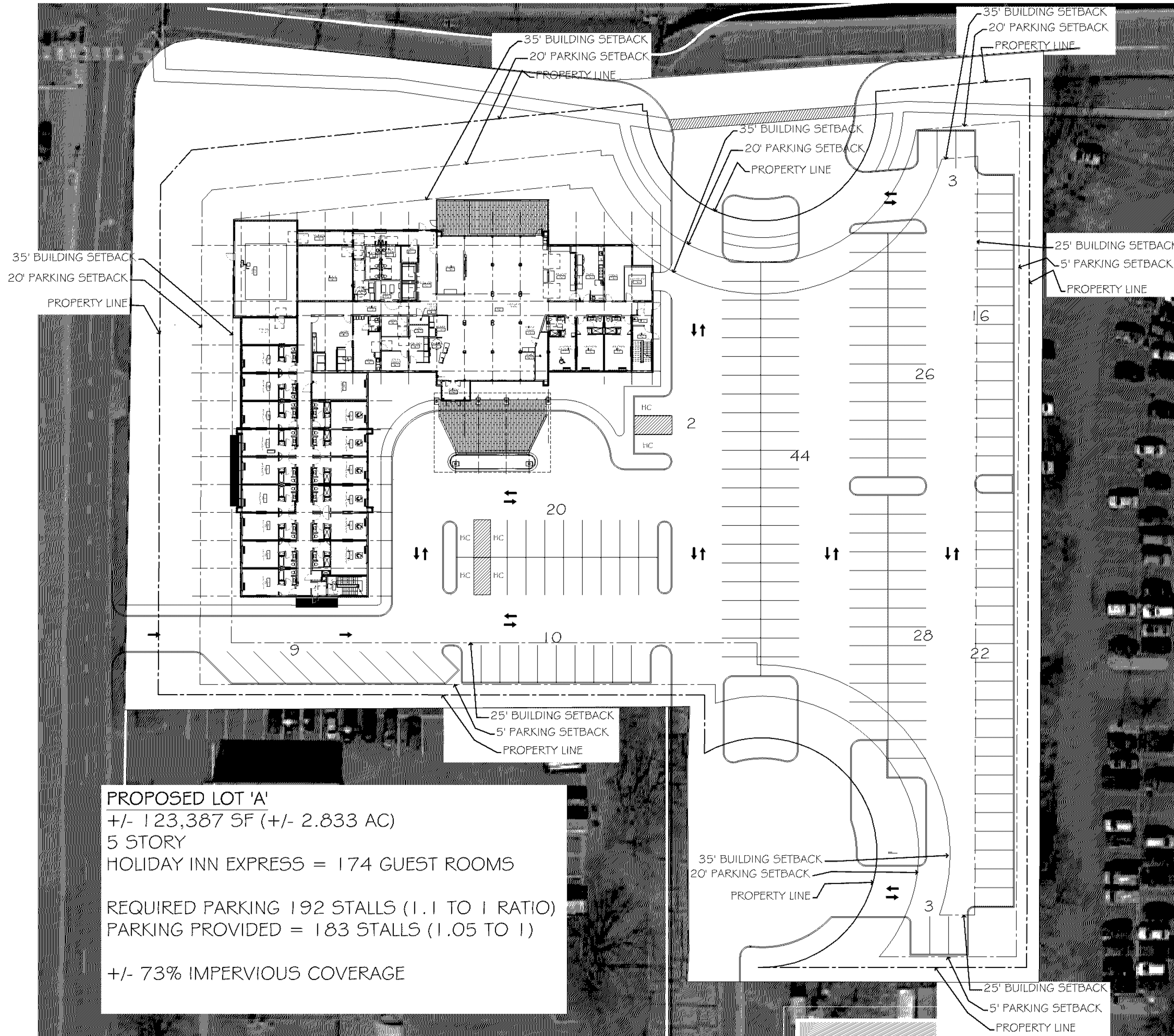




1 SITE PLAN WITH FIRST FLOOR
1" = 25'-0"

Certification & Seal:

MARK	DATE	DESCRIPTION
DATE ISSUED:	01/06/2016	
ISSUE		
PHASE:	SCHEMATIC	
PROJECT TITLE:		

