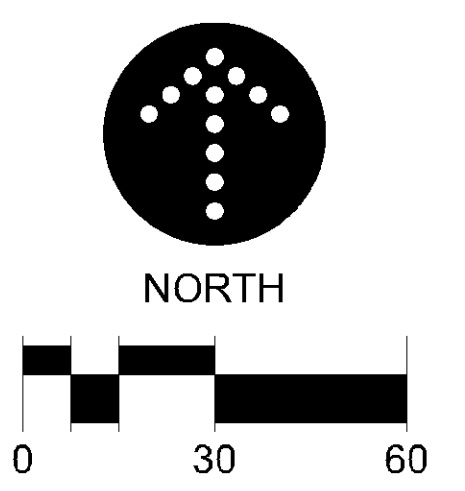
AUGUST 21, 2019

LANDFORM  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

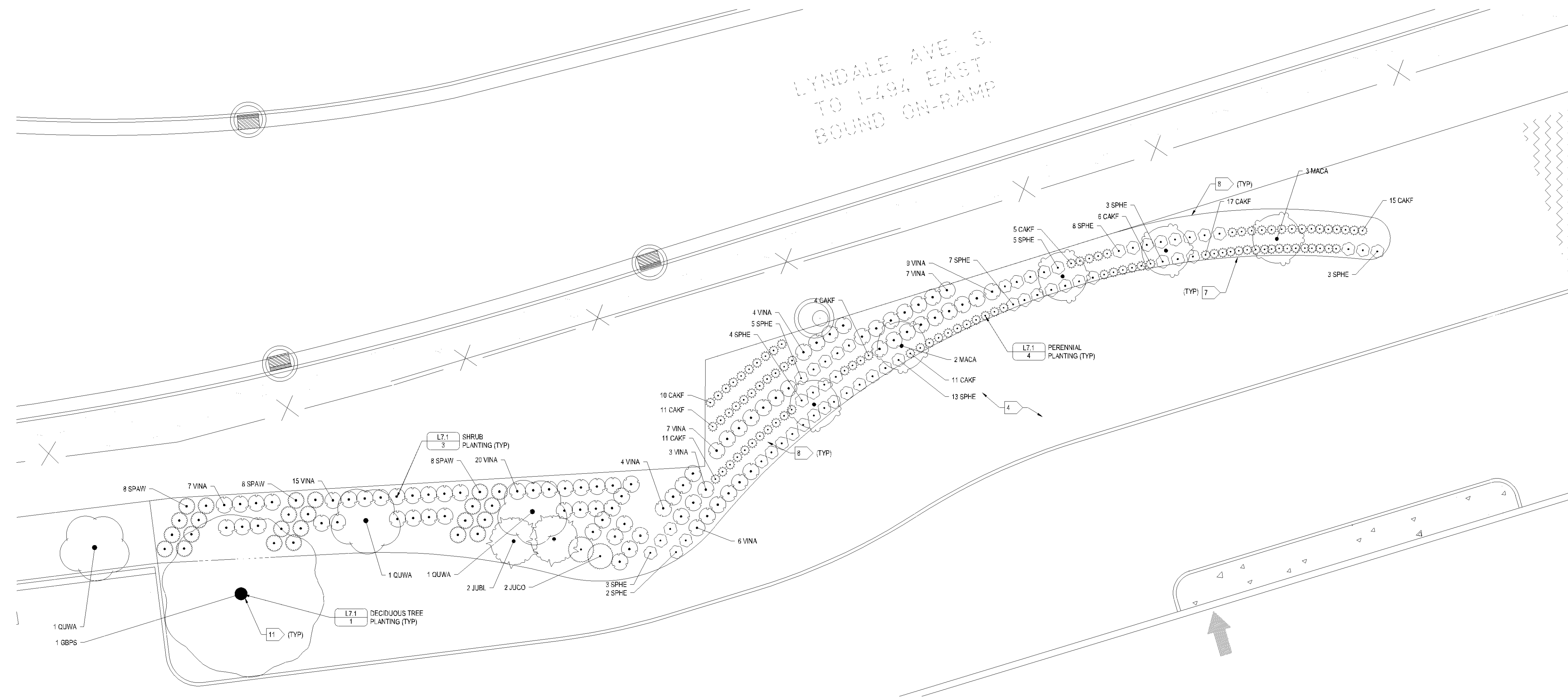
FILE NAME: L2019AA041.DWG  
PROJECT NO: BAA14041

LANDSCAPE PLAN  
**L2.1**



PL201900150

PL2019-150



- LANDSCAPE NOTES**
- CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
  - COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
  - CONTRACTOR IS RESPONSIBLE FOR VISITING SITE TO FAMILIARIZE WITH SITE CONDITIONS AND CONSTRAINTS.
  - SOIL ALL AREAS AS INDICATED ON PLAN. SPREAD A MINIMUM OF THREE (3) INCHES OF TOPSOIL AND HOLD DOWN TOPSOIL TWO (2) INCHES FOR SOIL THICKNESS. SEE SHEET C1.1 FOR FINAL DESIGN GRADES.
  - ALL PLANT MATERIALS SHALL CONFORM WITH THE MOST CURRENT ADDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK FREE FROM INFECTION, DISEASE, DAMAGE AND DEFORMATION. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE PLAN, THE PLAN SHALL GOVERN.
  - PLANTING SOIL FOR PERENNIALS, SHRUBS AND TREES SHALL CONSIST OF ANDOT SELECT TOPSOIL BURNUM UNLESS OTHERWISE NOTED. SEE DETAIL 6 FOR DEPTH OF PLANTING SOIL.
  - EDGE PLANTING BEDS AND SEPARATE MULCH TYPES WITH 6-INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUA.)
  - INSTALL 6 INCH DEPTH 2" (1" NOMINAL SIZE) GRY TRAP ROCK IN ALL PLANTING BEDS UNLESS OTHERWISE NOTED. LANDSCAPE FABRIC SHALL BE INSTALLED UNDER ALL AREAS OF ROCK/SLUSH.
  - AUTOMATIC CRIP IRRIGATION SYSTEM TO BE USED TO IRRIGATE ALL LANDSCAPE BEDS. DIRECTIONAL SPRAY IRRIGATION TO BE USED FOR TURF AND TREES IN TURF AREAS. IRRIGATION CONTRACTOR TO SUBMIT SHOP DRAWING TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - PLANTING SOIL FOR PARKING LOT ISLANDS SHALL BE A 1:1:1 MIX OF SOIL, COMPOST AND SAND.
  - TREES NOT LOCATED WITH PLANTING BEDS SHALL RECEIVE A FOUR (4) FOOT DIAMETER BRANDED HARDWOOD MULCH RING TO A DEPTH OF FOUR (4) INCHES. DO NOT INSTALL EDGING AROUND MULCH RING.
  - SEED, SOIL, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED:
 

