

2 DEMOLITION PLAN
A1 SCALE: 1" = 80'-0"

SITE DATA
 LOT AREA - 464,226 S.F. = 10.66 ACRES
 ZONING - PD, PLANNED DEVELOPMENT
 MAJOR DEVELOPMENT CHANGE REQUIRES CITY APPROVAL
 C.U.P. REQUIRED FOR CAR SALES
 BUILDING - 229,634 S.F.
 5-STORIES
 FLOOR AREA RATIO
 229,634 S.F. / 464,226 S.F. = 0.49 < 0.50

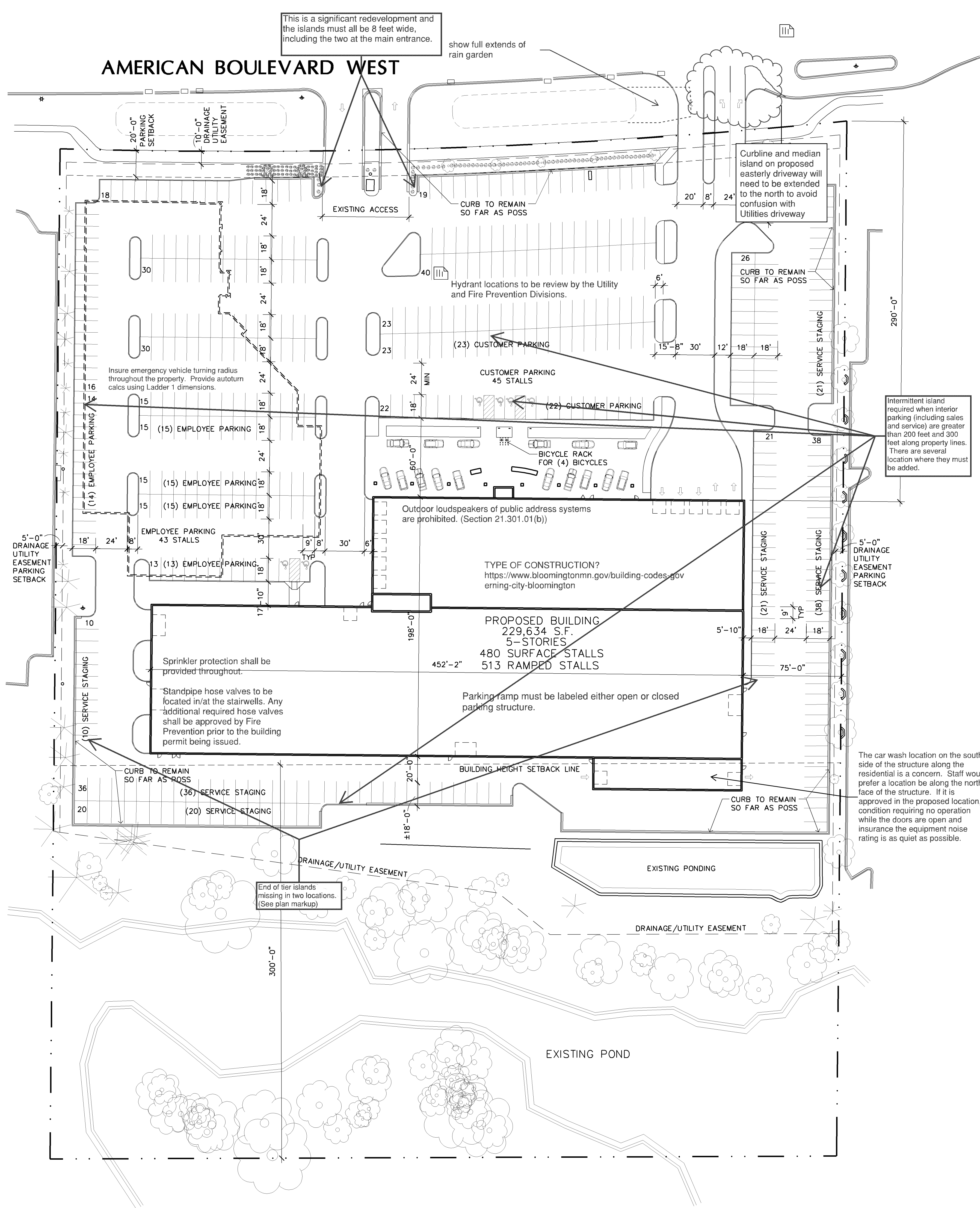
PARKING DATA
 RETAIL - 8,459 S.F. AT 5.5/1000 = 47 STALLS
 WAREHOUSE - 8,933 S.F. AT 1/1000 = 9 STALLS
 OFFICE - 4,677 S.F. AT 1/285 = 16 STALLS
 SERVICE - 3,004 S.F. (EXCL BAYS) AT 1/300 S.F. = 10 STALLS
 49 SERVICE BAYS AT 3/BAY = 147 STALLS
 TOTAL PARKING REQUIRED = 229 STALLS

TOTAL PARKING PROVIDED

SURFACE PARKING	
CUSTOMER	45 STALLS
EMPLOYEE	72 STALLS
SERVICE	146 STALLS
INVENTORY	217 STALLS
SURFACE PARKING = 480 STALLS	
RAMPED PARKING	
INVENTORY	513 STALLS
993 STALLS	

1 SITE PLAN
A1 SCALE: 1" = 40'-0"

Identify locations where vehicle delivery will occur. This is to ensure the fire lane remains clear.



This is a significant redevelopment and the islands must all be 8 feet wide, including the two at the main entrance.

show full extends of rain garden

Curbline and median island on proposed easterly driveway will need to be extended to the north to avoid confusion with Utilities driveway

CURB TO REMAIN SO FAR AS POSS

Hydrant locations to be review by the Utility and Fire Prevention Divisions.

CUSTOMER PARKING 45 STALLS

(23) CUSTOMER PARKING

(22) CUSTOMER PARKING

BICYCLE RACK FOR (4) BICYCLES

Outdoor loudspeakers of public address systems are prohibited. (Section 21.301.01(b))

TYPE OF CONSTRUCTION?
<https://www.bloomingtonmn.gov/building-codes-governing-city-bloomington>

PROPOSED BUILDING
 229,634 S.F.
 5-STORIES
 480 SURFACE STALLS
 513 RAMPED STALLS

Sprinkler protection shall be provided throughout.
 Standpipe hose valves to be located in/at the stairwells. Any additional required hose valves shall be approved by Fire Prevention prior to the building permit being issued.

Parking ramp must be labeled either open or closed parking structure.

Intermittent island required when interior parking (including sales and service) are greater than 200 feet and 300 feet along property lines. There are several location where they must be added.

The car wash location on the south side of the structure along the residential is a concern. Staff would prefer a location be along the north face of the structure. If it is approved in the proposed location, condition requiring no operation while the doors are open and insurance the equipment noise rating is as quiet as possible.

End of tier islands missing in two locations. (See plan markup)

LAMPERT ARCHITECTS
 420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

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RJRyan
 Construction, Inc.
 Commercial Design and Construction
 1100 Mendota Heights Road
 Mendota Heights, MN 55120
 PR: 651-681-0200
 Fax: 651-681-0235

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 4401 American Blvd, Bloomington, Minnesota

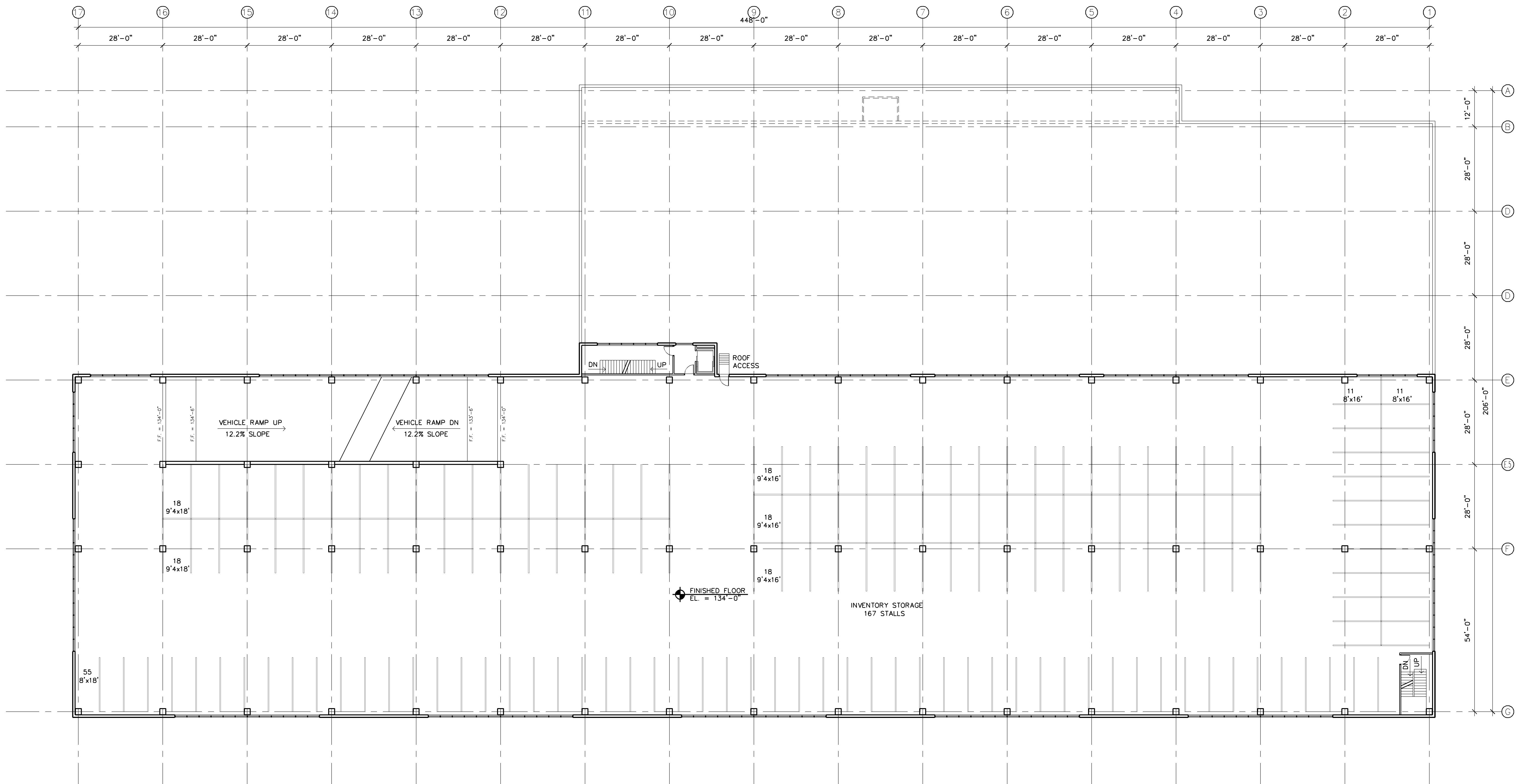
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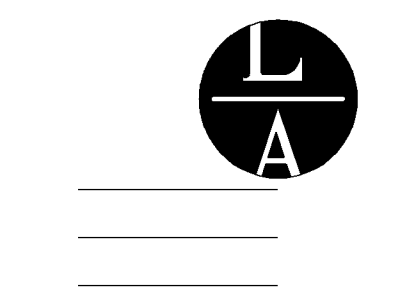
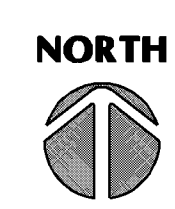
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4/20/16	CITY SUBMITTAL

SITE PLAN
 Sheet Number

A1
 Project No. 160122-1



1 FOURTH FLOOR PLAN
 A5 SCALE: 1/16" = 1'-0" 48,001 S.F.



LAMPERT ARCHITECTS
 420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

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RJR Ryan
 Construction, Inc.
 Commercial Design and Construction
 1100 Mendota Heights Road
 Mendota Heights, MN 55120 Ph: 651-681-0200 Fax: 651-681-0235