HOLIDAY INN EXPRESS

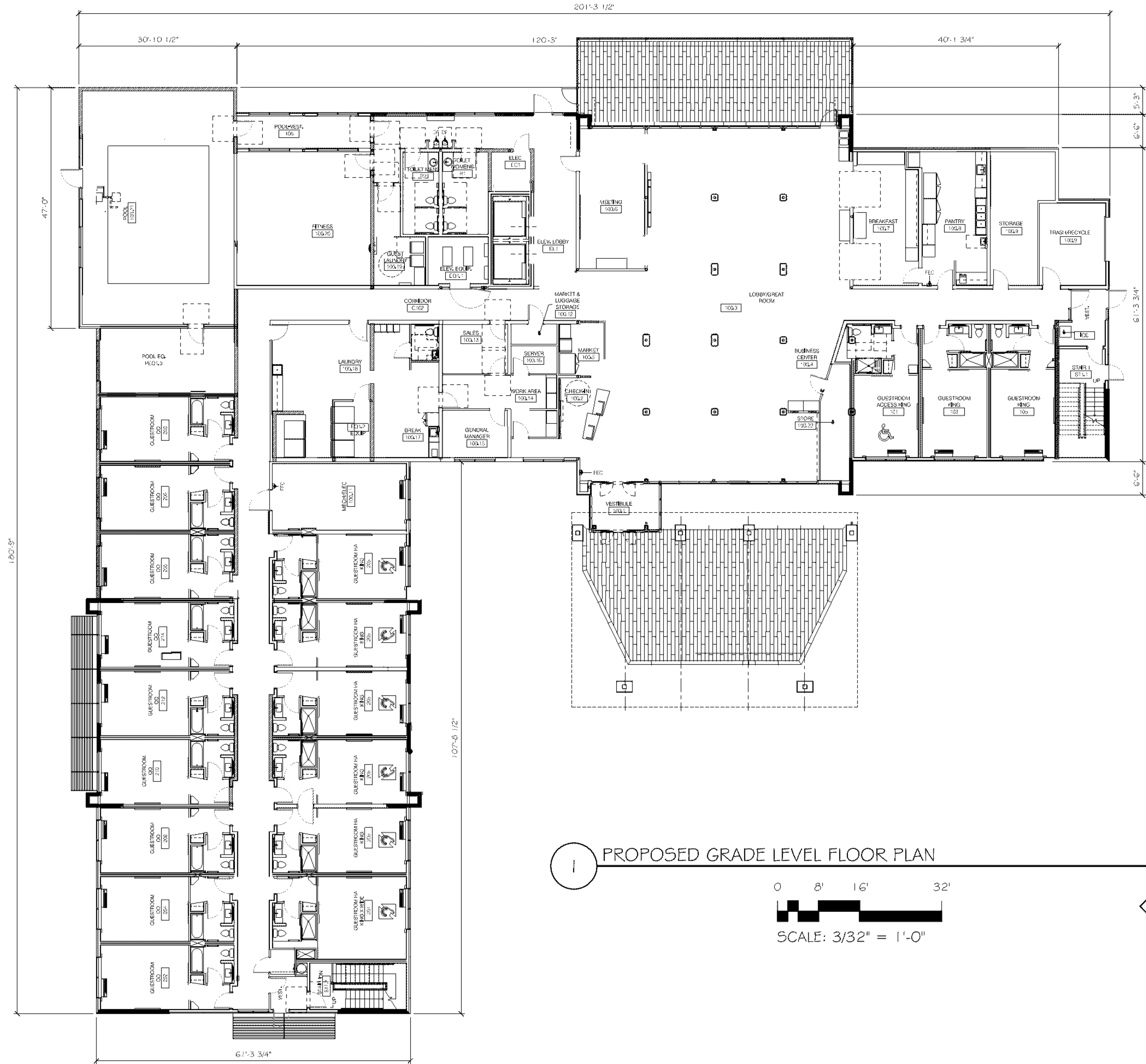
PROJECT OWNER:
HAWKEYE HOTELS

PROJECT LOCATION:
BLOOMINGTON
MINNESOTA
SHEET TITLE:

SITE PLAN

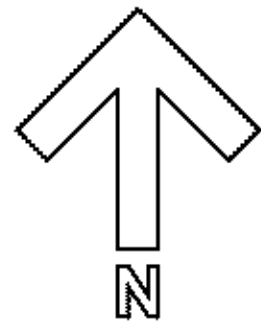
SCALE:
AS NOTED

PROJECT NUMBER	33476
SHEET NUMBER	A001



PROPOSED GRADE LEVEL FLOOR PLAN

0 8' 16' 32'
SCALE: 3/32" = 1'-0"



Certification & Seal:

MARK DATE DESCRIPTION

DATE ISSUED: 01/06/2016

ISSUE PHASE: SCHEMATIC

PROJECT TITLE:

HOLIDAY INN
EXPRESS

PROJECT OWNER:
HAWKEYE HOTELS

PROJECT LOCATION:
BLOOMINGTON
MINNESOTA

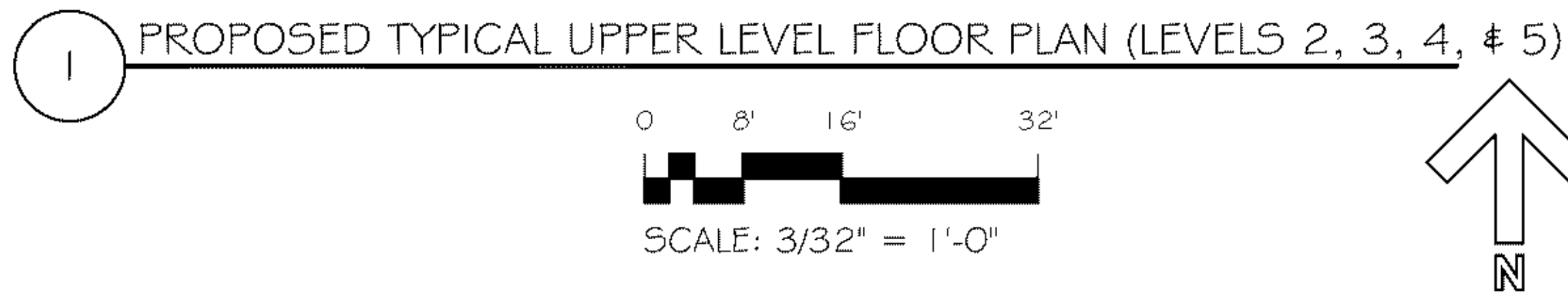
SHEET TITLE:

GRADE LEVEL
FLOOR PLAN

SCALE:
AS NOTED

PROJECT NUMBER 33476

SHEET NUMBER A101



MARK	DATE	DESCRIPTION
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ISSUE	SCHEMATIC
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PROJECT TITLE:

PROJECT OWNER:
HAWKEYE HOTELS

SHEET TITLE:

SCALE:
AS NOTED

NUMBER	55-178
SHEET	A102

Where is the sidewalk along 12th Avenue? It is needed.

Build sidewalk in ROW/easement along 12th Avenue if existing sidewalk is not remaining

Appears the setback is based on the current property line. The Master ROW plan calls for 50 feet from centerline along 12th Avenue. Currently there is 30 feet from center for the vacant lots and 40 feet from center for the hotel. The plans must be modified to account for the additional land area for right-of-way. Section 19.108(b)(2).

All Driveway access will need to follow Bloomington Non-Residential Driveway approach detail

Is this intended to be a right-in only entrance? If so, modify the curb to clearly let drivers know. If right-in and left-in are allowed, make sure signage clearly communicates to drivers that there is no exit allowed to 12th Avenue.

35' BUILDING SETBACK
20' PARKING SETBACK
PROPERTY LINE

Label streets - 12th Avenue

PROPOSED LOT 'A'
+/- 123,387 SF (+/- 2.833 AC)
5 STORY
HOLIDAY INN EXPRESS = 174 GUEST ROOMS

REQUIRED PARKING 192 STALLS (1.1 TO 1 RATIO)
PARKING PROVIDED = 183 STALLS (1.05 TO 1)

+/- 73% IMPERVIOUS COVERAGE

1 SITE PLAN WITH FIRST FLOOR
1" = 25' - 0"
Add bar scale

This sidewalk needs to include sufficient ROW or easement for re-construction as 12' path in near future including room for 6' boulevard.

Label all parking lot dimensions (aisle widths, parking-space length and width, islands, etc.)

A SAC review is required prior to permit issuance.