ITEM	SEED	BFR SEED MIX 35:22:1	ANDOT 581
MULCH (ANDOT TYPE 1 & 2) TONNAGE, DISC ANCHORED AND NOT 38:2	FERTILIZER	ANDOT 581	ANDOT 225
GENERAL PLACEMENT			
  - QUANTITIES SHOWN ON PLANT SCHEDULE ARE FOR THIS SHEET ONLY. SEE SHEET L2.1 FOR TOTAL QUANTITIES FOR DESIGN.

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
OBPS	1	QUERCUS PRINCEPS / PRINCE OF WYNDHAM	50' X 30'	5' CAL	B & B
QUVA	3	QUERCUS X WARED REGAL PRINCE / REGAL PRINCE OAK	25' H X 12' W	2.5' CAL	B & B
FLOWERING TREES					
MACA	3	ROTUNDA COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
		MACA X CAWE OF 'THE CAMEL OF' CRAN APPLE	4' X 3' W	1.75' CAL	POT
SHRUBS					
JUBI	2	JUNIPERUS HORIZONTALIS BLUE CHIP / BLUE CHIP JUNIPER	1' H X 10' W	3 GAL	POT
JUDO	2	JUNIPERUS HORIZONTALIS COMPACTA / ANDORRA COMPACT JUNIPER	1.5 H X 5' W	3 GAL	POT
SPAW	24	SPRAEA X BULMUDA ANTHONY WATERER / ANTHONY WATERER SPRAEA	3' H X 3' W	3 GAL	POT
VINA	62	IBURNUM OPULIS 'NANAM' / DWARF EUROPEAN VIBURNUM	2' H X 3' W	3 GAL	POT
GRASSES					
CAWF	90	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	4' H X 2' W	2 GAL	POT
SPHE	53	SPHOROBOLUS HETEROLEPHS / PRAIRIE DROPSEED	2' H X 2' W	2 GAL	POT

**DEVELOPER**  
**MOTORS MANAGEMENT CORPORATION**  
 3701 ALABAMA AVENUE SOUTH  
 ST. LOUIS PARK, MN 55416  
 TEL: (952) 938-8800 FAX: (952) 938-8800

**MUNICIPALITY**  
  
 BLOOMINGTON

**PROJECT**  
**LUTHER BLOOMINGTON**  
**ACURA SUBARU**  
 BLOOMINGTON, MN

**SHEET INDEX**

SHEET	TITLE
C1.1	PLAN - TREE SHEET
C2.1	SITE PLAN
C3.1	GENERAL NOTES, PLANTING & IRRIGATION
C4.1	CONTROLS
C4.2	UTILITIES

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVISION
07/22/2019	DRG SUBMITTAL	SET
07/22/2019	DRG SUBMITTAL	SET

**PROJECT MANAGER REVIEW**  
 BY: [Signature] DATE: 08/21/2019

**CERTIFICATION**

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of MINNESOTA.

Professional Seal: [Signature] License No. 44000

**PRELIMINARY NOT FOR CONSTRUCTION**

If the drawings, plans, specifications, or any other documents are to be used for construction, the user must obtain a copy of the drawings, plans, specifications, or any other documents from the project manager or the engineer who prepared the drawings, plans, specifications, or any other documents.

**SITE PLAN SUBMITTAL**  
 AUGUST 21, 2019

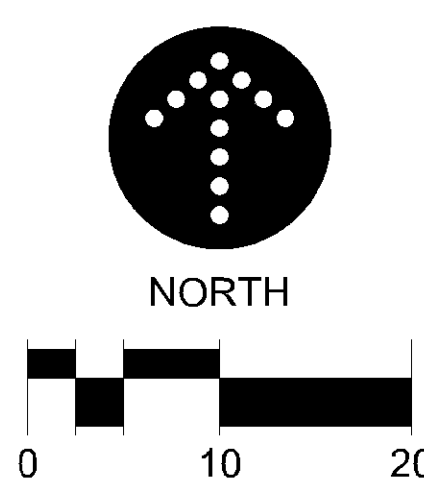
**LANDFORM**  
 From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
 Suite 513 Fax: 612-252-9077  
 Minneapolis, MN 55401 Web: landform.net

FILE NAME: L2018AA041 DWG  
 PROJECT NO.: BAA14041



Know what's Below.  
 Call before you dig.