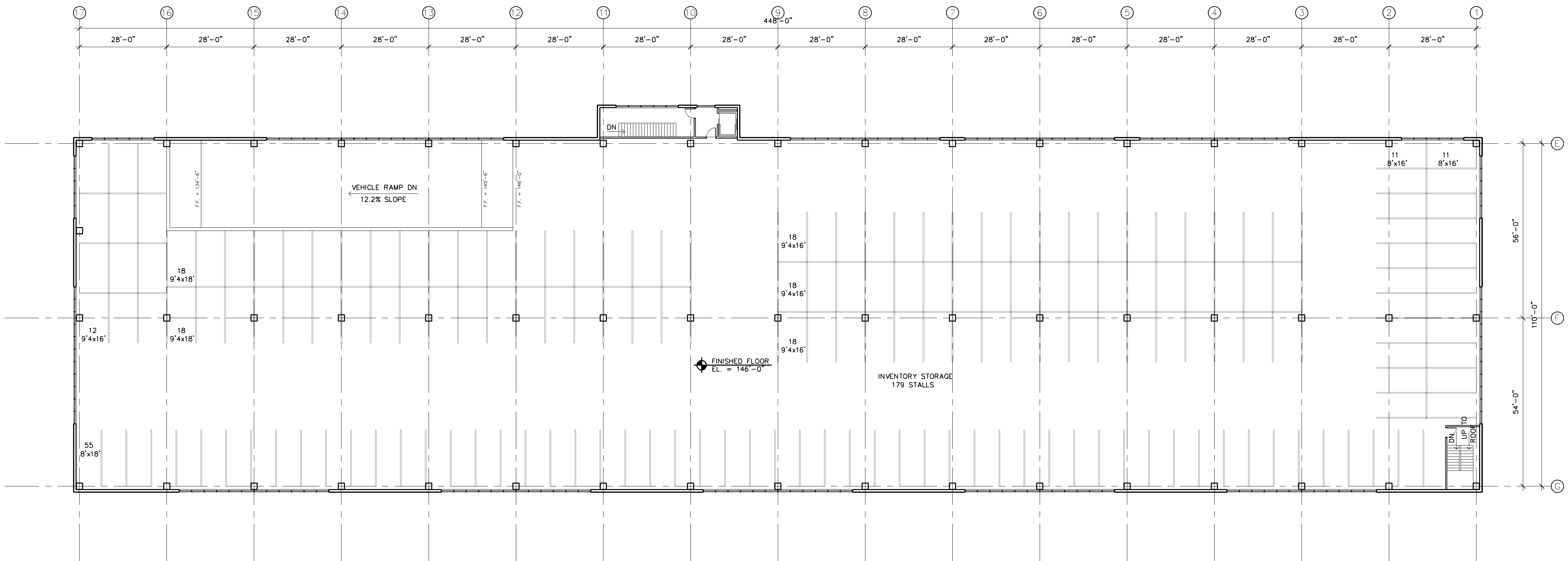
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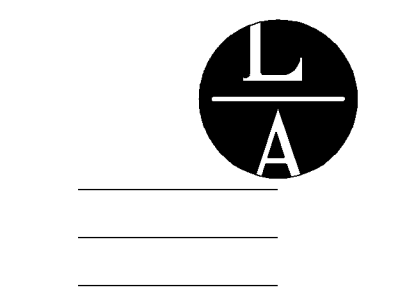
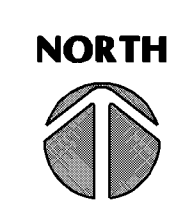
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FOURTH FLOOR PLAN
 Sheet Number

A5



1 FIFTH FLOOR PLAN
 A6 SCALE: 1/16" = 1'-0" 48,001 S.F.



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 St. Paul, MN 55102
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Commercial Design and Construction
 1100 Mandata Heights Road
 Mendota Heights, MN 55120 Ph: 651-681-0200 Fax: 651-681-0235

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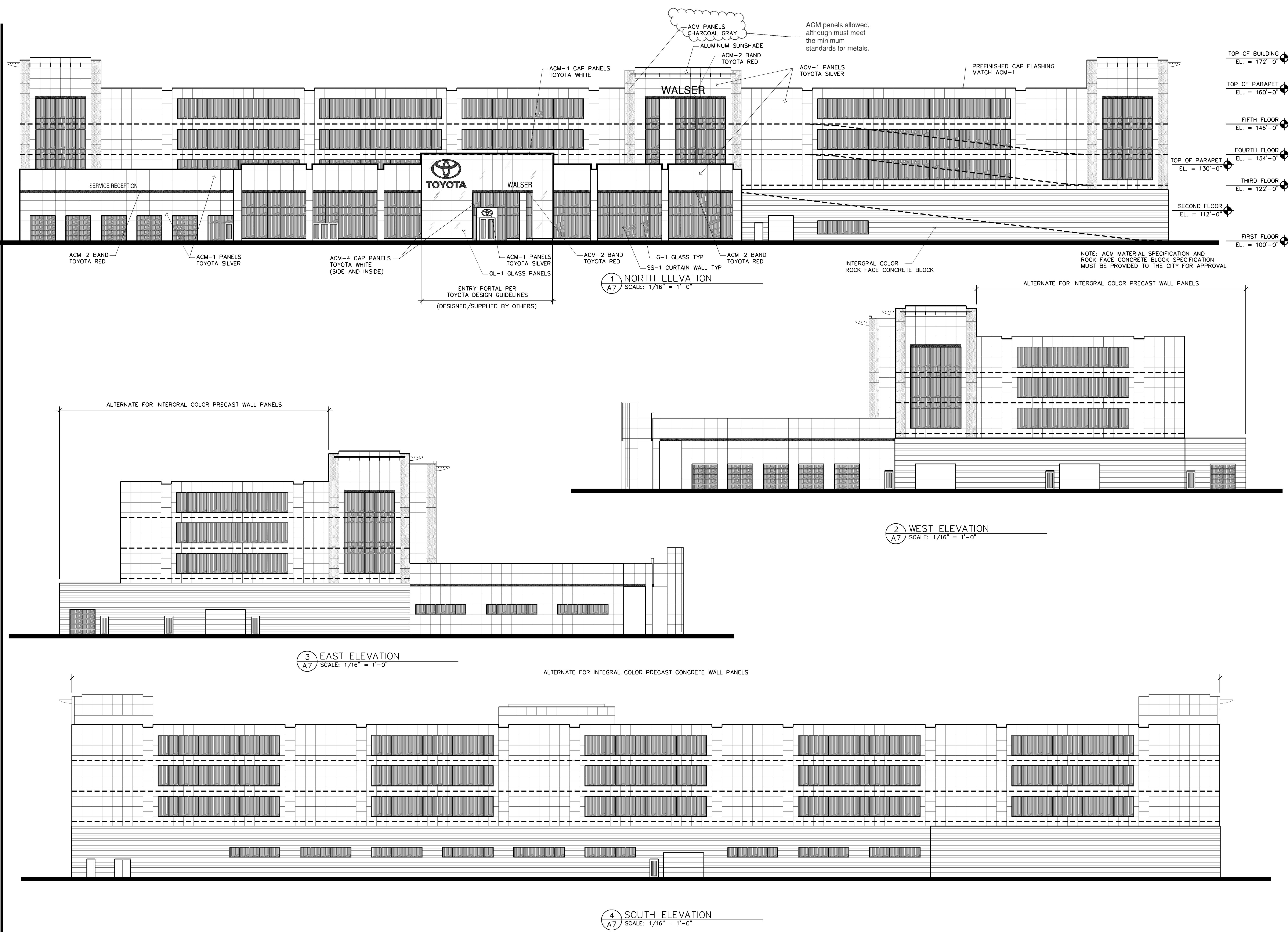
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FIFTH FLOOR PLAN
 Sheet Number

A6

Filename: BLOOMINGTON TOYOTA BLOOMINGTON TOYOTA-A7



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420 Summit Avenue
St. Paul, MN 55102
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lampoer@lampoer-arch.com

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R RJRyan

Construction, Inc.
Commercial Design and Construction

1100 Mendota Heights Road Ph: 651-681-0200
Mendota Heights, MN 55120 Fax: 651-681-0235

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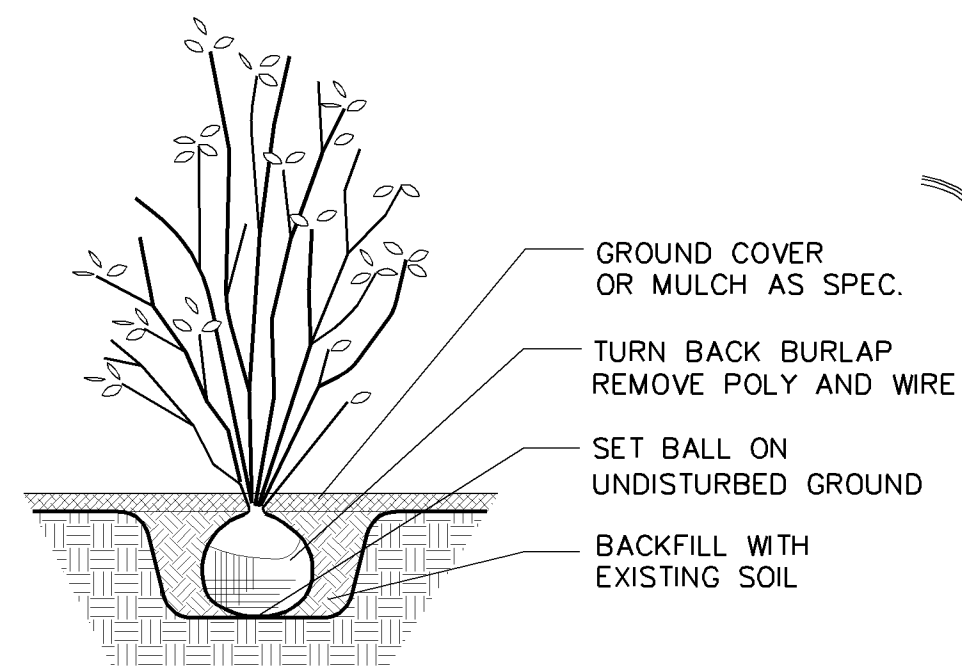
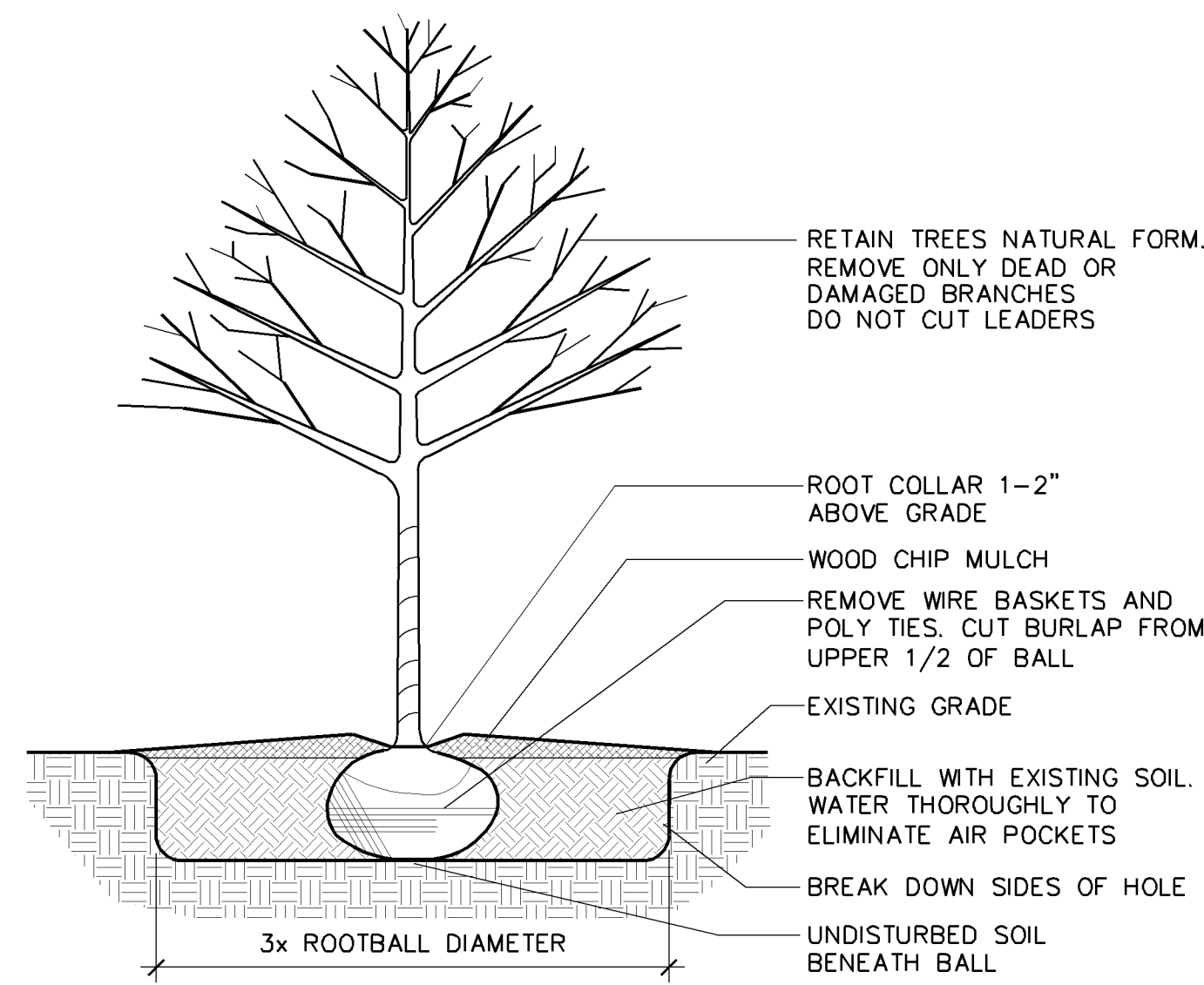
BUILDING ELEVATIONS

