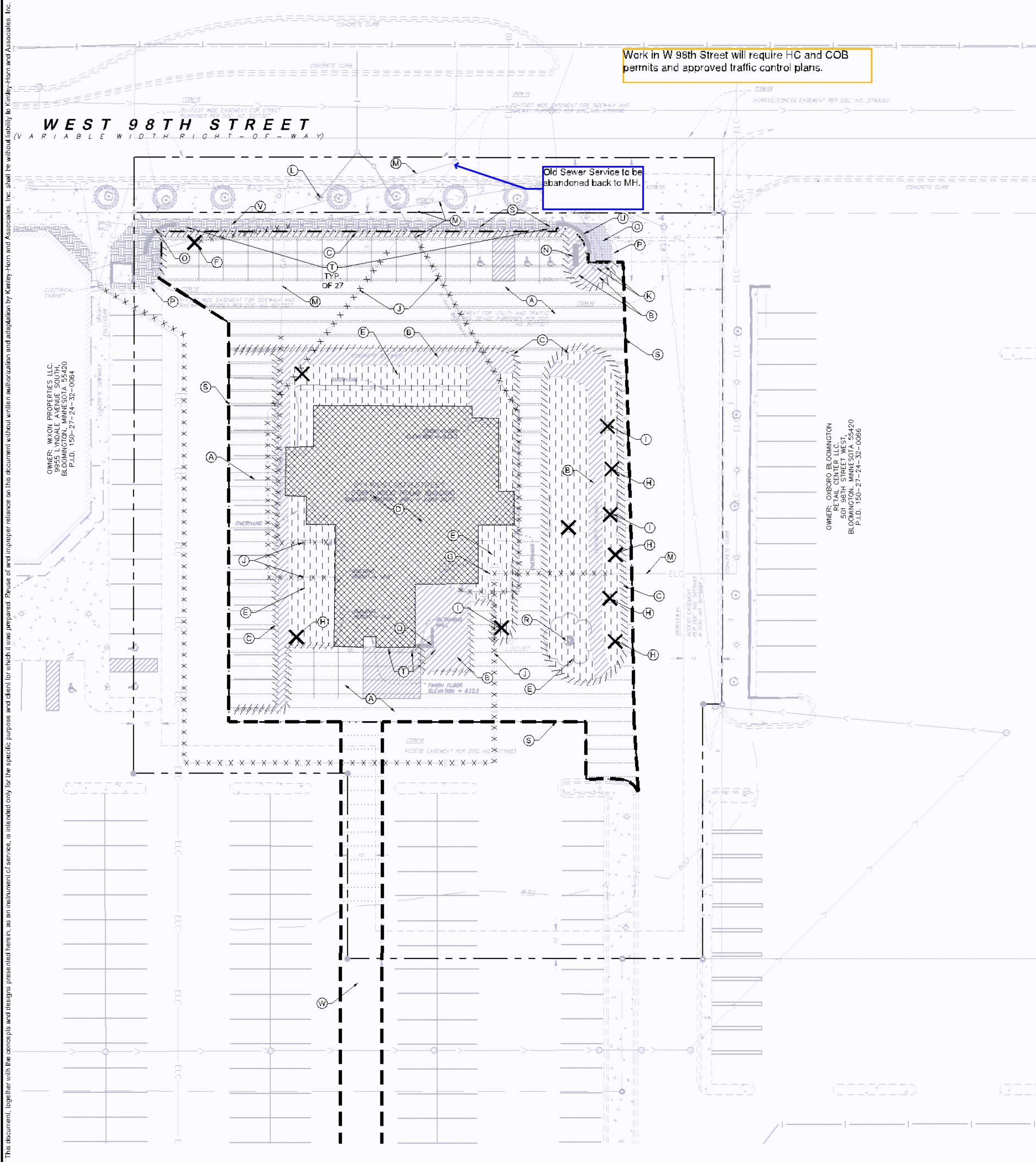


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- ### KEYNOTE LEGEND
- (A) REMOVE EXISTING BITUMINOUS PAVEMENT
 - (B) REMOVE EXISTING CONCRETE PAVEMENT SIDEWALK
 - (C) REMOVE CURB AND GUTTER
 - (D) REMOVE EXISTING BUILDING AND ASSOCIATED FOUNDATION FEATURES
 - (E) CLEARING AND GRUBBING
 - (F) REMOVE STORM STRUCTURE
 - (G) REMOVE EXISTING ELECTRICAL EQUIPMENT
 - (H) REMOVE EXISTING LIGHT POLE AND ASSOCIATED FOUNDATION FEATURES
 - (I) REMOVE EXISTING TREE
 - (J) REMOVE EXISTING UTILITIES
 - (K) PROTECT EXISTING ELECTRICAL HANDHOLE
 - (L) PROTECT EXISTING HYDRANT
 - (M) PROTECT EXISTING UTILITIES
 - (N) PROTECT EXISTING Pylon SIGN
 - (O) PROTECT EXISTING SIDEWALK/PAVEMENT
 - (P) PROTECT EXISTING CURB AND CUTTER
 - (Q) REMOVE RETAINING WALL
 - (R) PROTECT EXISTING TREE
 - (S) SAWCUT LINE
 - (T) REMOVE EXISTING SIGN/BOLLARDS
 - (U) REPLACE IN KIND
 - (V) REMOVE EXISTING RAILING TO INSTALL PROPOSED MANHOLE, PROPOSED UTILITY SERVICE EXCAVATIONS, MATCH EXISTING PAVEMENT SECTION PER CITY OF BLOOMINGTON STANDARDS
 - (W)
- ### DEMOLITION PLAN NOTES
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL COVERING AUTHORITIES ALL STRUCTURES, PADS, WALLS, FENCES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC. SUCH THAT THE IMPROVEMENTS ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGROUND TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE PROJECT DOCUMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE CONTRACTOR SHALL PROVIDE COPIES OF THE PERMIT AND RECEIPTS OF DISPOSAL OF MATERIALS TO THE OWNER AND OWNERS REPRESENTATIVE.
 - THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM THE CONSTRUCTION MANAGER AND COORDINATION WITH THE ADJACENT PROPERTIES AND/OR THE CITY.
 - THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PERTINENT WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
 - THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY PRIOR TO THE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR LOCATIONS OF EXISTING UTILITIES WITHIN ALL AREAS OF PROPOSED WORK.
 - ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS ANY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
 - ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
 - CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLICURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE CONSTRUCTION MANAGER. MAINTENANCE OF TRAFFIC CONTROL SHALL BE COORDINATED IN ACCORDANCE WITH BLOOMINGTON, MINNESOTA COUNTY AND MN/DOT.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL NOTIFY ALL PROPERTIES IF ACCESS WILL BE INTERRUPTED OR ALTERED AT ANY TIME DURING CONSTRUCTION.
 - PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
 - CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
 - THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY WATER DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY OF BLOOMINGTON DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
 - REFER TO SURVEY FOR ALL EXISTING INVERT AND RIM ELEVATIONS.
 - ALL UTILITIES SHOWN ARE EXISTING UTILITIES.
 - IN THE EVENT A WELL IS FOUND, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND OWNER IMMEDIATELY. ALL WELLS SHALL BE SEALED BY A LICENSED WELL CONTRACTOR IN ACCORDANCE WITH ALL STATE OF MN REQUIREMENTS.
 - IN THE EVENT THAT UNKNOWN CONTAINERS OR TANKS ARE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE OWNER AND/OR OWNERS REPRESENTATIVE IMMEDIATELY. ALL CONTAINERS SHALL BE DISPOSED OF AT A PERMITTED LANDFILL PER THE PROJECT DOCUMENTS.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY EXISTING DRAINILE IS ENCOUNTERED ON SITE. NO ACTIVE DRAINILE SHALL BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER.

Hennepin County

LEGEND

	PROPERTY LINE
	REMOVE BITUMINOUS SURFACE
	REMOVE CONCRETE SURFACE
	REMOVE BUILDING
	CLEARING & GRUBBING
	FULL DEPTH SAWCUT
	REMOVE TREE
	REMOVE CONCRETE CURB & GUTTER
	REMOVE UTILITY LINES
	ABANDON UTILITY LINES
	LIMITS OF CONSTRUCTION
	EXISTING OVERHEAD POWER LINE
	EXISTING CHAINLINK FENCE
	EXISTING J-BARRIAD
	EXISTING RETAINING WALL
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATERMAIN
	EXISTING GAS MAIN
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING CONTOUR
	EXISTING CURB & CUTTER
	EXISTING SIGN
	EXISTING STORM MANHOLE
	EXISTING STORM CATCHBASIN
	EXISTING GAS METER
	EXISTING ROOF DRAIN
	EXISTING GATE VALVE
	EXISTING HYDRANT
	EXISTING ELECTRICAL METER
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING TREE

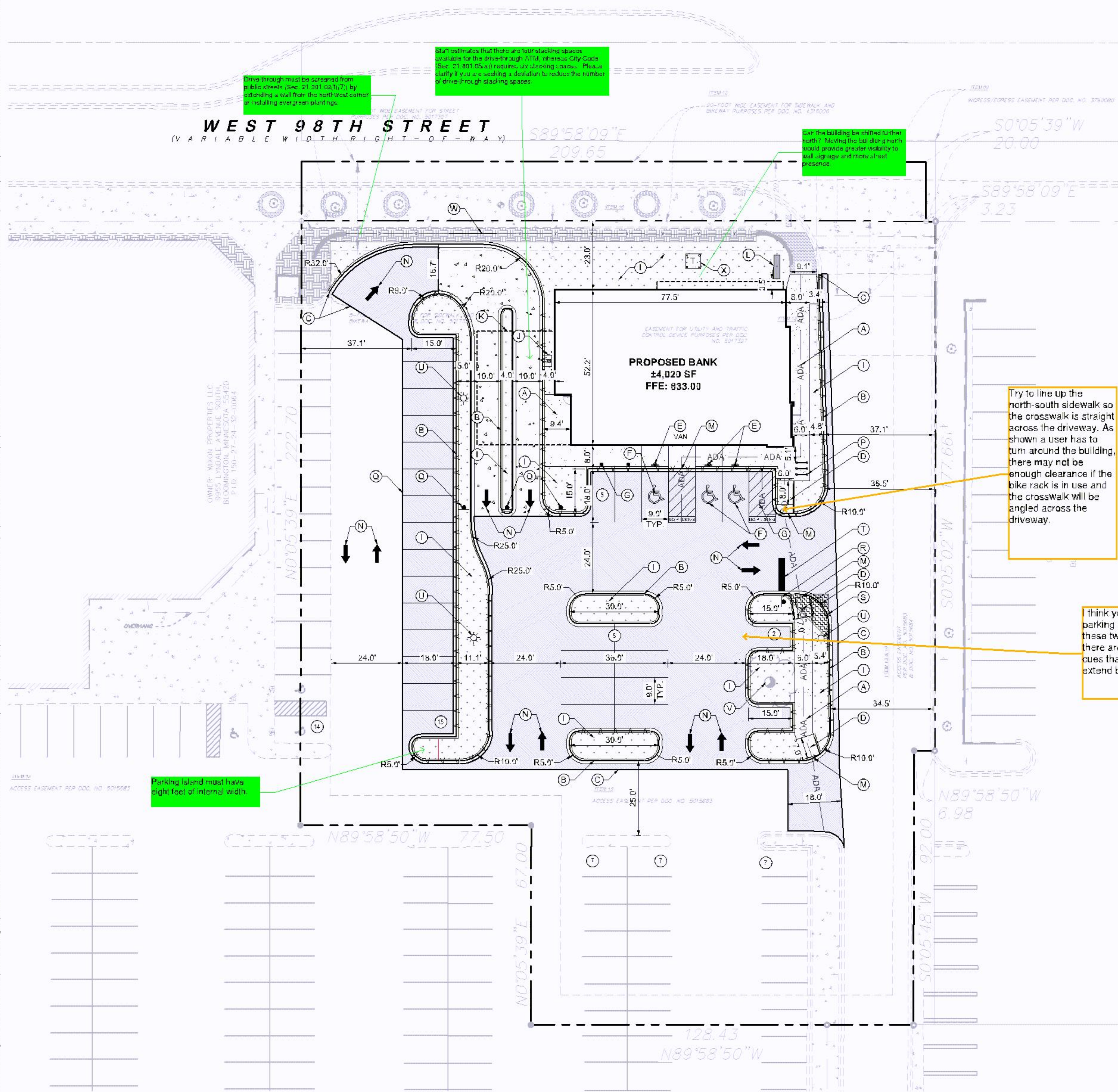
GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