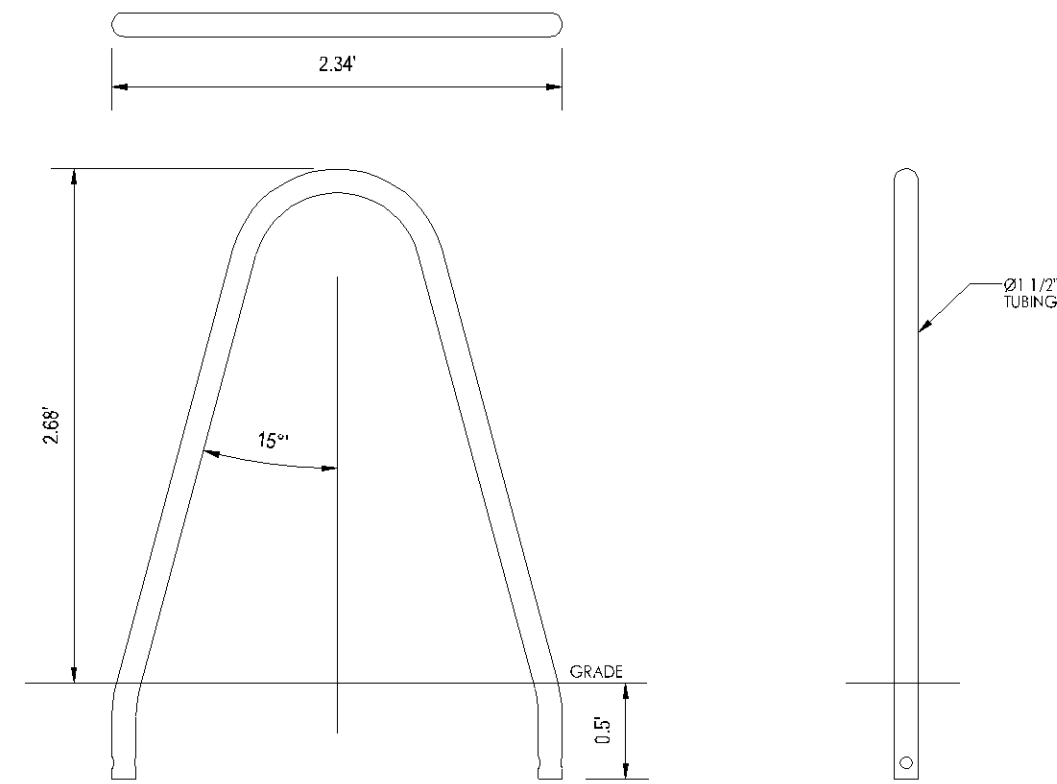


**ENLARGED LANDSCAPE PLAN**  
**L2.2**

PL201900150

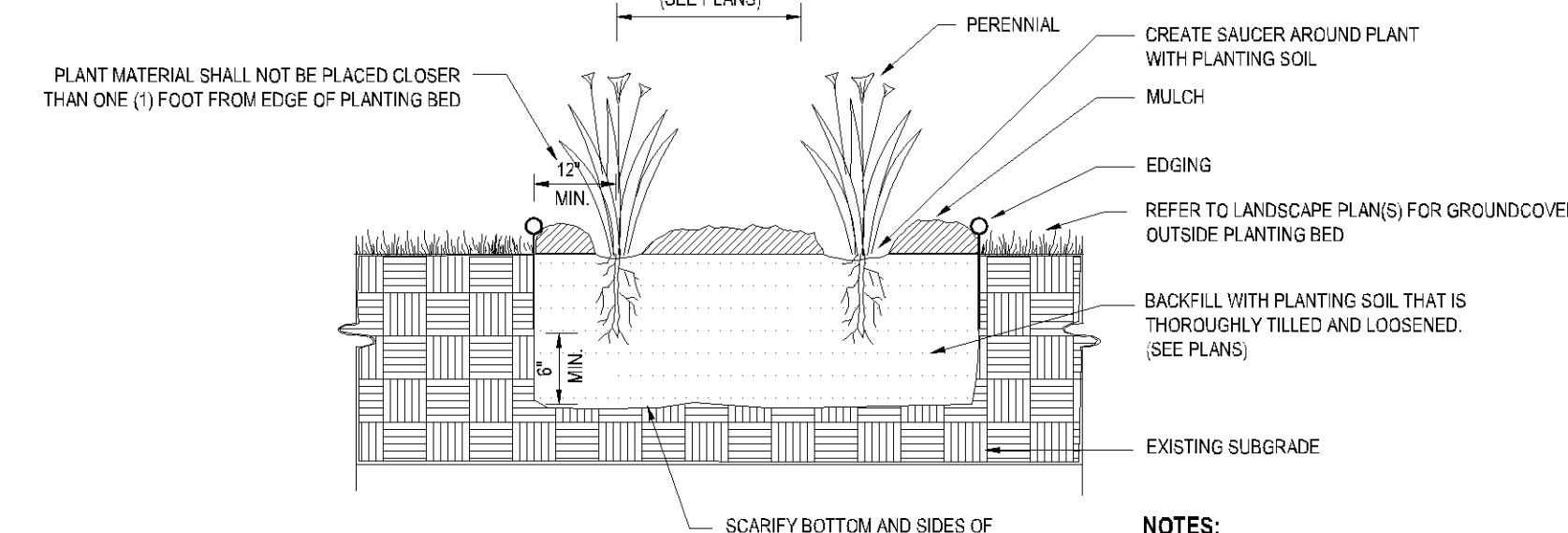
PL2019-150

Bola® Product Drawing Date: 11/02/14  
www.landform.com Ph: 612.521.2541



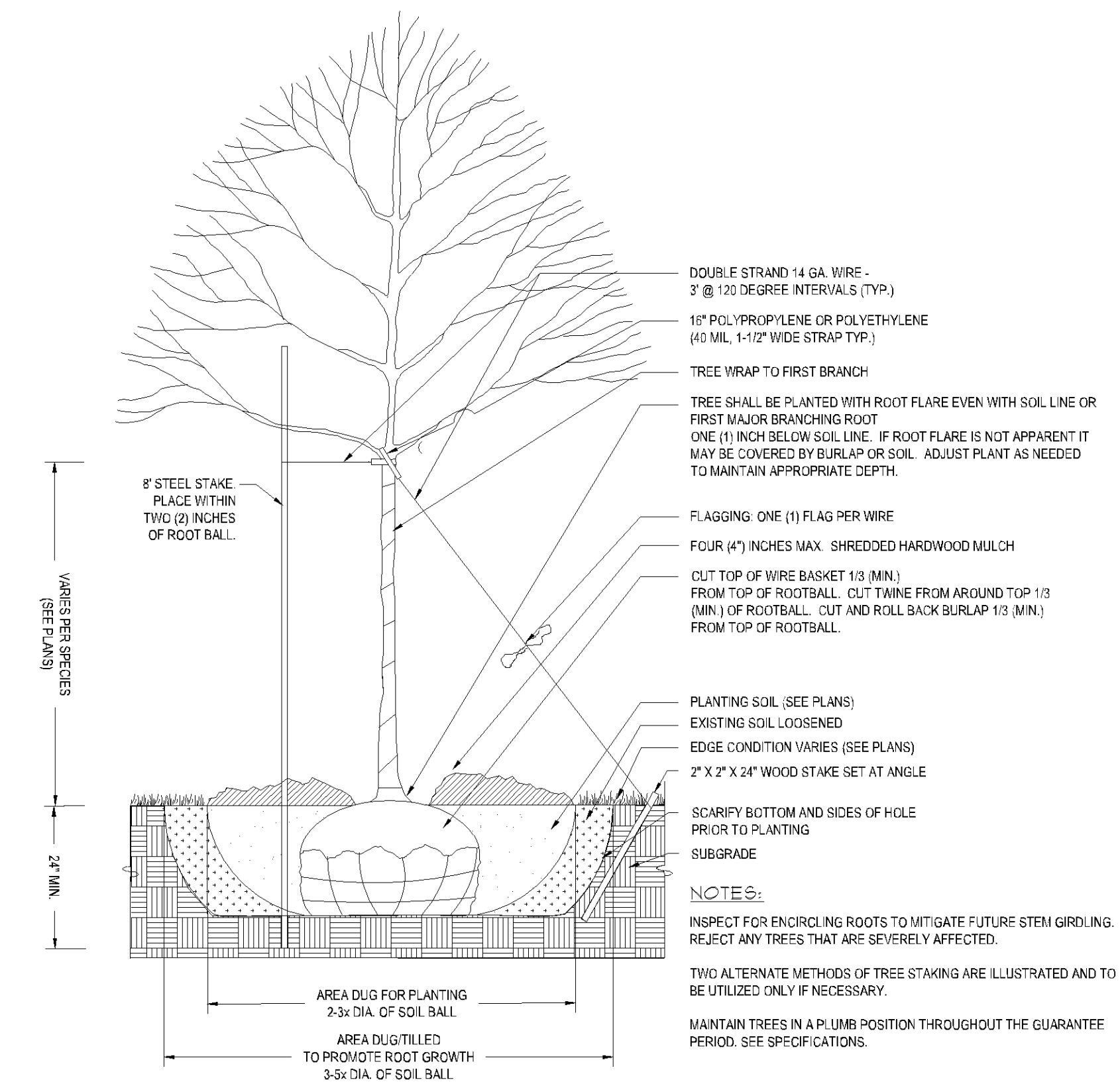