Sheet Number

A7

Project No. 160122-1

AMERICAN BOULEVARD WEST



2 TREE PLANTING DETAIL
L1 SCALE: NOT TO SCALE

3 SHRUB PLANTING DETAIL
L1 SCALE: NOT TO SCALE

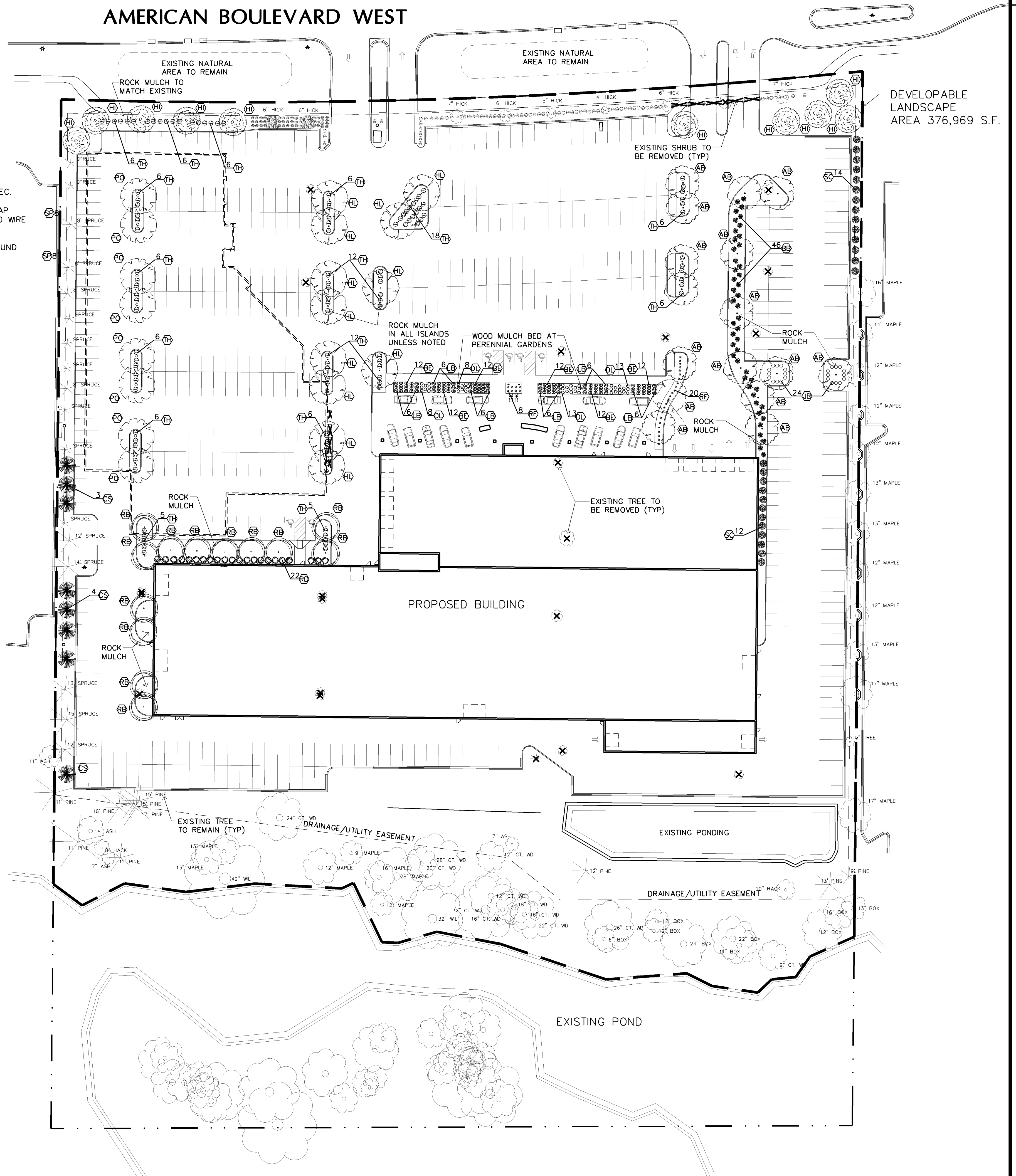
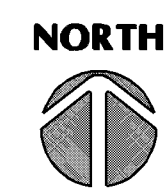
Some of the trees are placed adjacent to proposed lighting. The growth will engulf the lights, long term. Be sure the lighting designer reviews the landscape plan and vice versa.

PLANTING SCHEDULE						
QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	MTHD	REMARKS
10	HI	BUTTERNUT HICKORY	CARYA CORDIFORMIS	2.5"	BB	TO MATCH EXISTING TREES
8	PO	PIN OAK	QUERCUS PALUSTRIS	2.5"	BB	-
2	HL	THORNLESS HONEYLOCUST	GELDITSIA TRICANTHOS 'INERMIS'	2.5"	BB	-
16	AB	AUTUMN BLAZE MAPLE	ACER X FREEMANII 'JEFFERSRED'	2.5"	BB	-
13	RB	RIVER BIRCH	BETULA NIGRA	2.5"	BB	3 TRUNK CLUMP
8	CS	COLORADO BLUE SPRUCE	PICEA PUNGENS GLAUCA	2.5"	BB	-
TREES						
118	TH	'TIDE HILL' BOXWOOD	BUXUS MICROPHYLLA 'TIDE HILL'	#5	CONT.	-
26	SC	PURPLE LEAF SAND CHERRY	PRUNUS X CISTENA	#5	CONT.	-
22	RD	RED TWIGGED DOGWOOD	CORNUS BAILEYI 'CARDINAL'	#5	CONT.	-
46	BB	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	#5	CONT.	-
24	JB	JAPANESE BARBERRY	BERBERIS THUNBERGII	#5	CONT.	-
SHRUBS						
42	DL	ORIENTAL RUBY DAYLILLY	HERMEROCALLIS 'ORIENTAL RUBY'	#5	CONT.	-
36	LB	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	#5	CONT.	-
28	RF	RED FLAME MISCANTHUS	MISCANTHUS 'PURPURASCENS'	#5	CONT.	-
72	BE	BLACK EYE SUSAN	RUDBECKIA HIRTA	#5	CONT.	-
PERENNIALS						

- NOTES
- PROVIDE UNDERGROUND IRRIGATION FOR ALL SODDED PLANT AREAS
 - PROVIDE BLACK VINYL EDGER AT ALL TRANSITIONS FROM ROCK MULCH TO GROUND COVER
 - SOD ALL AREAS UNLESS NOTED UP TO BACK OF CURB OR SIDEWALK
 - LANDSCAPE QUANTITIES BASED ON 376,969 S.F. DEVELOPABLE LAND AREA

1. (1) TREE PER 2,500 S.F. DEVELOPABLE LAND = <u>151 TREES</u>
EXISTING TREES TO REMAIN <u>84</u>
PROPOSED TREES <u>67</u>
TOTAL TREES PROVIDED <u>151 TREES</u>
2. (1) SHRUB PER 1,000 S.F. DEVELOPABLE LAND = <u>377 SHRUBS</u>
EXISTING SHRUBS TO REMAIN <u>142</u>
PROPOSED SHRUBS <u>236</u>
TOTAL SHRUBS PROVIDED <u>378 SHRUBS</u>

1 LANDSCAPE PLAN
L1 SCALE: 1" = 40'-0"



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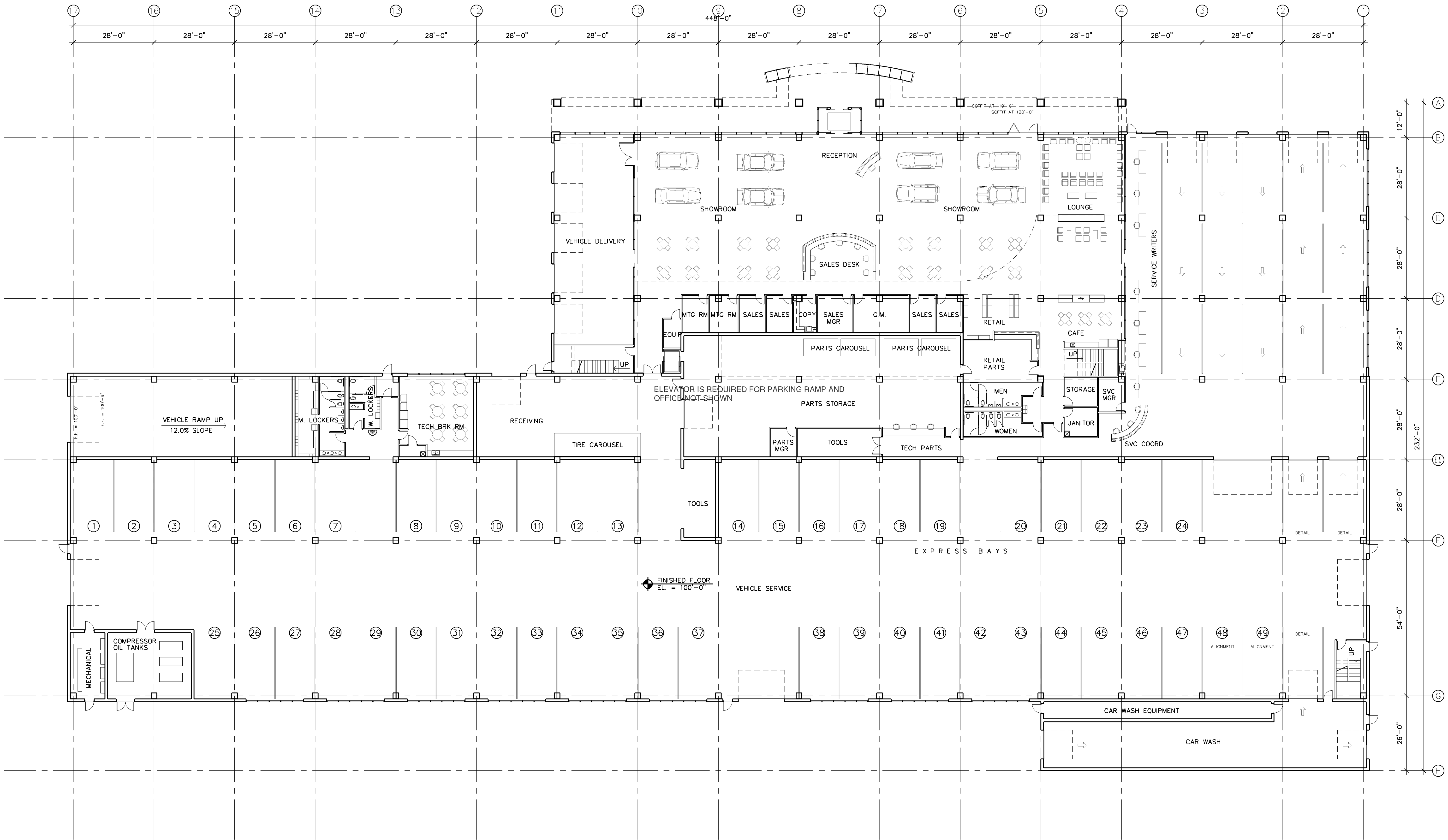
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LANDSCAPE PLAN

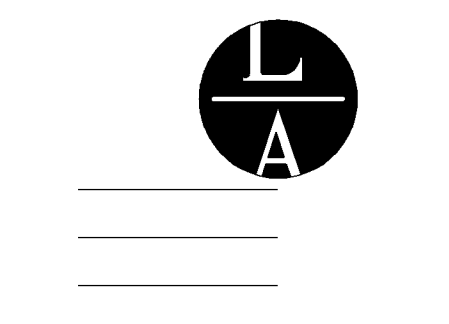
Sheet Number

L1

Project No. 160122-1



1 FIRST FLOOR PLAN
 A2 SCALE: 1/16" = 1'-0" 78,241 S.F.



LAMPERT ARCHITECTS

420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

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 1100 Mendota Heights Road
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 Ph: 651-681-0200 Fax: 651-681-0235

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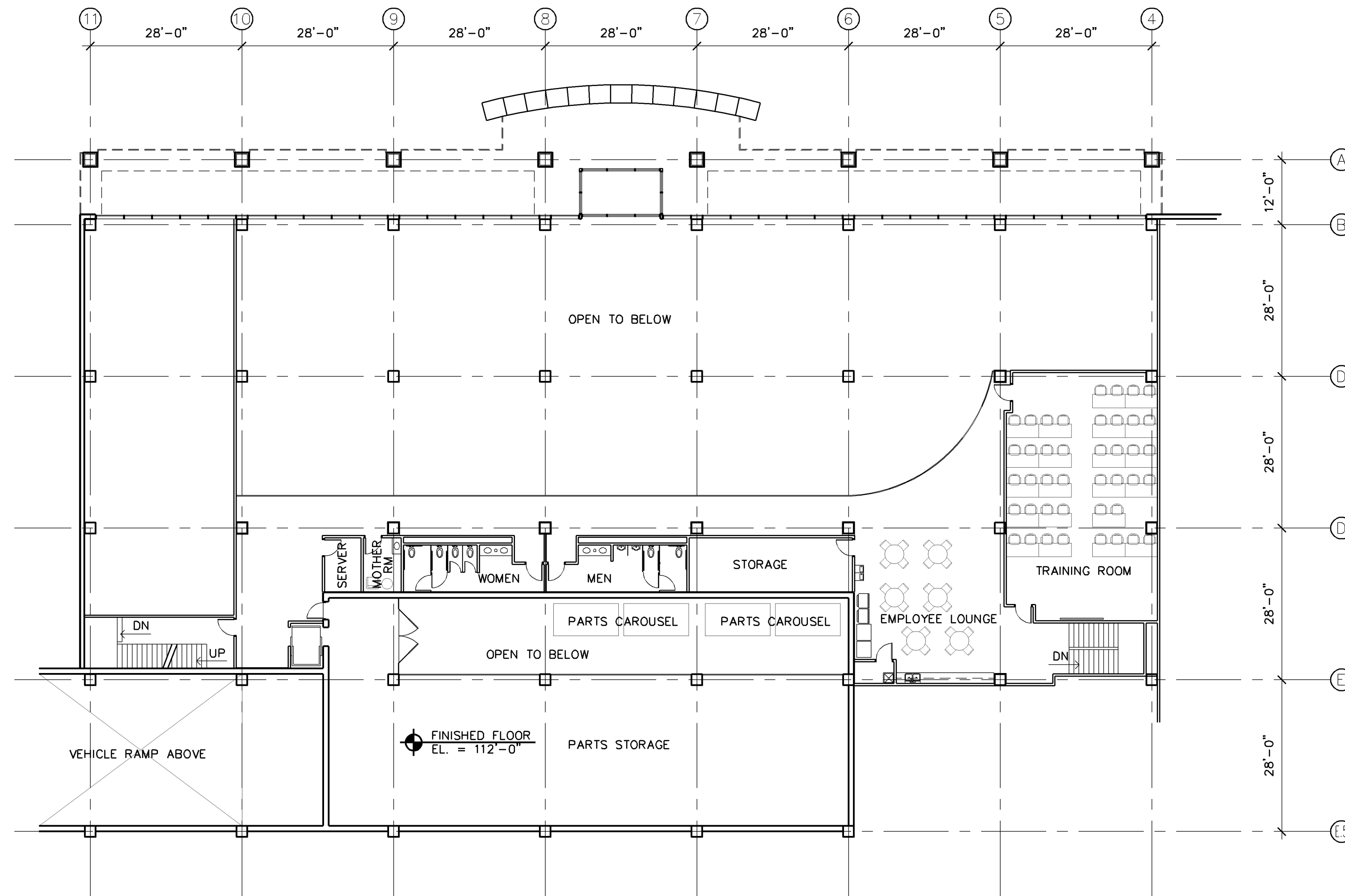
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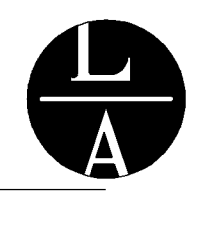
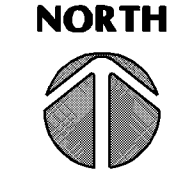
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FIRST FLOOR PLAN
 Sheet Number