All islands must be 8 feet wide (inside curb) and have one tree. (Section 21.301.06(c)(2)(H))

Be sure all access aisles are a minimum 8 ft wide

25' BUILDING SETBACK
5' PARKING SETBACK
PROPERTY LINE

Label streets - 13th Avenue

Build connection to existing sidewalk on 13th Avenue

Sidewalk must follow around the cul-de-sac. No need for curb ramps into the cul-de-sac and no

No crosswalk through the middle of a cul de sac

Cul de sacs need ROW radius of 60' minimum and 48' radius for the pavement 108'-8 3/4"

35' BUILDING SETBACK
20' PARKING SETBACK
PROPERTY LINE

Sidewalk adjacent to parking must be 7 feet wide to accommodate vehicle turning. Code requires 5 feet clear. Section 21.301.04(c)(4)(B)

35' BUILDING SETBACK
20' PARKING SETBACK
PROPERTY LINE

Cul de sacs need ROW radius of 60' minimum and 48' radius for the pavement. Add dimension labels

110'-3"
35' BUILDING SETBACK
20' PARKING SETBACK
PROPERTY LINE

35' BUILDING SETBACK
20' PARKING SETBACK
PROPERTY LINE

All islands must be 8 feet wide (inside curb) and have one tree. Section 21.301.06(c)(2)(H)

25' BUILDING SETBACK
5' PARKING SETBACK
PROPERTY LINE

This is a difficult driveway to navigate with the two drive aisles and the cul de sac

Existing 60" Storm Sewer, 11" deep, may hinder utility crossing between building side and parking side, requires 30' easement



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had:sp oas:dfpas
vpad:fu pda:lj pdj ad
jfbv:bnps:fjbj npz:xjbnv
:zjnzp:jxlbnp:zdjfbn:zx
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MARK	DATE	DESCRIPTION
DATE ISSUED:	01/06/2016	
ISSUE PHASE:	SCHEMATIC	
PROJECT TITLE:		

HOLIDAY INN EXPRESS

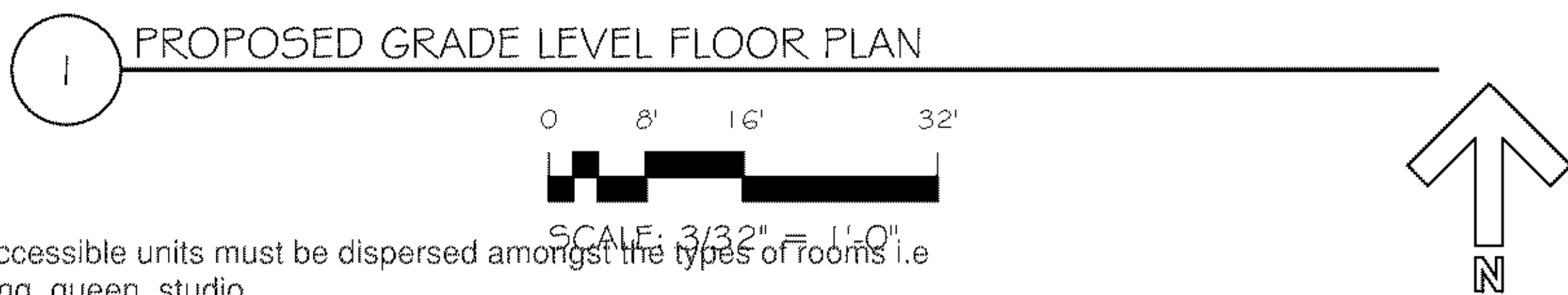
PROJECT OWNER:
HAWKEYE HOTELS

PROJECT LOCATION:
BLOOMINGTON MINNESOTA
SHEET TITLE:

SITE PLAN

SCALE:
AS NOTED

PROJECT NUMBER: **33476**
SHEET NUMBER: **A001**



MARK	DATE	DESCRIPTION
DATE ISSUED:	01/06/2016	
ISSUE PHASE:	SCHEMATIC	
PROJECT TITLE:		
HOLIDAY INN EXPRESS		
PROJECT OWNER:		
KEYWAY HOTELS		
PROJECT LOCATION:		
BLOOMINGTON MINNESOTA		
SHEET TITLE:		
GRADE LEVEL FLOOR PLAN		
SCALE:		
AS NOTED		
PROJECT NUMBER	33476	
SHEET NUMBER	A101	