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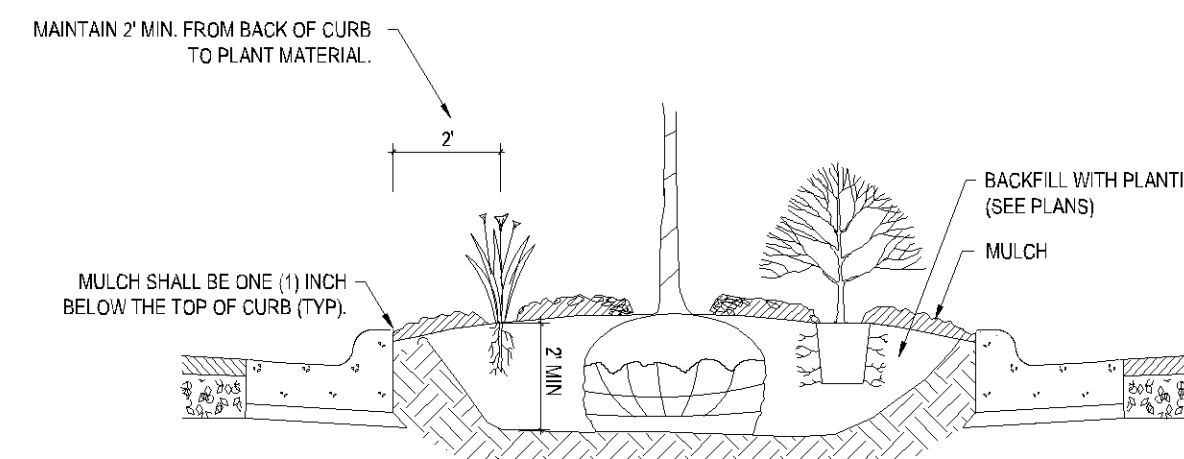
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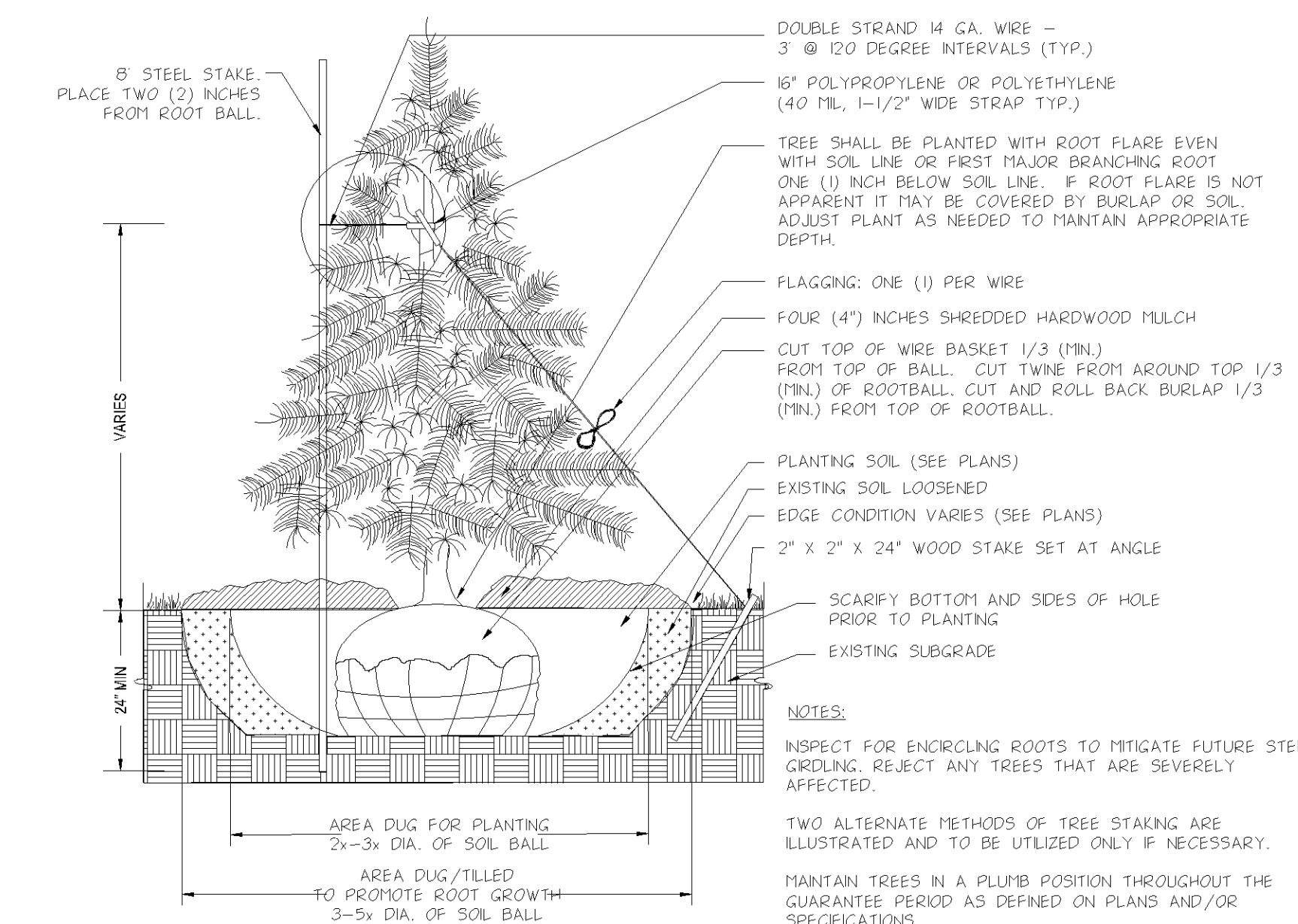
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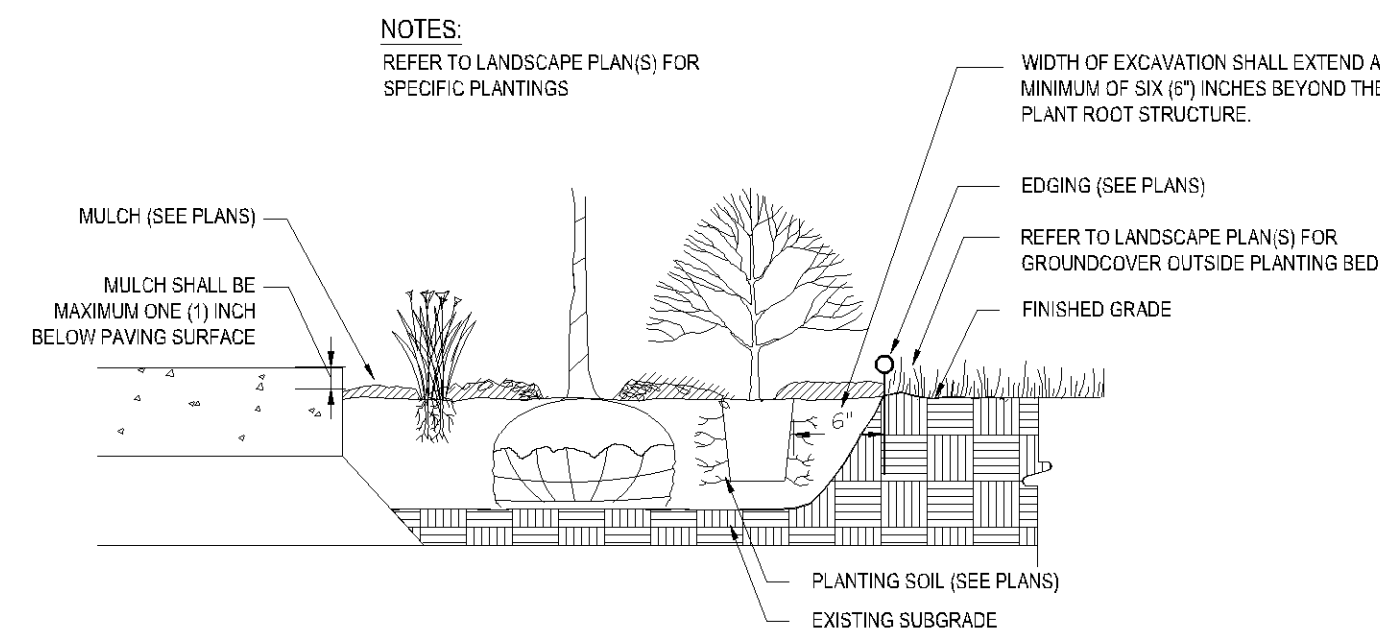
**PLANTED PARKING ISLAND**