A2



1 SECOND FLOOR PLAN
 A3 SCALE: 1/16" = 1'-0" 9,175 S.F.



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420 Summit Avenue
 St. Paul, MN 55102
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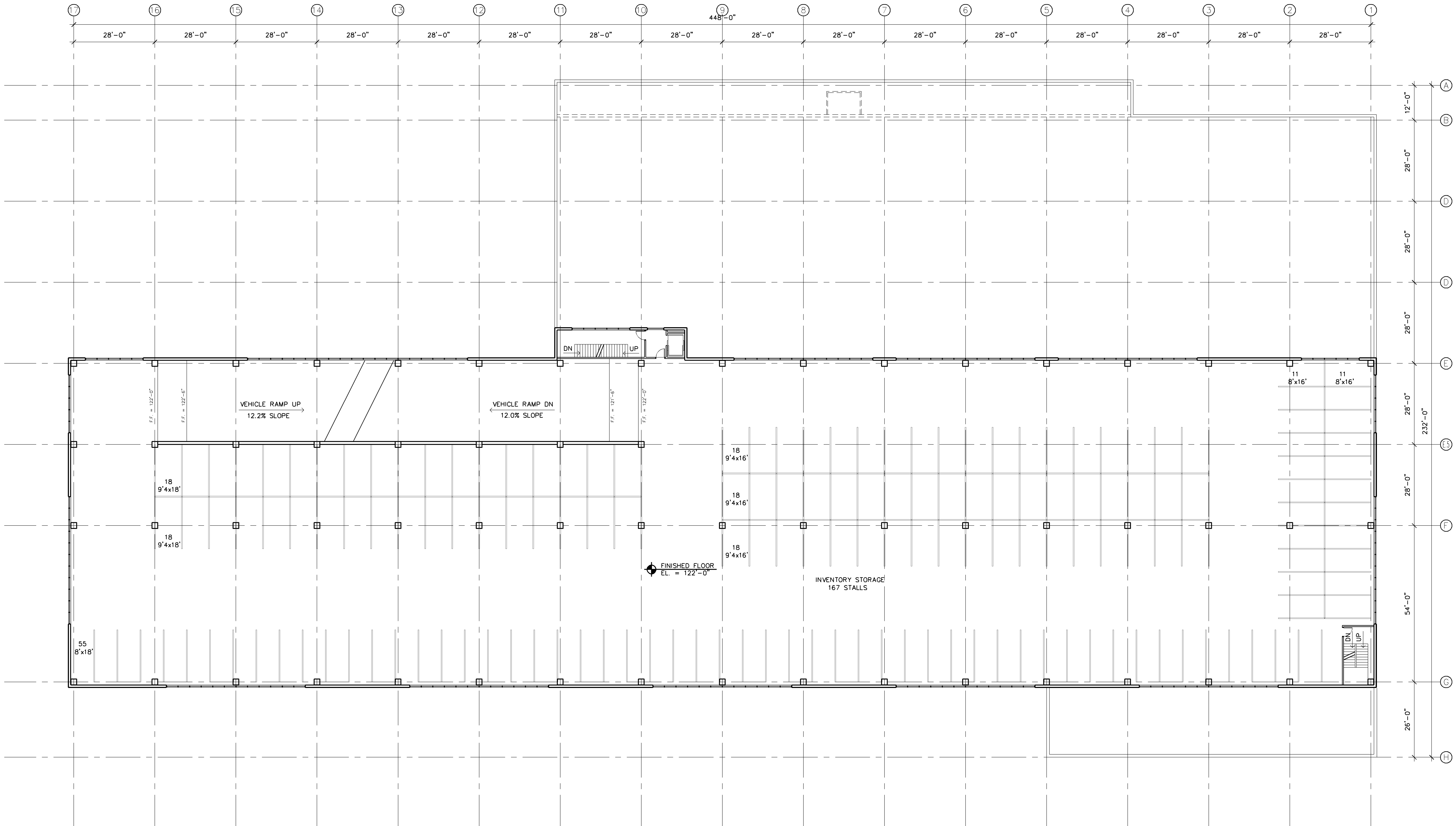
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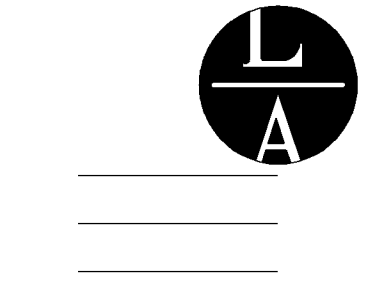
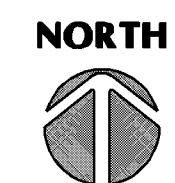
SECOND FLOOR PLAN

Sheet Number

A3



1 THIRD FLOOR PLAN
A4 SCALE: 1/16" = 1'-0" 46,216 S.F.



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lampoer@lampert-arch.com

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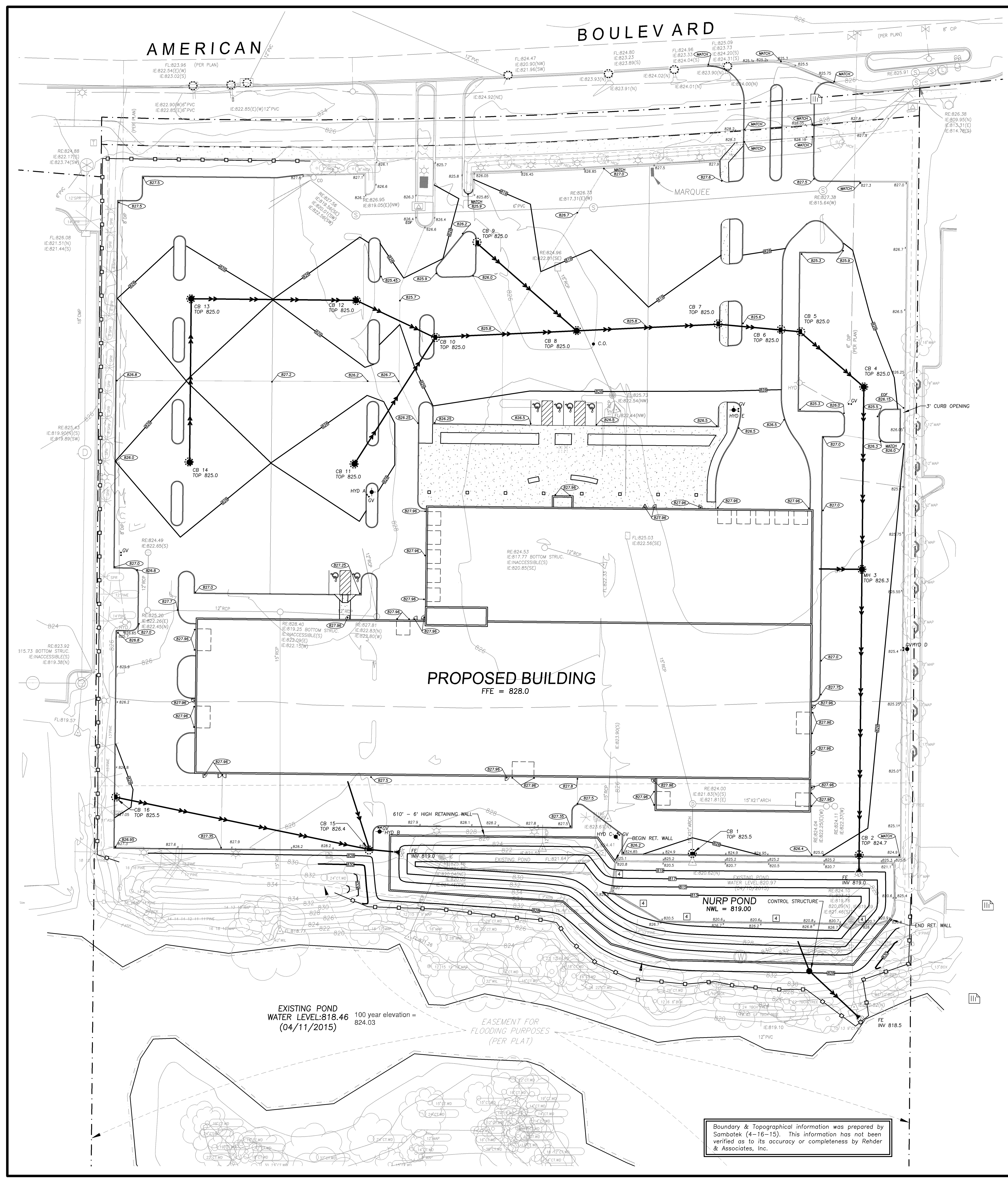
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THIRD FLOOR PLAN
Sheet Number

A4



CITY OF BLOOMINGTON STANDARD NOTES

1. NO PARKING ON PUBLIC STREETS AND RIGHT-OF-WAY, CIRCULATION DRIVES, OR FIRE LANES. PREPARE ON-SITE CONSTRUCTION MANAGEMENT SPACE FOR EMPLOYEE PARKING, MATERIALS, EQUIPMENT, FIELD SHACK, AND OTHER CONSTRUCTION RELATED ITEMS. ALL CONSTRUCTION RELATED LOADING, UNLOADING, AND STOCKPILING TO OCCUR ON-SITE AND OFF OF PUBLIC STREETS AND RIGHT-OF-WAY. Temporary street signs, lighting, and addresses shall be provided during construction.
2. Contractor shall obtain a Public Works Permit Application for obstructions and concrete work within the Right-of-Way. Permit is required prior to removals or installation. Contact Brian Hansen at 952-563-4543 or bhansen@ci.bloomington.mn.us for permit application and fee information.
3. Public Works permit application for underground work within the right-of-way is required prior to removal or installation of sanitary sewer, water or storm work within the public right-of-way. Contact Utilities at 952-563-4568 for permit application and for fee information.
4. Use approved inlet protection at all active storm sewer inlets; no bores allowed for inlet protection and/or ditch checks.
5. Utility service additions/removals to be at the Developer's expense.
6. Designate all approved parking stalls with white 4" wide striping.
7. All public sidewalks shall not be obstructed.
8. Street lighting and interconnect conduit must be exposed for City inspection prior to pouring concrete or backfilling excavations in the City right-of-way.
9. Storage of materials or equipment shall not be allowed on public streets or within public right-of-way.
10. Restore City street by complying with the City Street Improvement Policy; contact Utilities (952-563-4568) for the requirements.
11. Temporary street signs, lighting, and addresses shall be provided during construction.

GRADING NOTES

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.
- 3 - See landscape plan for tree removals.
- 4 - Remove existing retaining wall.

EROSION CONTROL NOTES

- 1 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- 2 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- 3 - Sweep paved public streets as necessary where construction sediment has been deposited.
- 4 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- 5 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- 6 - All pipe outlets must be provided with temporary or permanent energy dissipation within 24 hours of connection to a surface water.
- 7 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.

INSPECTION AND MAINTENANCE

- The site must be inspected once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours.
- All inspections and maintenance conducted must be recorded in writing and records retained with the SWPPP.
- Areas of the site that have undergone final stabilization, may have the inspection of these areas reduced to once per month.
- All silt fence must be repaired, replaced, or supplemented within 24 hours when they become nonfunctional or the sediment reaches 1/3 of the height of the fence.
- Surface waters and conveyance systems must be inspected for evidence of sediment being deposited. Removal and stabilization must take place within seven (7) days of discovery unless precluded by legal, regulatory, or physical access constraints.
- Construction site vehicle exit locations must have sediment removed from off-site paved surfaces within 24 hours of discovery.
- Infiltration areas shall be graded to finished grade when all contributing drainage areas have been stabilized. Protect infiltration area from sediment and heavy equipment compaction during/after construction with silt fence.

POLLUTION PREVENTION MANAGEMENT

- All solid waste must be disposed of off-site per the MPCA disposal requirements.
- All hazardous waste must be properly stored with restricted access to storage areas to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA Regulations.