PRELIMINARY - NOT FOR CONSTRUCTION

KHA PROJECT 160774046	DATE 12/20/2019	SCALE AS SHOWN	DESIGNED BY BPG	DRAWN BY BPG	CHECKED BY BRJ	DATE 12/20/2019	LIC. NO. 53084	MNI BENJAMIN R. JOHNSON		2019 KIMLEY-HORN AND ASSOCIATES, INC. 767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114 PHONE: 651-454-1187 WWW.KIMLEY-HORN.COM		BY	DATE	REVISIONS	No.
BANK OF AMERICA PREPARED FOR OPPIDAN												BLOOMINGTON			
SHEET NUMBER C200															

HENNEPIN COUNTY STATE AID HIGHWAY NO. 1 PLAT 64



SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND D.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT FIRE ALARMS, TRUCK DRUMS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL INNER CURBED RADII ARE TO BE 3' AND OUTER CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, UNLESS OTHERWISE NOTED ON PLANS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY EFN, DATED 7/23/2019.
KIMLEY-HORN ASSUMES NO LIABILITY FOR ANY ERRORS, INACCURACIES, OR OMISSIONS CONTAINED THEREIN.
- PLYN / MONUMENT SIGNS SHALL BE CONSTRUCTED BY OTHERS. SIGNS ARE SHOWN FOR GRAPHICAL & INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO VERIFY SIZE, LOCATION AND ANY REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE PLYN / MONUMENT SIGN.
- CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
- NO PROPOSED LANDSCAPING SUCH AS TREES OR SHRUBS ABOVE AND UNDERGROUND STRUCTURES, OR OTHER OBSTRUCTIONS SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHTS OF WAY UNLESS SPECIFICALLY NOTED ON PLANS OTHERWISE.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- REFER TO FINAL PLAT OR ALTA SURVEY FOR EXACT LOT AND PROPERTY BOUNDARY DIMENSIONS.
- ALL AREAS ARE ROUNDED TO THE NEAREST SQUARE FOOT.
- ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH FOOT.
- ALL PARKING STALLS TO BE 3' IN WIDTH AND 18' IN LENGTH UNLESS OTHERWISE INDICATED.

LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	PROPOSED STANDARD CURB AND GUTTER
---	PROPOSED REVERSE PITCH CURB AND GUTTER
---	ADA
---	ACCESSIBLE ROUTE, MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2%, AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
---	PROPOSED STANDARD DUTY ASPHALT
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED LANDSCAPING

PROPERTY SUMMARY

BANK OF AMERICA	
TOTAL PROPERTY AREA	55,774 SF (1.28 AC)
EXISTING RIGHT OF WAY EASEMENT	4,193 SF (0.10 AC)
NET PROPERTY AREA	51,581 SF (1.18 AC)
PROPOSED IMPERVIOUS AREA	45,369 SF (1.04 AC)
PROPOSED PERVIOUS AREA	6,212 SF (0.14 AC)
TOTAL DISTURBED AREA	26,163 SF (0.60 AC)
ZONING SUMMARY	
EXISTING ZONING	B4 COMMUNITY COMMERCIAL, PUD OVERLAY
PROPOSED ZONING	B4 COMMUNITY COMMERCIAL, PUD OVERLAY
SETBACK REQUIREMENTS	FRONT = 65' SIDE = 25' REAR = 25'

BUILDING DATA SUMMARY

AREAS	
PROPOSED PROPERTY	55,774 SF (1.28 AC)
BUILDING AREA	4,020 SF (7.2% OF TOTAL PROPERTY AREA)
PARKING	
REQUIRED PARKING	18 SPACES @ 1/240 SF
PROPOSED PARKING	64 SPACES (SHARED)
ADA STALLS REQ'D / PROVIDED	3 STALLS / 3 STALLS