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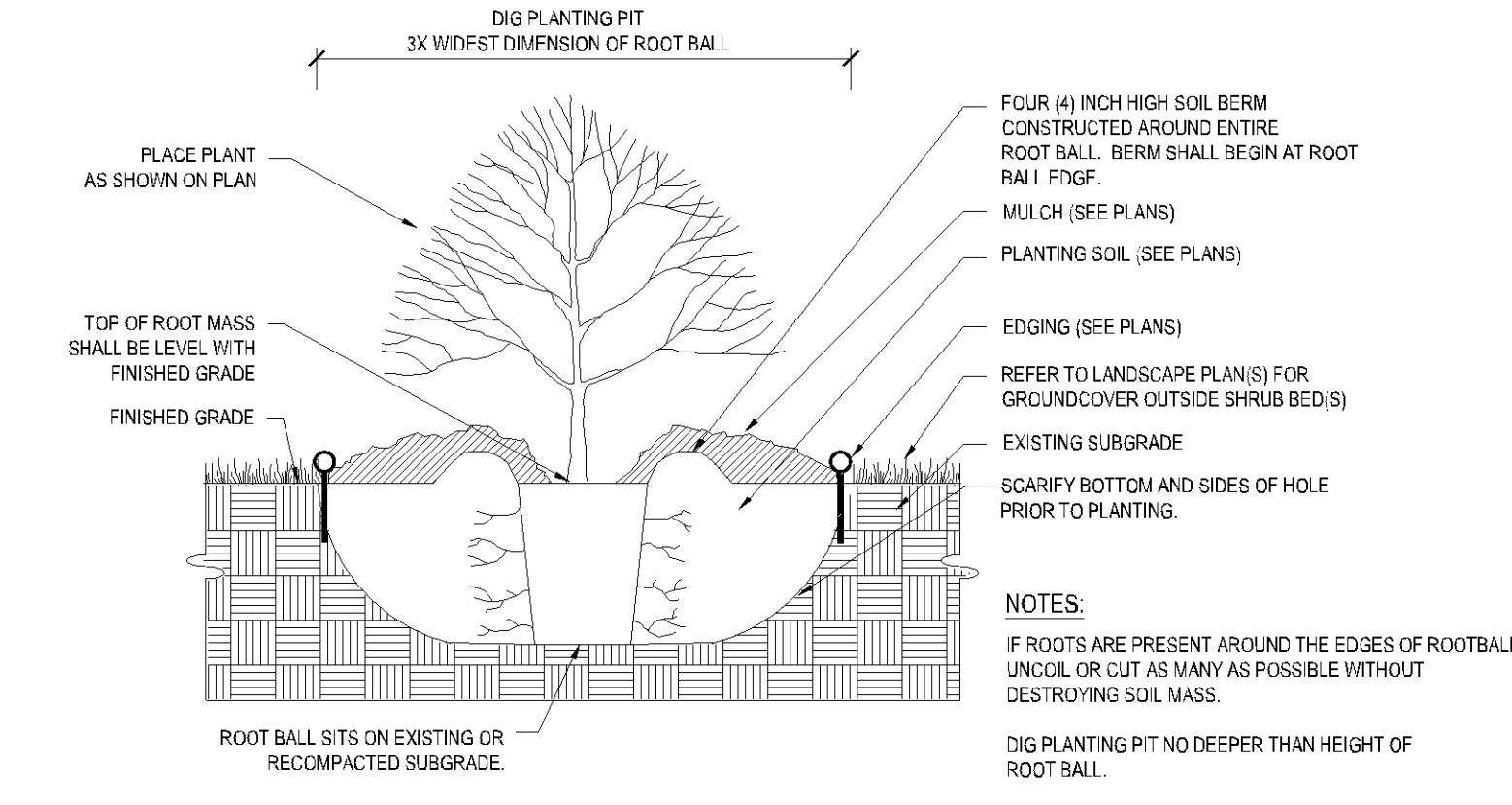
**CONIFEROUS TREE PLANTING**