LEGEND

- PROPOSED MANHOLE/CATCH BASIN
- PROPOSED CATCH BASIN
- ◆ PROPOSED HYDRANT
- ▲ PROPOSED GATE VALVE
- ▲ PROPOSED FLARED END
- PROPOSED STORM SEWER
- ▭ PROPOSED CONCRETE
- ▭ PROPOSED STD. DUTY BITUMINOUS
- ▭ PROPOSED HEAVY DUTY BITUMINOUS
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- INLET PROTECTION DEVICE
- BOUNDARY/ROW/BLOCK LINE
- - - EASEMENT
- - - BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- EXISTING CONTOUR
- EXISTING ELEVATION

Boundary & Topographical information was prepared by Sambatek (4-16-15). This information has not been verified as to its accuracy or completeness by Rehder & Associates, Inc.

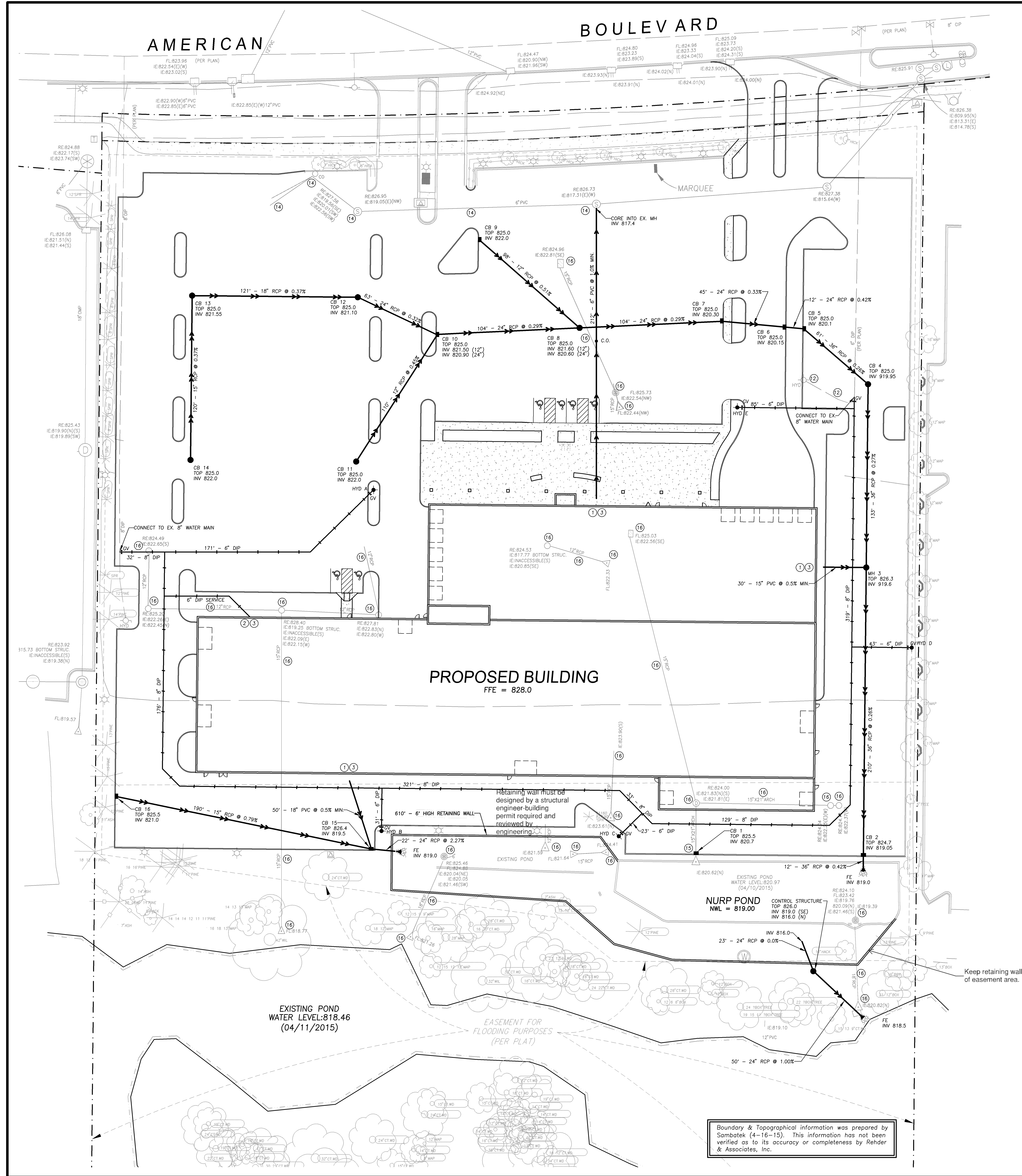
Rehder & Associates, Inc.
 Civil Engineers, Planners and Land Surveyors
 5140 Federal Drive, Suite 110 • Eden Prairie, Minnesota 55324
 612-437-5511 • Fax: 612-437-5512 • Email: info@rehder.com
 PROJECT NO.: 161-0348.070 DRAWING FILE: 0348070.DWG

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
PRELIMINARY
 Date _____ Reg. No. _____
 N.H.M.

4-20-16
 Issued
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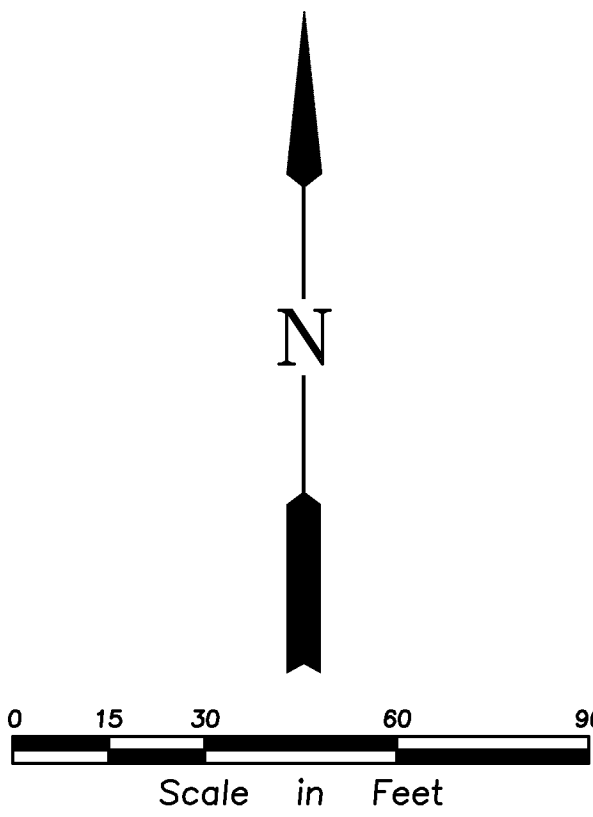
GRADING, DRAINAGE &
 EROSION CONTROL PLAN
 WALSER TOYOTA
 CITY OF BLOOMINGTON

SHEET NUMBER
C1



- UTILITY NOTES**
- Bring sewer services all the way into the proposed building to accommodate City inspection and testing.
 - Bring water main all the way into the proposed building (i.e. up to meters and/or fire service equipment) to accommodate City inspection and testing.
 - Verify all service locations and inverts with mechanical engineer before construction.
 - All watermain to have a minimum of 8' and maximum of 10' of cover.
 - Taps of live water mains to be done by City forces; however, they shall be paid for and coordinated by the Contractor.
 - Combination Fire and Domestic services must terminate with a thread on flange or an MJ to flange adapter.
 - There shall be at least a 10-foot horizontal separation between water and sewer lines.
 - Water mains crossing storm or sanitary sewers shall have a minimum of 18-inch vertical separation.
 - Wrap DIP water main with 8 mil minimum poly.
 - All water main pipe 12" in diameter and smaller shall be Class 52 DIP.
 - Coordinate top and water valve cut in with City of Bloomington Utilities.
 - Remove existing water main and hydrant.
 - PVC Pipe connections into all concrete structures shall be made with water tight materials, utilizing an A-Lok or WaterStop gasket or boot, cast-in-place rubber boot, or approved equal. Where the alignment precludes the use of the above approved watertight methods, Conseal 231 waterstop sealant, or approved equal will only be allowed as approved by the Engineer.
 - Remove existing manhole, cleanouts, sanitary sewer pipe to the west and bulkhead ex. manhole.
 - Construct CB over existing storm sewer pipe and remove remaining pipe to north.
 - Remove existing storm sewer manholes, catch basin, flared end sections & pipe.
 - Prior to issuance of the Certificate of Occupancy, the developer/contractor must submit electronic utility as-builts to the Public Works Department. Contact Jen Desrupe (952-563-4862) for requirements.

- LEGEND**
- PROPOSED MANHOLE/CATCH BASIN
 - PROPOSED CATCH BASIN
 - ◆ PROPOSED HYDRANT
 - ◆ PROPOSED GATE VALVE
 - ▲ PROPOSED FLARED END
 - PROPOSED STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED WATERMAIN
 - ▭ PROPOSED CONCRETE
 - ▭ PROPOSED STD. DUTY BITUMINOUS
 - ▭ PROPOSED HEAVY DUTY BITUMINOUS
 - BOUNDARY/ROW/BLOCK LINE
 - - - EASEMENT
 - BUILDING/PARKING SETBACK LINE



Boundary & Topographical information was prepared by Sambatek (4-16-15). This information has not been verified as to its accuracy or completeness by Rehder & Associates, Inc.

Rehder & Associates, Inc.
 Civil Engineers, Planners and Land Surveyors
 5140 Federal Drive, Suite 110 - Eden Prairie, Minnesota 55324
 612-552-5011 Fax 612-552-5012 - email: info@rehder.com

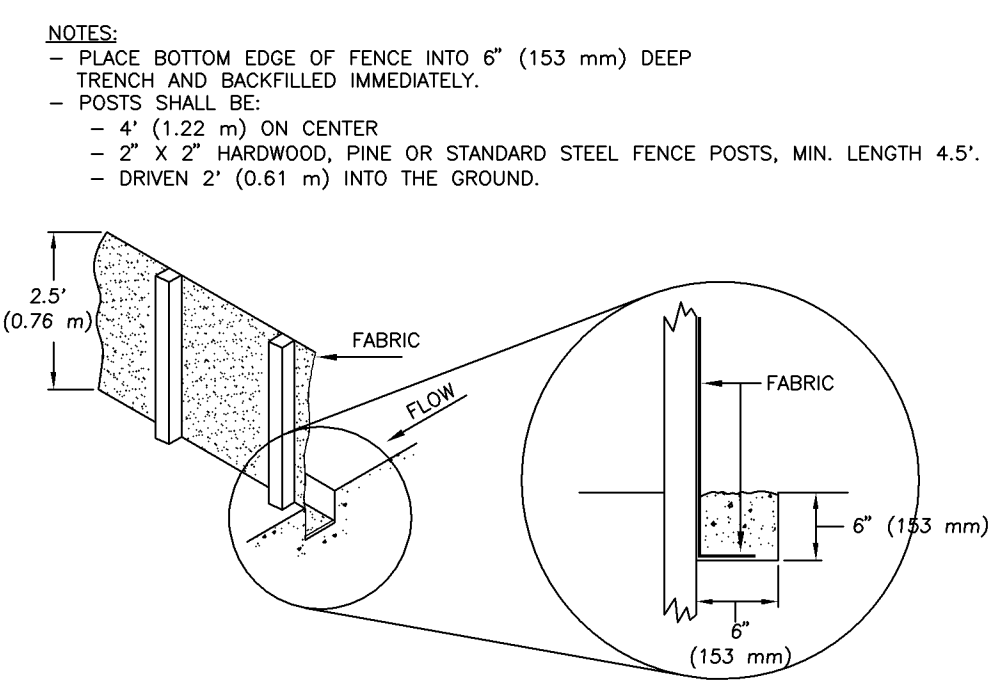
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I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
PRELIMINARY
 Date _____ Reg. No. _____

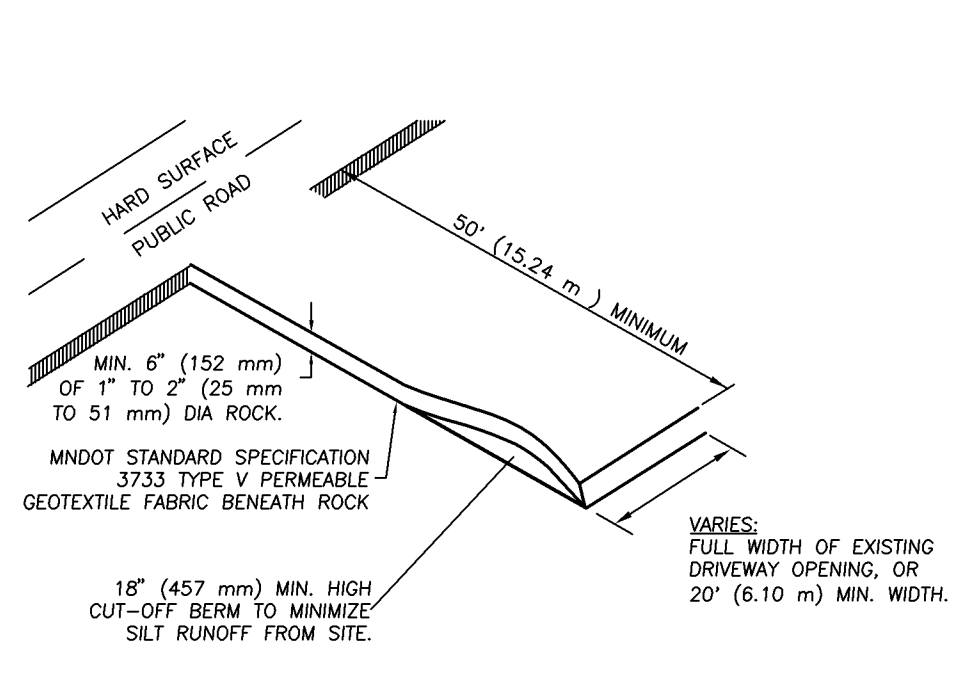
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 CITY SUBMITTAL