KEYNOTE LEGEND

- (A) CONCRETE SIDEWALK
- (B) B812 CURB & GUTTER (TYP.)
- (C) MATCH EXISTING EDGE OF PAVEMENT/ CURB & GUTTER
- (D) ACCESSIBLE CURB RAMP
- (E) ACCESSIBLE PARKING SIGN W/ BOLLARD BASE
- (F) ACCESSIBLE PARKING
- (G) AREA STRIPED WITH 4" SWSL @ 45° 2' O.C.
- (H) STANDARD DUTY ASPHALT PAVEMENT
- (I) LANDSCAPE AREA - SEE LANDSCAPE PLANS
- (J) DRIVE-UP ATM KIOSK - SEE ARCHITECT PLANS
- (K) OVERHEAD BUILDING CANOPY - SEE ARCH PLANS
- (L) EXISTING PYLON SIGN TO REMAIN
- (M) FLAT CURB
- (N) DIRECTIONAL STRIPING
- (O) 6" STEEL PIPE BOLLARD
- (P) BICYCLE RACK
- (Q) R5-1 "DO NOT ENTER" SIGN, 30" X 30"
- (R) R1-1 "STOP" SIGN, 30" X 30"
- (S) 15' SIDE TRIANGLE, FREE OF SIGNAGE AND LANDSCAPING
- (T) 24" WIDE STOP BAR
- (U) PROPOSED LIGHT POLE - SEE LIGHTING PLANS
- (V) EXISTING TREE TO REMAIN
- (W) REMOVE EXISTING RAILING TO INSTALL PROPOSED MANHOLE, REPLACE IN KIND
- (X) PROPOSED TRANSFORMER PAD



PRELIMINARY - NOT FOR CONSTRUCTION

BANK OF AMERICA
PREPARED FOR
OPPIDAN

SHEET NUMBER
C400

SITE PLAN

KIMLEY-HORN & ASSOCIATES, INC.
160774046
12/20/2019
SCALE AS SHOWN
DESIGNED BY BPG
DRAWN BY BPG
CHECKED BY BRJ

Kimley-Horn
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767 EUSTIS STREET, SUITE 100, ST. PAUL, MN 55114
PHONE: 651-484-1187
WWW.KIMLEY-HORN.COM

BLOOMINGTON MN

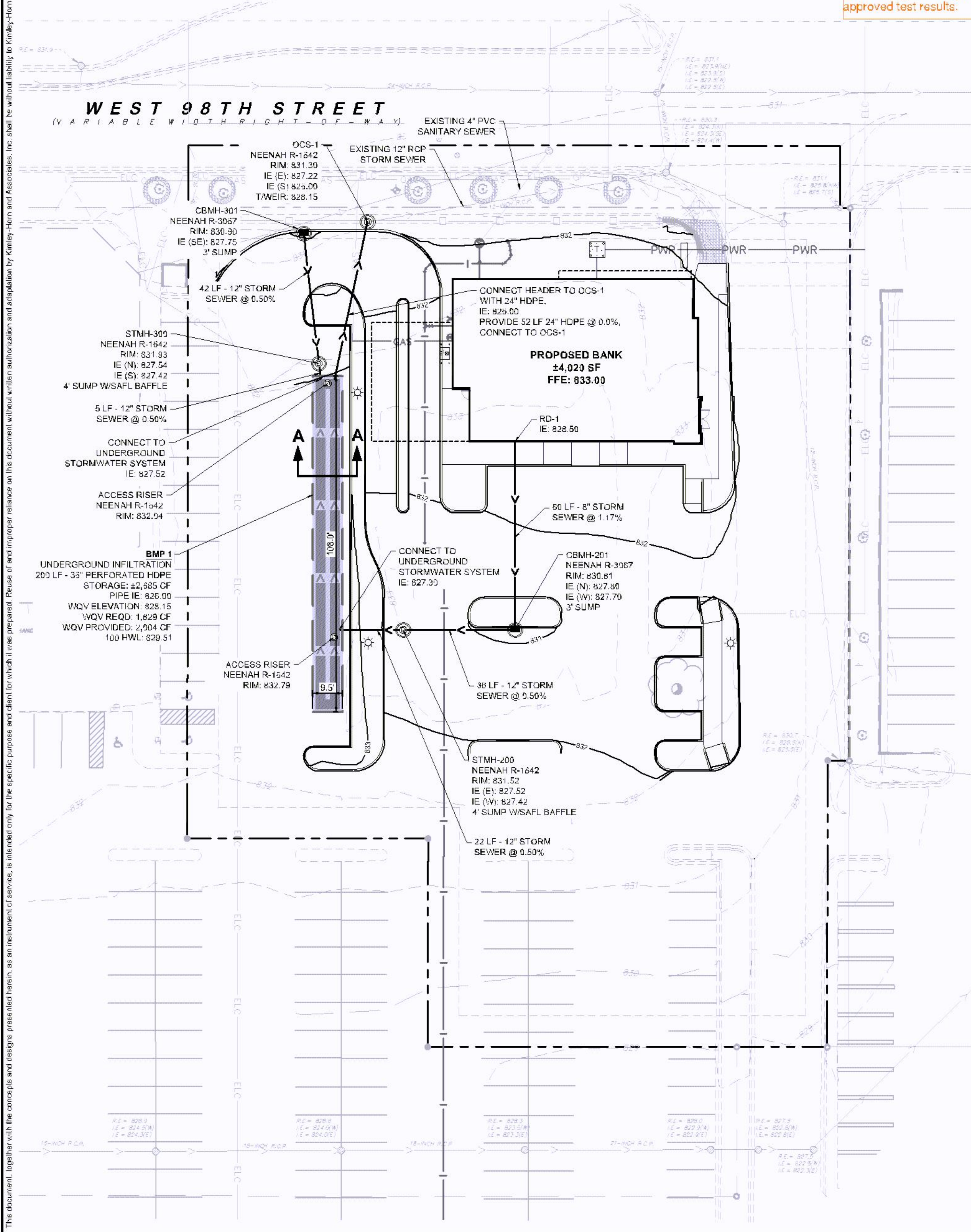
No.