NO SCALE



**EDGING AT PLANTING BED**

NO SCALE



**SHRUB PLANTING**

NO SCALE

**DEVELOPER**  
MOTORS MANAGEMENT CORPORATION  
3701 ALABAMA AVENUE SOUTH  
ST. LOUIS PARK, MN 55416  
TEL: (952)584-8800 FAX: (952)584-8801



**PROJECT**  
LUTHER BLOOMINGTON  
ACURA SUBARU  
BLOOMINGTON, MN

**SHEET INDEX**

SHEET	TITLE
C01	SITE SHEET
C02	SITE PLAN
C03	GRADING, EROSION, PLANTING & IRRIGATION
C04	CONTROLS
C05	UTILITIES

**ISSUE / REVISION HISTORY**

DATE	ISSUE / REVISION	REVISION
07/22/2019	DRG. SUBMITTAL	REV. 01
07/22/2019	DRG. SUBMITTAL	REV. 02

**PROJECT MANAGER REVIEW**  
BY: [Signature] DATE: 08/21/2019

**CERTIFICATION**

**PRELIMINARY NOT FOR CONSTRUCTION**

**SITE PLAN SUBMITTAL**  
AUGUST 21, 2019

**LANDFORM**  
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070  
Suite 513 Fax: 612-252-9077  
Minneapolis, MN 55401 Web: landform.net