UTILITY PLAN
 WALSER TOYOTA
 CITY OF BLOOMINGTON

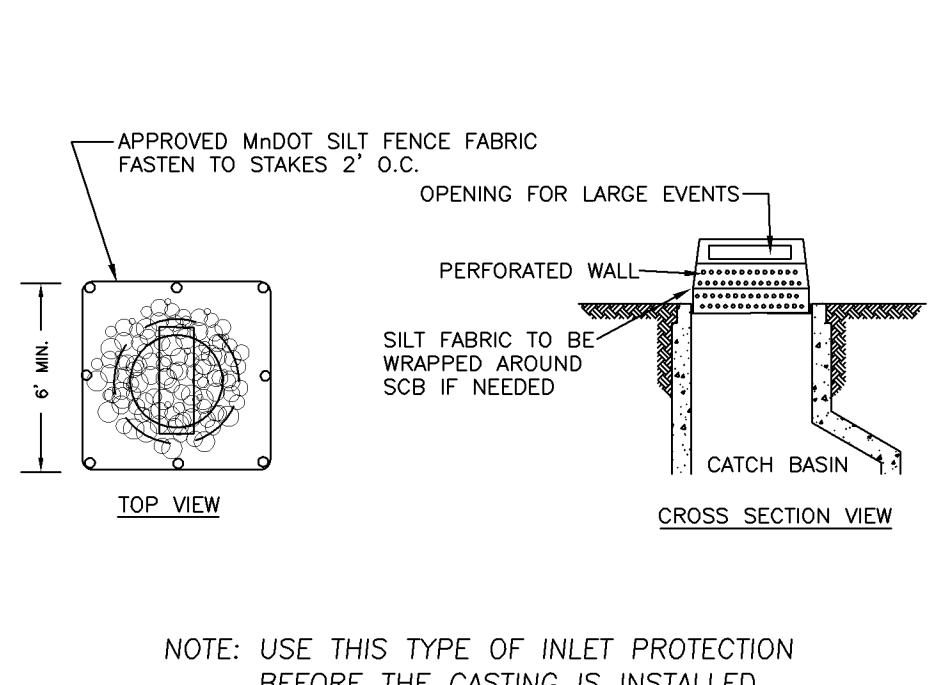
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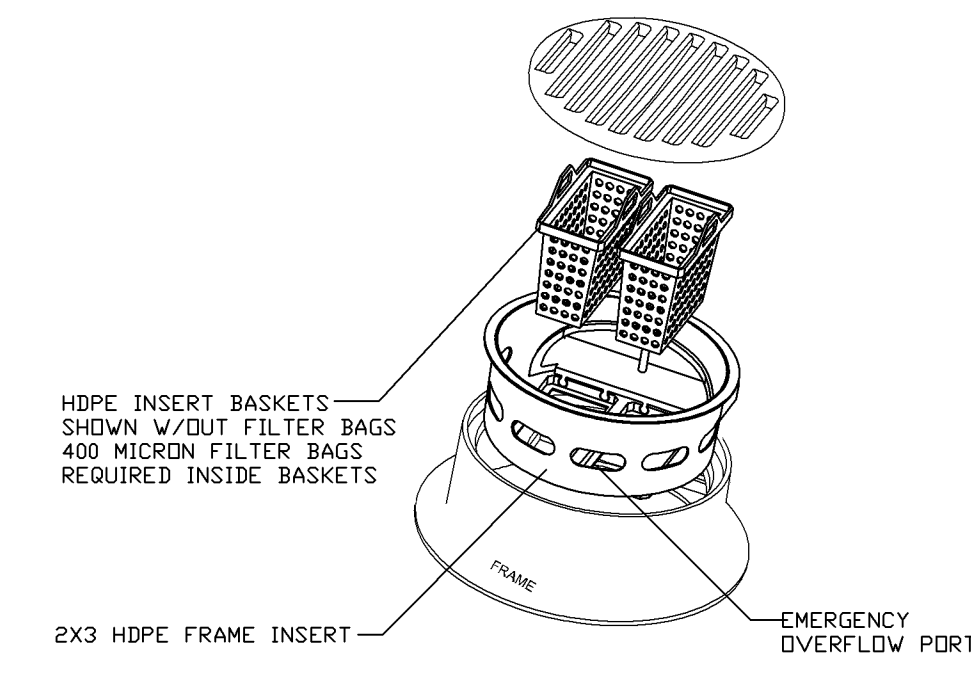
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SILT FENCE
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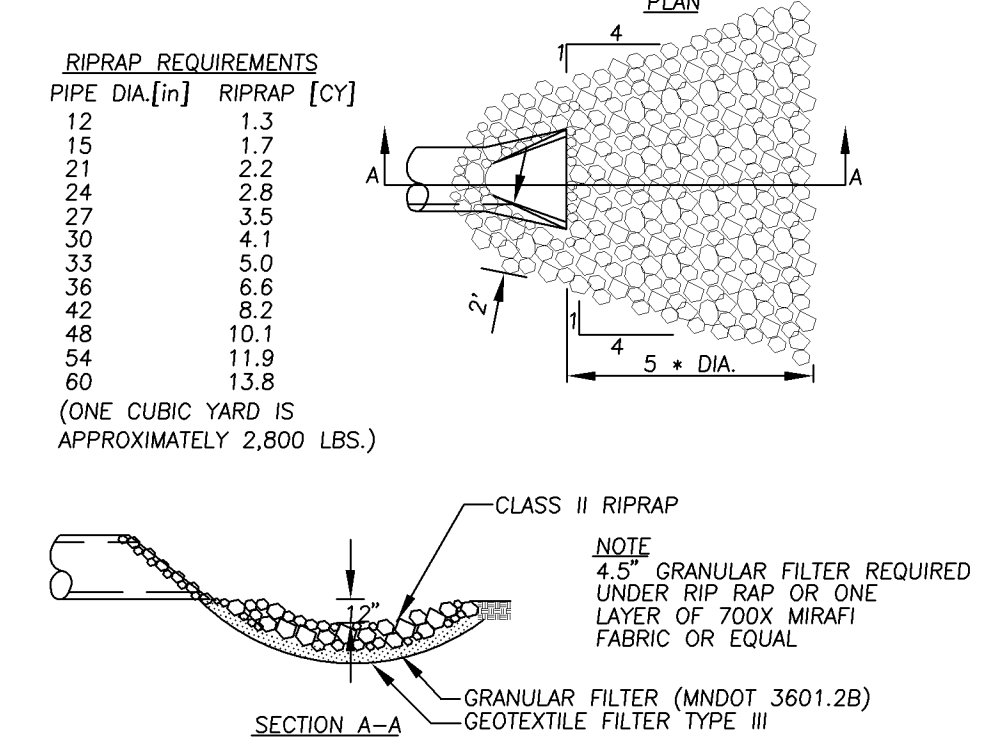
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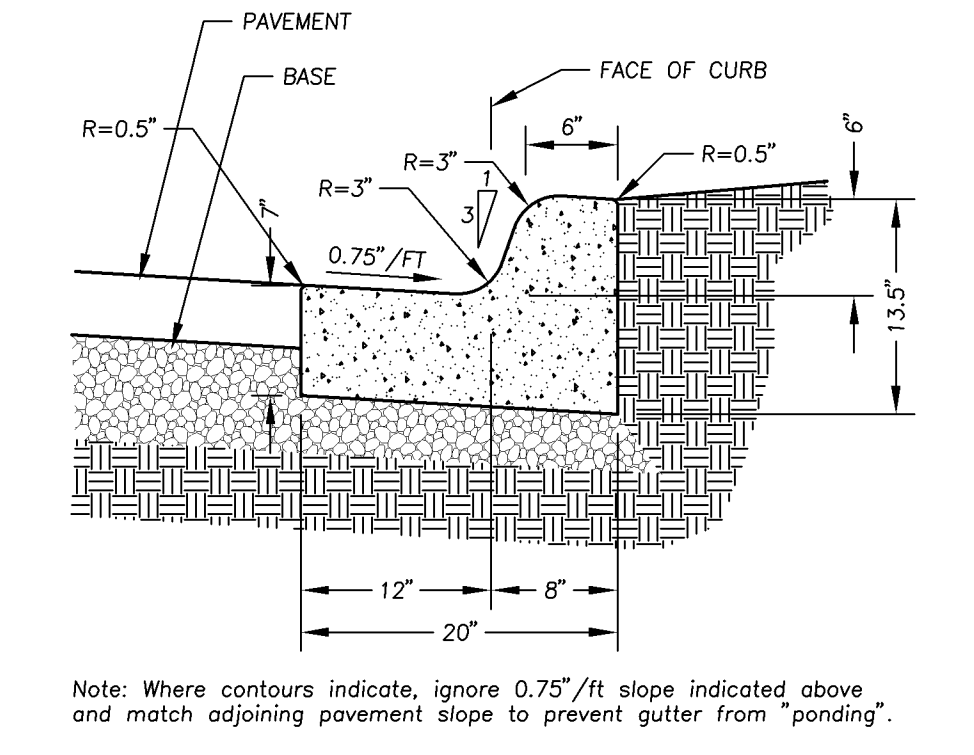
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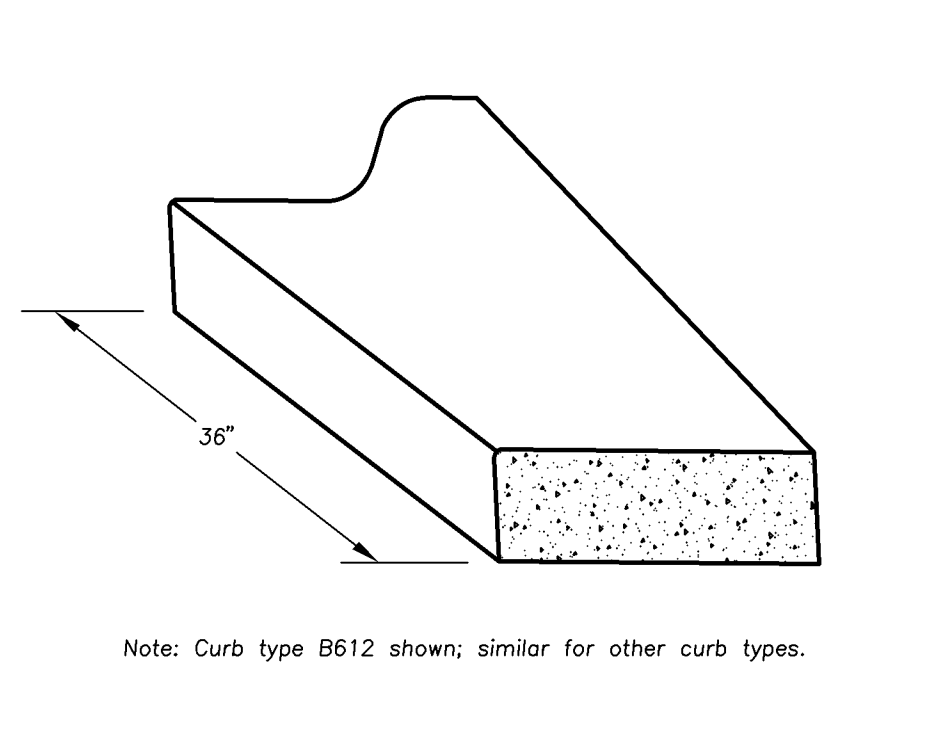
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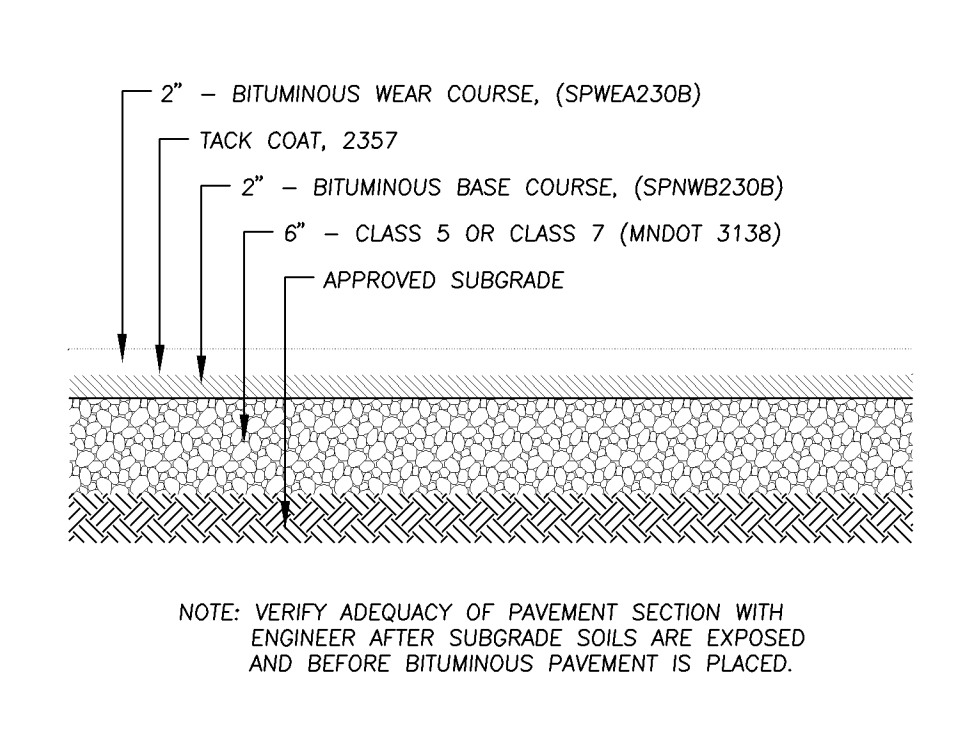
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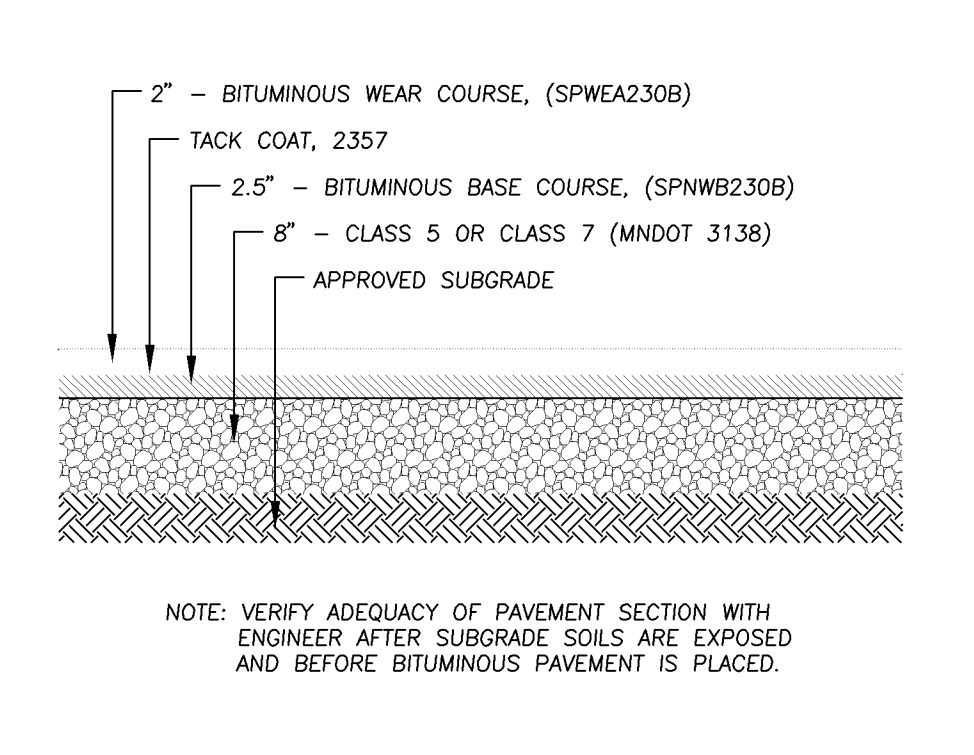
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B612 CONCRETE CURB & GUTTER
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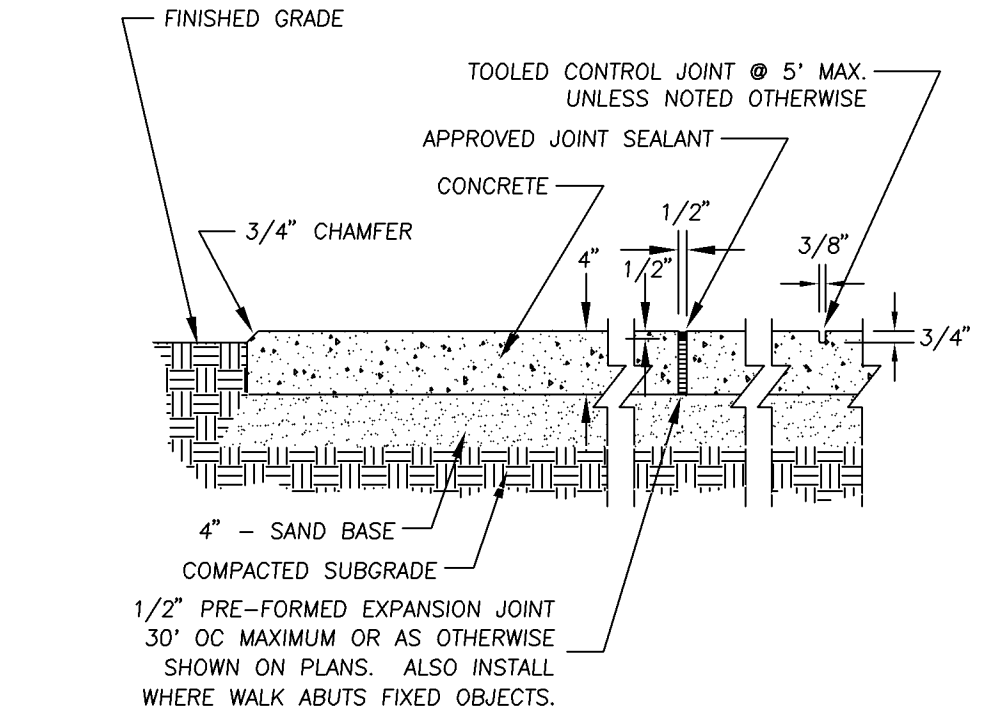