REVISIONS

DATE

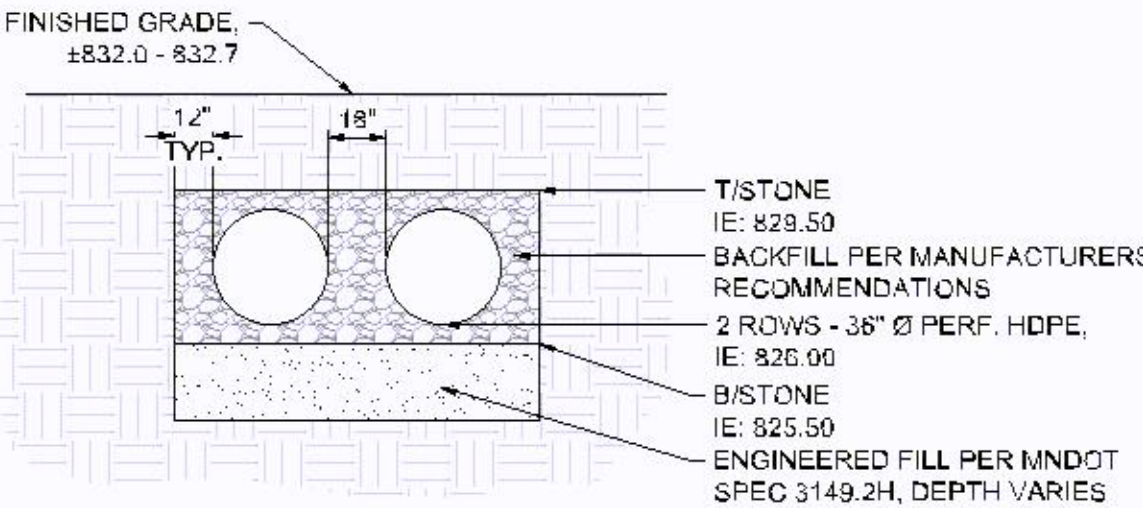
BY

Engineer to provide Bloomington Engineering with copy of approved test results.