FILE NAME: L7018AA041.DWG  
PROJECT NO.: BAA14041

**LANDSCAPE DETAILS**

**L7.1**





PL201900150

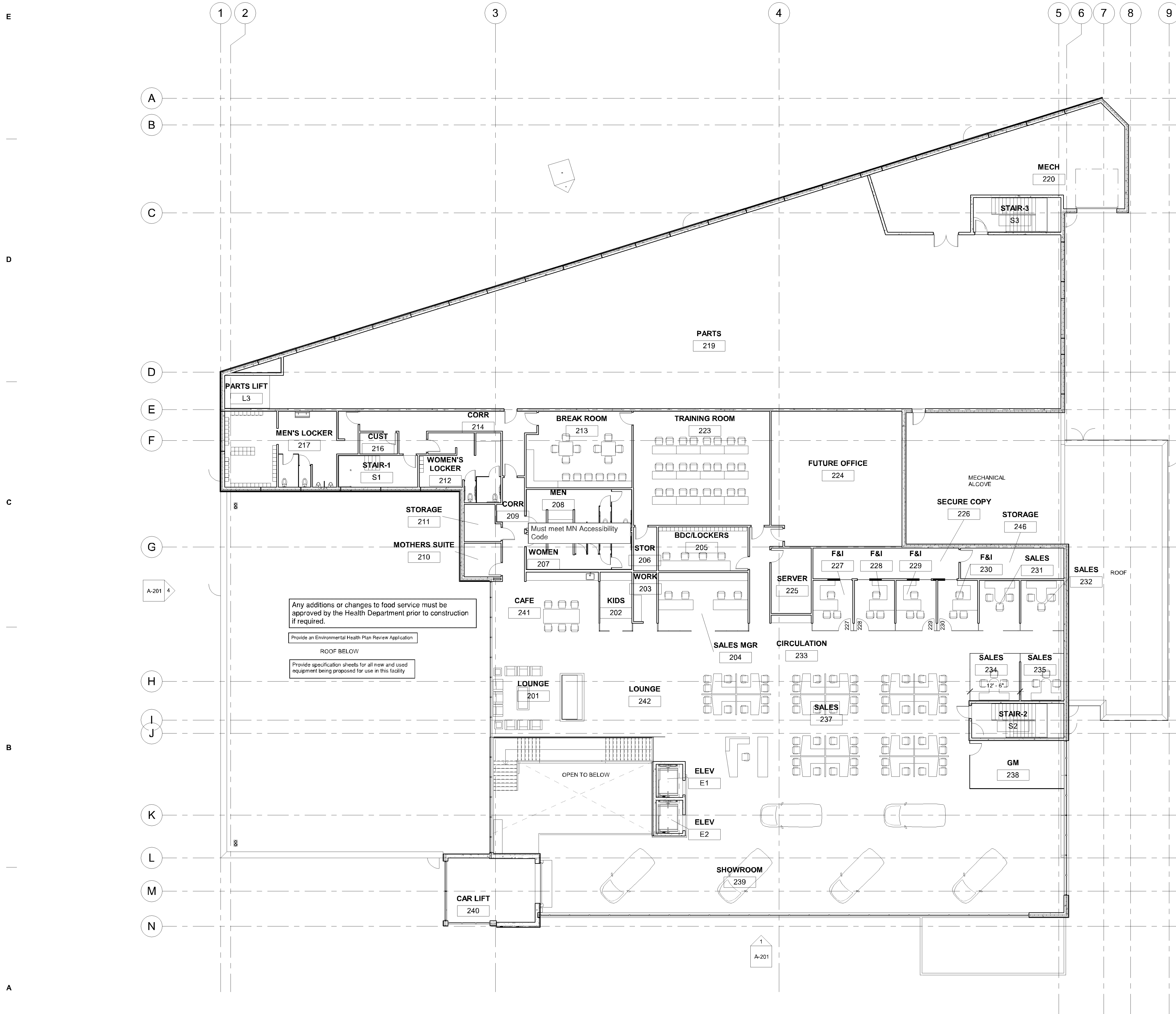
PL2019-150



150 SOUTH FIFTH STREET, SUITE 1425  
MINNEAPOLIS, MN 55402-1200  
TELEPHONE: 612.339.8501

Luther Bloomington Subaru

Issued:



Any additions or changes to food service must be approved by the Health Department prior to construction if required.

Provide an Environmental Health Plan Review Application

ROOF BELOW

Provide specification sheets for all new and used equipment being proposed for use in this facility.

1 SECOND LEVEL FLOOR PLAN  
3/32" = 1'-0"

PRELIMINARY  
NOT FOR  
CONSTRUCTION

Date: \_\_\_\_\_ Reg. No. \_\_\_\_\_  
Issue Date: \_\_\_\_\_ Approver: \_\_\_\_\_

Sheet Title  
SECOND LEVEL  
FLOOR PLAN

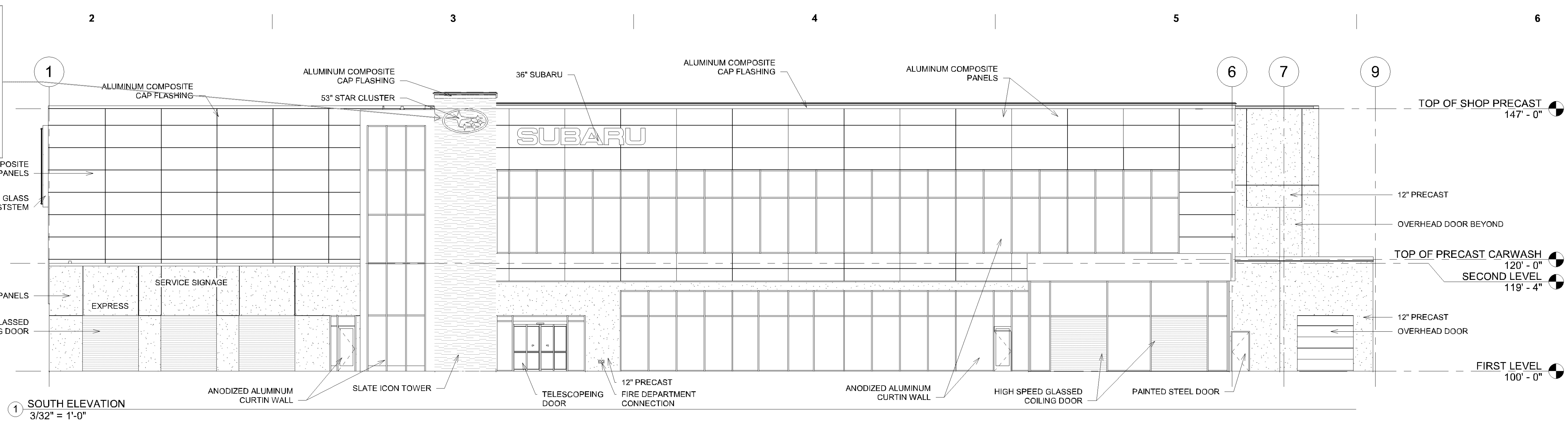
Sheet Number  
A-102  
Date: \_\_\_\_\_ Issue Date: \_\_\_\_\_  
Comm No. \_\_\_\_\_ Project Number: \_\_\_\_\_  
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**PL201900150**  
**PL2019-150**