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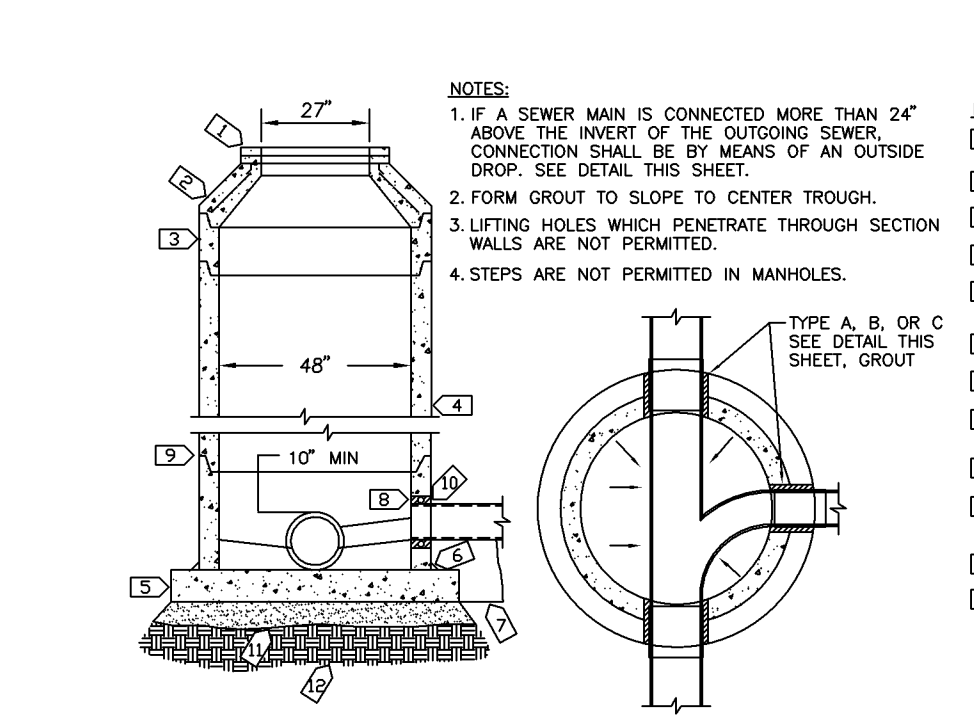
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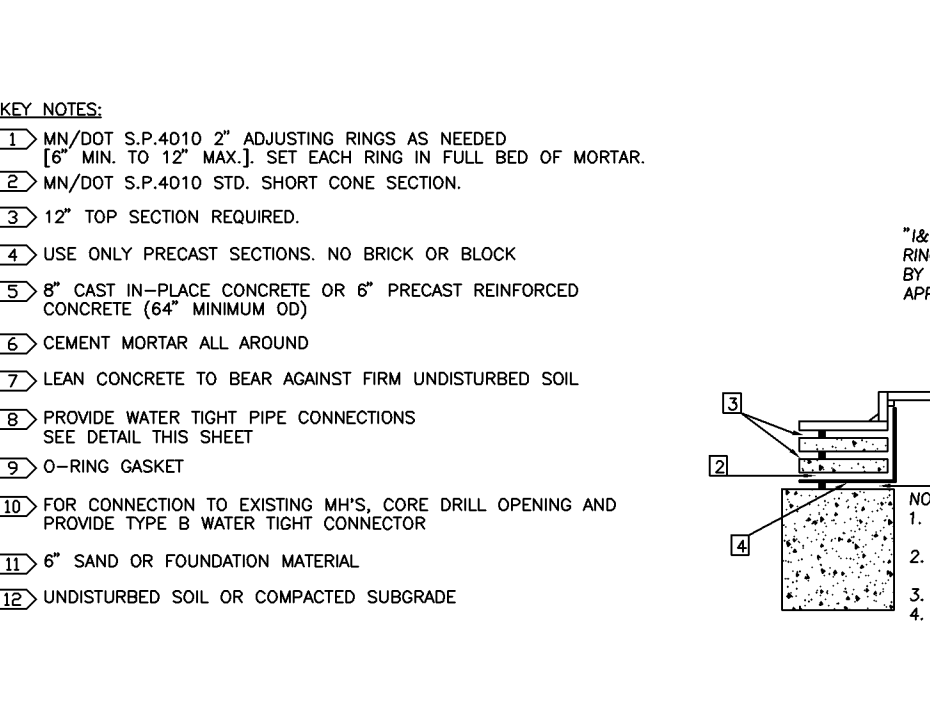
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HEAVY DUTY PAVEMENT SECTION
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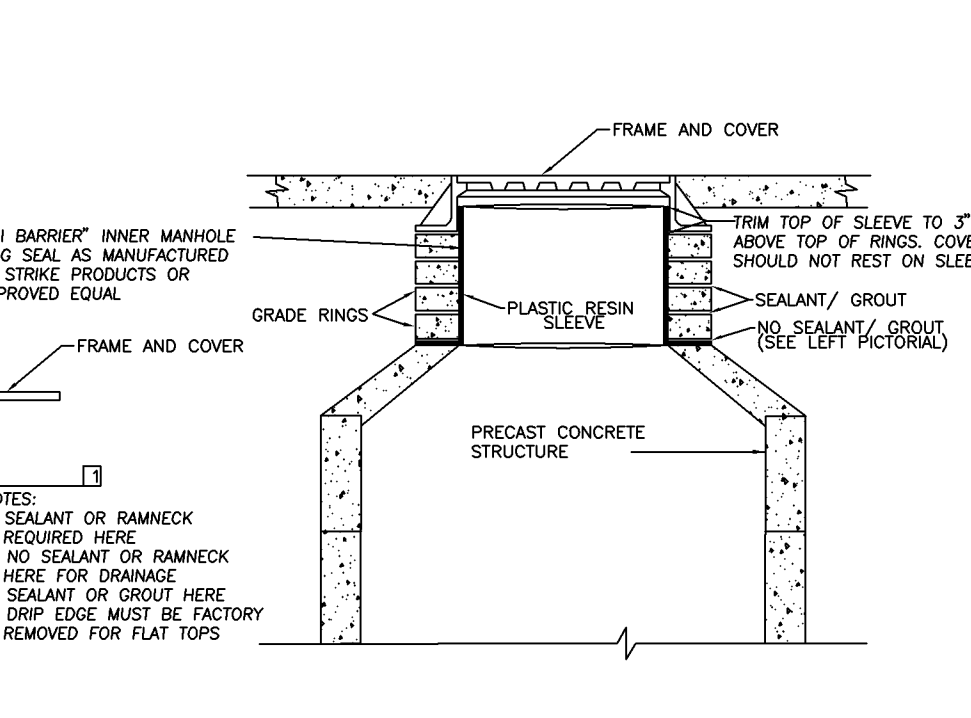
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CONCRETE SIDEWALK
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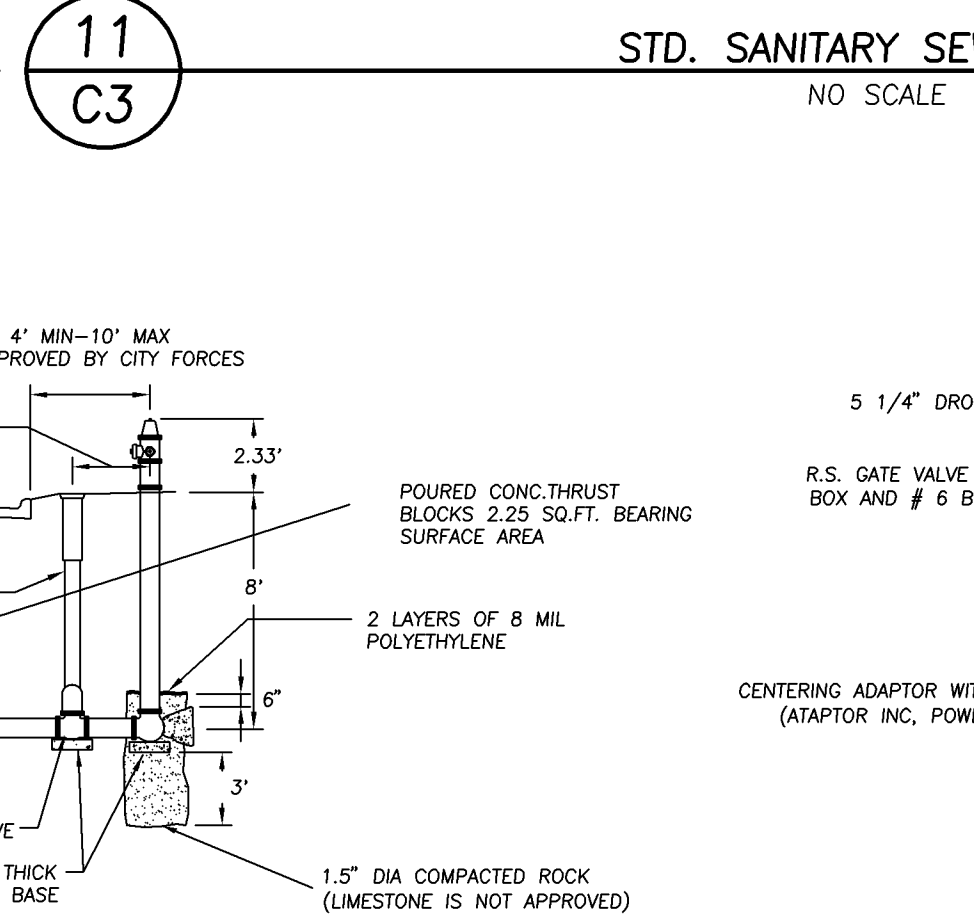
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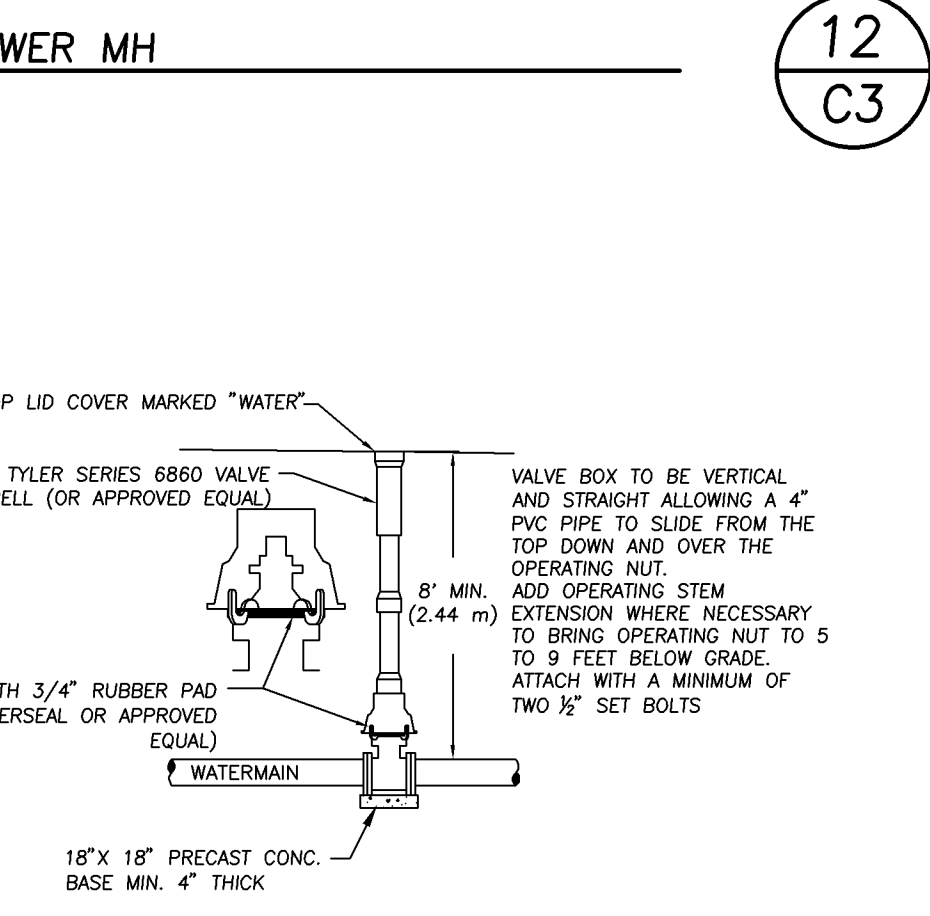
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INTERNAL CHIMNEY SEAL
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13
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TYPICAL HYDRANT INSTALLATION
NO SCALE