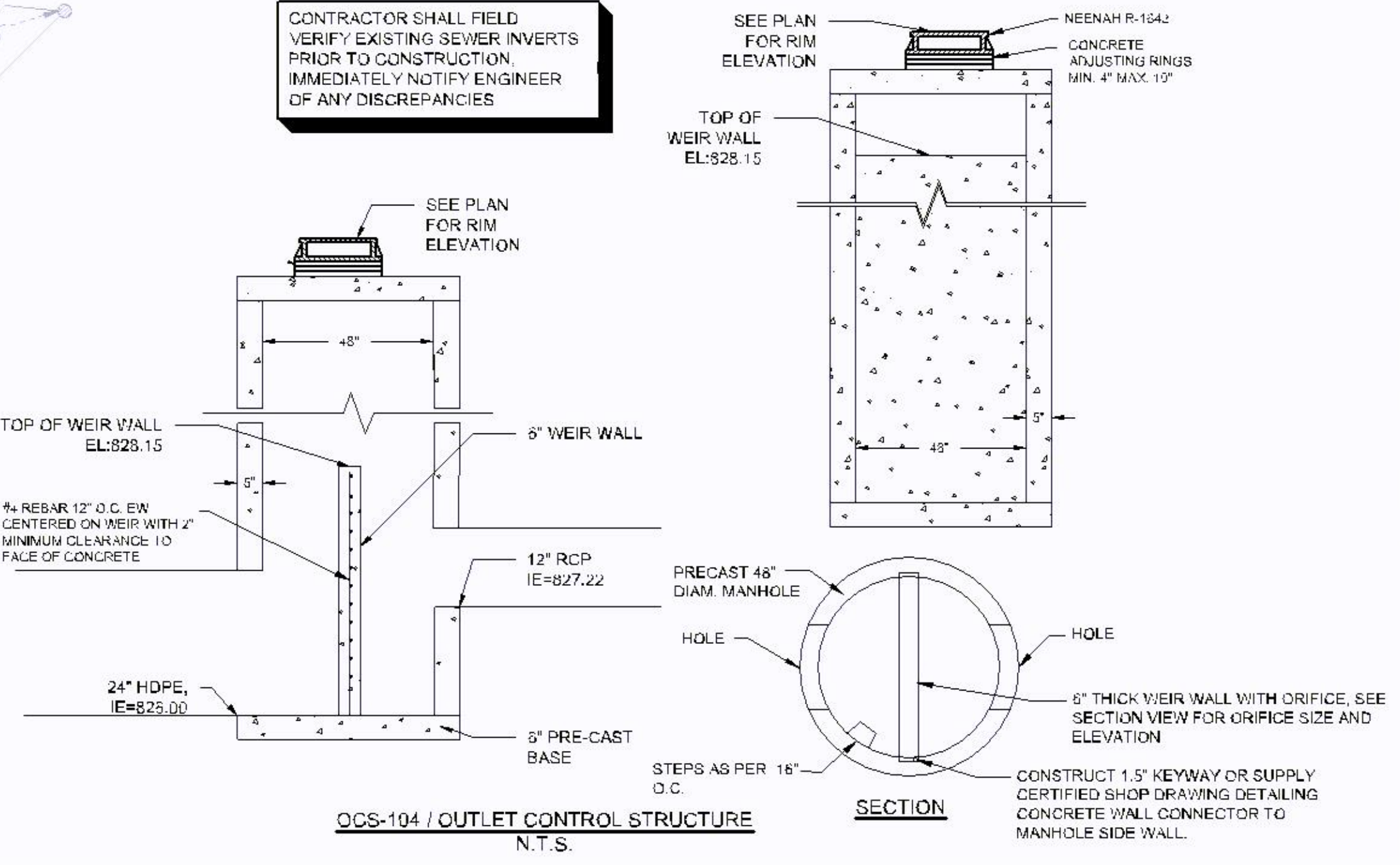
UNDERGROUND STORMWATER MANAGEMENT NOTES

- CONTRACTOR TO PROVIDE (2) DOUBLE RING INFILTRATOR TESTS WITHIN THE UNDERGROUND SYSTEM EXCAVATION PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM. THE CONTRACTOR SHALL PROVIDE THE RESULTS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM.
- CONTRACTOR SHALL OVER-EXCAVATE ALL FILL/URBAN FILL TO A ELEVATION OF APPROXIMATELY 822.00. EXCAVATION SHALL BE REPLACED WITH SUITABLE ENGINEERED FILL MEETING THE MNDOT SPECIFICATION FOR COARSE FILTER AGGREGATE PER SECTION 3149.2H. DEPTHS OF FILL/URBAN FILL EXPECTED TO VARY. CONTRACTOR SHALL VERIFY DEPTHS OF EXCAVATION AND PERFORM INFILTRATOR TESTS PRIOR TO INSTALLING UNDERGROUND SYSTEM.
- IF NATIVE SUBGRADE SOILS BELOW FILL/URBAN FILL ARE DETERMINED TO NOT BE CONDUCTIVE TO THE DESIGN INFILTRATION REQUIREMENTS, THE CONTRACTOR SHALL REMOVE AND REPLACE THE POORLY INFILTRATING SOILS TO A DEPTH WHERE THE EXISTING NATIVE SUBGRADE SOILS MEET OR EXCEED THE DESIGN INFILTRATION RATE AS REVIEWED BY THE ENGINEER.
- UPON COMPLETION OF THE STORMWATER BMP AND FINAL STABILIZATION OF THE TRIBUTARY DRAINAGE AREA, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION THE BMP AFTER A SIGNIFICANT RAIN EVENT THAT SHOWS THE BMP'S DRAWS DOWN WITHIN 48 HOURS.
- NO CONSTRUCTION EQUIPMENT SHALL TRAVEL WITHIN THE UNDERGROUND INFILTRATION SYSTEM AREA. USE EXCAVATOR WITH TOOTHED BUCKET FOR INFILTRATION BASIN EXCAVATION TO AVOID COMPACTING OR SMEARING OF SOILS.
- FINAL EXCAVATION OF UNDERGROUND INFILTRATION SYSTEM AREA AND INSTALLATION OF OF ENGINEERED SOIL MUST OCCUR IN DRY SOIL CONDITIONS TO PREVENT SMEARING AND COMPACTION. DO NOT WORK IN INFILTRATION SYSTEM AREA IF SOIL CONDITIONS ARE WET.
- IMMEDIATELY FOLLOWING SYSTEM CONSTRUCTION, THE EXCAVATION FOR THE TRENCH SHALL BE IMMEDIATELY BACKFILLED WITH APPROVED BACKFILL MATERIAL PER MANUFACTURER'S RECOMMENDATION. OR THE EXCAVATION SHALL BE PROTECTED WITH SILT FENCE AND OR BIO-ROLLS SUCH THAT ON-SITE SOILS DO NOT ENTER THE TRENCH EXCAVATION AND CLOG UP THE BOTTOM/SIDES OF THE TRENCH LIMITING THE INFILTRATION CAPACITY OF THE UNDERGROUND SYSTEM.
- IF ANY SOILS ENTER THE TRENCH PRIOR TO BACKFILLING, THE CONTRACTOR SHALL REMOVE SOILS AND CONFIRM THE INFILTRATION CAPACITY OF THE NATIVE SUBGRADE SOILS IS MET WITH INFILTRATOR TESTS.
- CONTRACTOR SHALL COORDINATE AND COMPLETE CERTIFIED AS-BUILT PLANS DEMONSTRATING ALL CONSTRUCTED STORMWATER CONVEYANCE STRUCTURES, AND STORMWATER MANAGEMENT FACILITIES (INCLUDING AS-BUILT VOLUMES) CONFORM TO DESIGN AND/OR PLANS AS APPROVED BY THE CITY.