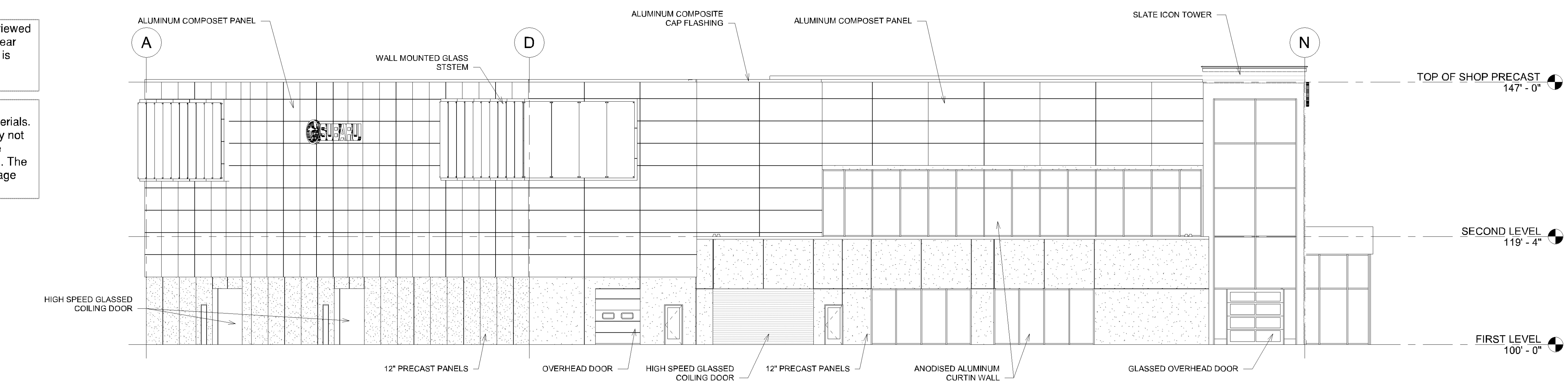
In order to the 53" star cluster sign to be located separate from the "Subaru" sign on the south elevation, it must be a channel letter sign (as depicted on the building elevation). If it is cabinet construction, it must be combined with a channel letter sign and the cabinet sign may not exceed 25 percent of the overall sign.

ACM panels must be reviewed by Planning staff. A 30-year minimum finish warranty is required.

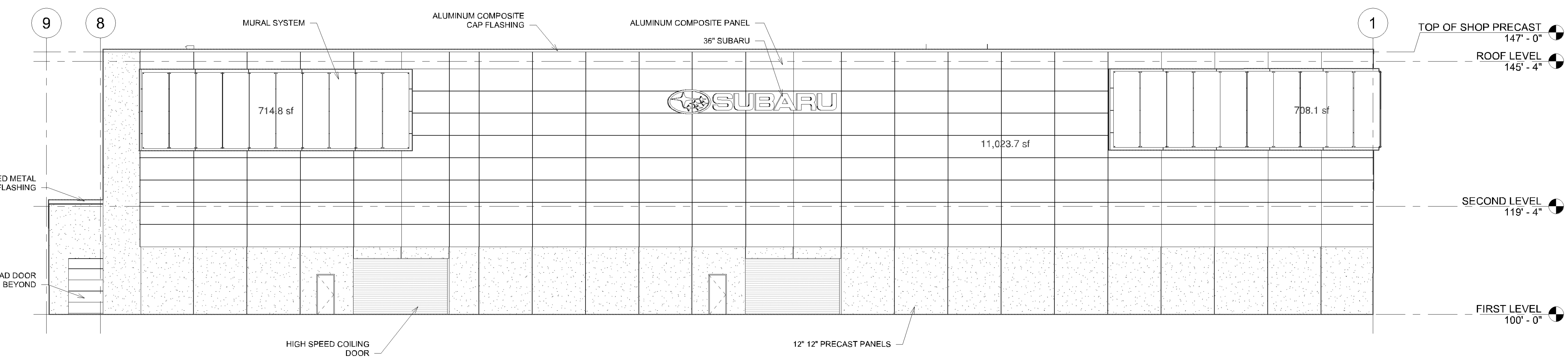
Murals are considered "secondary" exterior materials. Secondary materials may not exceed 15 percent of the overall building elevation. The murals must not be signage given its depicted sizes.



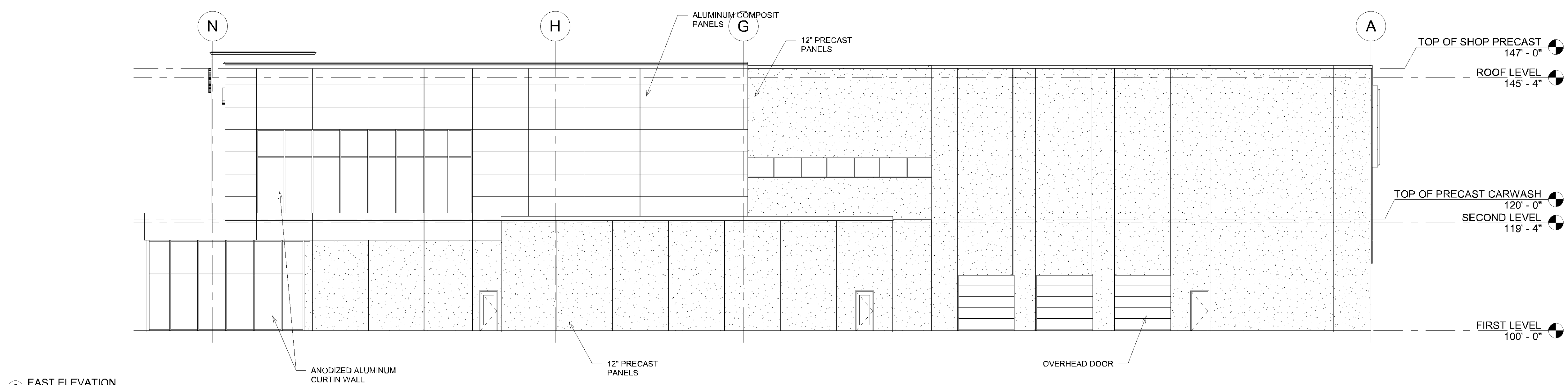
1 SOUTH ELEVATION  
3/32" = 1'-0"



4 WEST ELEVATION  
3/32" = 1'-0"



3 NORTH ELEVATION  
3/32" = 1'-0"



2 EAST ELEVATION  
3/32" = 1'-0"

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Date: \_\_\_\_\_ Reg. No. \_\_\_\_\_  
Issue Date: \_\_\_\_\_ Approver: \_\_\_\_\_

Sheet Title  
**EXTERIOR  
ELEVATIONS**

Sheet Number  
**A-201**  
Date: \_\_\_\_\_ Issue Date: \_\_\_\_\_  
Comm. No. \_\_\_\_\_ Project Number: \_\_\_\_\_  
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