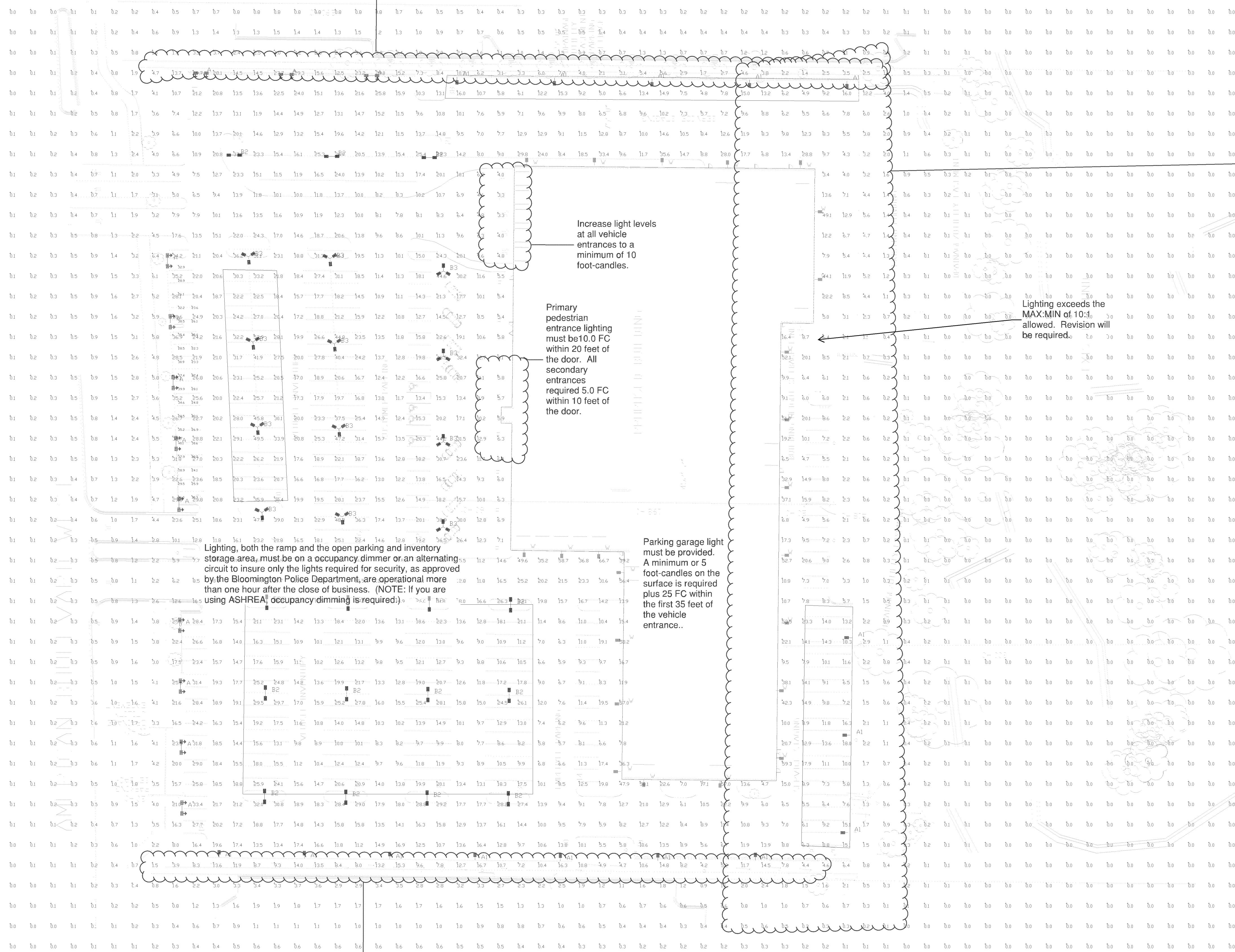


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TYPICAL VALVE INSTALLATION
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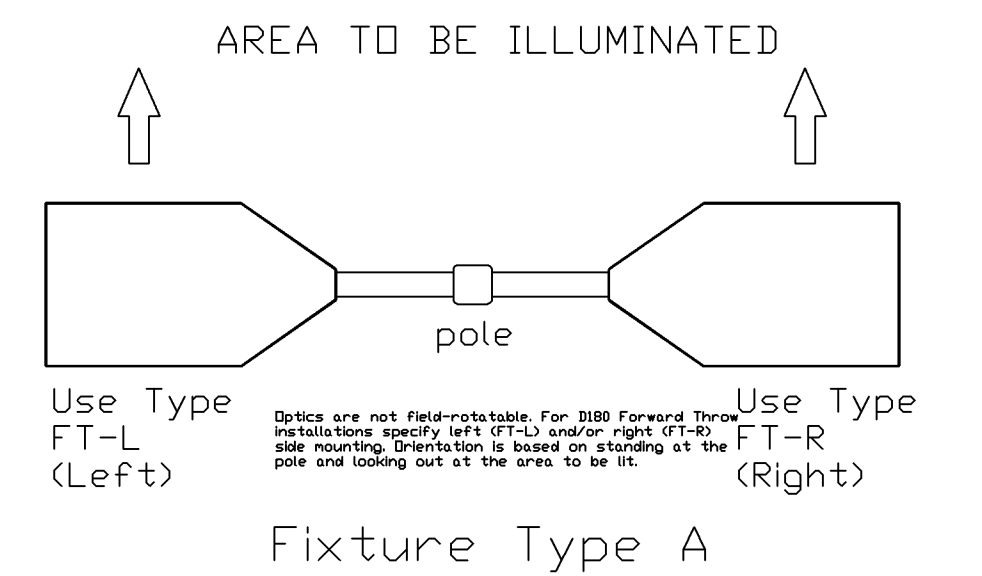


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TYPICAL THRUST BLOCK
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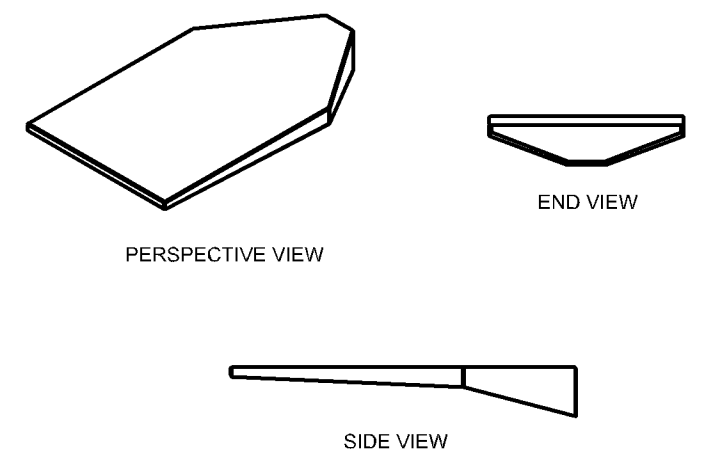
Light levels must not exceed 2.0 foot-candles along the property line. No limit along a public street.



All lighting within 300 feet of the south property line is limited to no more than 30,000 initial lumen's per light source and may not be mounted higher than 28 feet. (Currently, some poles are over 30 feet and over 30,000 lumen's.)



XLCM LED Area Light



Light levels must not exceed 2.0 foot-candles along the property line. No limit along a public street.

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALCS @ 4' ABOVE GRADE	Illuminance	Fc	6.80	66.7	0.0	NA	NA
FRONT LINE TYPICAL	Illuminance	Fc	30.04	40.1	22.3	1.35	1.80
FRONT INTERIOR ROW TYPICAL	Illuminance	Fc	28.29	52.9	18.4	1.54	2.88
FRONT SIDE INTERIOR LOT	Illuminance	Fc	14.77	29.7	7.7	1.92	3.86
REAR SERVICE STAGING	Illuminance	Fc	10.61	18.3	5.5	1.93	3.33
SERVICE AREA PERIMETER ROW	Illuminance	Fc	9.99	16.0	4.8	2.08	3.33

Testing for the LSI Slice will be required. Please provide the LM-79, LM-80 and full IN-SITU reports for review and approval or select an alternative fixture.

Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
⬤	12	A	D180° 2RTD	XLCM-D180°-LX(D)FT-R-LED-HD-CW-D180ROT-30.5' MH	1.000	N.A.	61874	551.2
—	15	A1	SINGLE	XLCM-FT-LED-HD-CW-SINGLE-30.5' MH	1.000	N.A.	30937	275.6
—	23	W	SINGLE	XLCM-FT-LED-HD-CW-WALL MOUNT @ 18' MH	1.000	N.A.	30937	275.6
⬤	15	B2	D180°	XLCM-5-LED-HD-CW-D180-30.5' MH	1.000	N.A.	62284	552.8
⬤	12	B3	3 @ 120 DEGREES	XLCM-5-LED-HD-CW-T120-30.5' MH	1.000	N.A.	93426	829.2

All exterior or parking garage lighting plans must be signed by a registered Electrical Engineer or a Lighting Certified (LC) professional certified by the National Council on Qualifications for the Lighting Professions.

Energy use calculations showing compliance with the Minnesota Energy Code, without exemptions is required. All parking lots regulated by this Section are considered public parking lots in the Minnesota State Energy Code.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 3532963



LIGHTING PROPOSAL LO-132243A

WALSER TOYOTA
AMERICAN BOULEVARD WEST

BY: SJB DATE: 4/5/2016 REV: SHEET 1 OF 1

SCALE: 1"=40'