A-A INFILTRATION SYSTEM PIPE SECTION SCALE 1"=5'

CONTRACTOR SHALL FIELD VERIFY EXISTING SEWER INVERTS PRIOR TO CONSTRUCTION IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES



LEGEND

- PROPERTY LINE
- PROPOSED WATERMAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED UNDERGROUND STORMWATER PIPE DETENTION

STORM SEWER PLAN NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF BLOOMINGTON, SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS.
- CONTRACTOR TO CALL GOPHER STATE CALL ONE @ 1-800-252-1166 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION/CONSTRUCTION FOR UTILITY LOCATIONS.
- ON-SITE STORM SEWER SHALL BE AS FOLLOWS:
PVC SDR 26 PER ASTM D-3034 OR
HDPE PER ASTM F-2305
ROP PER ASTM C-78

ON-SITE STORM SEWER FITTINGS SHALL BE AS FOLLOWS:
PVC SDR 26 PER ASTM D-3034, JOINTS PER ASTM D-3212 OR
HDPE PER ASTM 3212
ROP PER ASTM C-361 AND C-443
- CONTRACTOR TO FIELD VERIFY THE LOCATIONS AND ELEVATIONS OR EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE START OF SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR VARIATIONS.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- CONTRACTOR SHALL EXCAVATE DRAINAGE TRENCHES TO FOLLOW PROPOSED STORM SEWER ALIGNMENTS.
- REFER TO THE UTILITY PLAN FOR SANITARY SEWER MAIN, WATER MAIN SERVICE LAYOUT AND ELEVATIONS AND CASTING / STRUCTURE NOTATION.
- ALL STORM SEWER CONNECTIONS SHALL BE GASKETED AND WATER TIGHT INCLUDING MANHOLE CONNECTIONS.
- ALL STORM SEWER PIPE SHALL BE AIR TESTED IN ACCORDANCE WITH THE CURRENT PLUMBING CODE.
- UPON PROJECT'S COMPLETION THE GENERAL CONTRACTOR, PROPERTY OWNER OR RESPONSIBLE PARTY SHALL PROVIDE TO THE DEPARTMENT OF PUBLIC WORKS A FINAL STORMWATER MANAGEMENT REPORT INCLUDING RECORD DRAWINGS. THIS REPORT WILL SERVE AS A MEANS OF VERIFICATION THAT THE INTENT OF THE APPROVED STORMWATER MANAGEMENT DESIGN HAS BEEN MET. THIS FINAL REPORT SHALL SUBSTANTIATE THAT ALL ASPECTS OF THE ORIGINAL DESIGN HAVE BEEN ADEQUATELY PROVIDED FOR BY THE CONSTRUCTION OF THE PROJECT.
- SEWER DISCONNECTIONS ARE REQUIRED TO BE CUT AND BULKHEADED AT THE MAIN.
- ALL PORTIONS OF THE STORM SEWER SYSTEM LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MINNESOTA RULES, CHAPTER 474, SECTION 1109.

PRELIMINARY - NOT FOR CONSTRUCTION

STORM SEWER PLAN

BANK OF AMERICA
PREPARED FOR
OPPIDAN

SHEET NUMBER
C501

Kimley»Horn

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PHONE: 651-485-4187
WWW.KIMLEY-HORN.COM

KHA PROJECT
160774046
DATE
12/20/2019
SCALE
AS SHOWN
DESIGNED BY
BPG
DRAWN BY
BPG
CHECKED BY
BRJ

BENJAMIN R. JOHNSON
DATE
12/20/2019
LIC. NO.
53084

NO.	REVISIONS	DATE	BY

WEST 98TH STREET
(VARIABLE WIDTH RIGHT-OF-WAY)

City records indicate this may be a 60 year old 6" Asbestos Cement Pipe Sewer service. There were some indications of issues/repairs in the past but not much detail is known. Project Engineer and Contractor should verify the condition of the pipe via CCTV for the owner. It may be necessary to rehab/line or replace the service.

Need a new valve to perform testing of the new water main and straighten out water service.

SEE SHEET C501 FOR
STORMWATER MANAGEMENT
AND STORM SEWER DESIGN

(A)	CONNECT TO EXISTING WATERMAIN
(B)	TEE W/ GATE VALVE
(C)	PROPOSED POWER SERVICE, COORDINATE W/ UTILITY
(D)	PROPOSED GAS SERVICE, COORDINATE W/ UTILITY
(E)	8" TO 6" REDUCER W/ VALVE
(F)	BEND
(G)	CONSTRUCT MANHOLE OVER EXISTING SANITARY SEWER
(H)	FDC
(I)	GAS METER
(J)	PROPOSED UTILITY SERVICE EXCAVATIONS, MATCH EXISTING PAVEMENT SECTION PER CITY OF BLOOMINGTON STANDARDS
(K)	PROPOSED 8" DIP WATER SERVICE
(L)	EXISTING 12" ROP STORM SEWER
(M)	EXISTING 4" P.V.C SANITARY SEWER
(N)	EXISTING 8" WATERMAIN
(O)	EXISTING FIRE HYDRANT
(P)	PROPOSED LIGHT POLE - SEE LIGHTING PLANS
(Q)	PROTECT EXISTING UTILITY, MAINTAIN COVER
(R)	PROPOSED TRANSFORMER

Use SDR26 or Sch 40.

C1	4" SANITARY 8" WATER	B/P - 825.52 T/P = 823.4
C2	12" STORM 8" WATER	B/P = 827.58 T/P = 823.75
C3	18" STORM 8" WATER	B/P = 823.71 T/P = 820.95

EXISTING	PROPOSED	
		GATE VALVE
		HYDRANT
		REDUCER
		TEE
		SANITARY SEWER MANHOLE
		SANITARY CLEANOUT
		WATERMAIN
		SANITARY SEWER
		STORM SEWER
		UNDERGROUND ELECTRIC
		TELEPHONE
		GAS MAIN
		PROPOSED UNDERGROUND STORMWATER PIPE DEFINITION

1. ALL PIPING MATERIAL IS TO BE IN PI ACFF, AND/OR COMPACTED REF FCRF. INSTANTATION OF PROPOSED UTILITIES.
2. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PVCU SDR35 PER ASTM D-3034 INSTALLED PER ASTM D-2242-1
3. WATER LINES SHALL BE AS FOLLOWS:
CLASS 52 DIP PER ANSI/AWWA A-24.3 (15) WITH JOINTS PER ANSI/AWWA A-21.11C(11). MINIMUM 8 MIL POLYWRAP REQUIRED ON ALL DIP.
4. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
5. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH RESTRAINTS SUCH AS THRUST BLOCKING, WITH STAINLESS STEEL OR GALVANIZED BOLTS, OR AS INDICATED IN THE CITY SPECIFICATIONS AND PROJECT DOCUMENTS.
6. ALL UTILITIES SHOULD BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE OR STRUCTURE).
7. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 8" AND MAXIMUM OF 10" COVER ON ALL WATERLINES.
8. INSTALL HIGH DENSITY POLYSTYRENE INSULATION TO PREVENT FREEZING ON SANITARY SEWER MAINLINES. CLEANINGS, MANHOLES AND SERVICES WITHOUT ADEQUATE COVER.
9. A MINIMUM 10'-0" HORIZONTAL SEPARATION AND 18-INCH VERTICAL SEPARATION IS REQUIRED BETWEEN WATERMAIN AND SEWERS.
10. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORAGE LINES AND GAS LINES, OR ANY OBSTRUCTION (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE 5'-0" OR 6'-0" WITH MECHANICAL JOINTS AT LEAST 10 FEET ON EITHER SIDE OF THE CENTER LINE OF THE CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE FASTENERS AS REQUIRED TO PROVIDE A MINIMUM OF 18" VERTICAL SEPARATION. MEETING REQUIREMENTS IF ANSI A21.10 OR ANSI 21.11 (AWWA C-151), CLASS 50.
11. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
12. TOPS OF MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED FAVORIT ELEVATIONS AND TO BE ONE FOOT ABOVE FINISHED GROUND ELEVATIONS, IN GREEN AREAS, WITH WATERTIGHT LIDS.
13. ALL CONCRETE FOR ENCASUREMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3500 P.S.I.
14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
15. REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF MIAMI GORDON AND FOR STATE OF FLORIDA WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
18. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
19. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
20. CONTRACTOR SHALL REFERENCE ARCH / MEP PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN.
21. BACKFLOW DEVICES (DDV AND PR2 ASSEMBLY), AND METERS ARE LOCATED IN THE INTERIOR OF THE BUILDING. REF. ARCH / MEP PLANS.
22. ALL ONSITE WATERMAINS AND SANITARY SEWERS SHALL BE PRIVATELY OWNED AND MAINTAINED.
23. ALL WATERMAIN STUBOUTS SHALL BE MECHANICALLY RESTRAINED WITH REACTION BLOCKING.
24. TAPS OF LIVE WATERMAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
25. UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
26. COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAT ON FLANGE OR AN IN-PLACE ADAPTER. ALSO THE WATER METER MUST BE LOCATED WITHIN 10' OF WHERE THE SERVICE CROSSES THE OUTSIDE WALL OF THE BUILDING.
27. ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANS/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED PIPE IS NOT ALLOWED.
28. UTILITY AS-BUILT IS MUST BE PROVIDED PRIOR TO CERTIFICATE OF OCCUPANCY.
29. CONTRACTOR SHALL OBTAIN A PUBLIC WORKS PERMIT FOR UNDERGROUND WORK WITHIN THE RIGHT-OF-WAY. PERMIT IS REQUIRED PRIOR TO REMOVAL OR INSTALLATION. CONTACT UTILITIES (305-556-1454) FOR PERMIT INFORMATION.
30. UTILITY PERMITS ARE REQUIRED FOR CONNECTIONS TO THE PUBLIC STREET, SANITARY, AND WATER SYSTEM. CONTACT UTILITIES (305-556-8777) FOR PERMIT INFORMATION.
31. TAPS OF LIVE WATER MAINS ARE DONE BY CITY FORCES AND PAID FOR AND COORDINATED WITH THE CONTRACTOR.
32. UTILITY AND MECHANICAL CONTRACTORS MUST COORDINATE THE INSTALLATION OF ALL WATER AND SEWER SERVICE PIPES INTO THE BUILDING TO ACCOMMODATE CITY INSPECTION AND TESTING.
33. COMBINATION FIRE AND DOMESTIC SERVICES MUST TERMINATE WITH A THREAT ON FLANGE OR AN IN-PLACE ADAPTER. ALSO THE WATER METER MUST BE LOCATED WITHIN 10' OF WHERE THE SERVICE CROSSES THE OUTSIDE WALL OF THE BUILDING.
34. ALL COMPONENTS OF THE WATER SYSTEM, UP TO THE WATER METER OR FIRE SERVICE EQUIPMENT MUST UTILIZE PROTECTIVE INTERNAL COATINGS MEETING CURRENT ANS/AWWA STANDARDS FOR CEMENT MORTAR LINING OR SPECIAL COATINGS. THE USE OF UNLINED OR UNCOATED PIPE IS NOT ALLOWED.

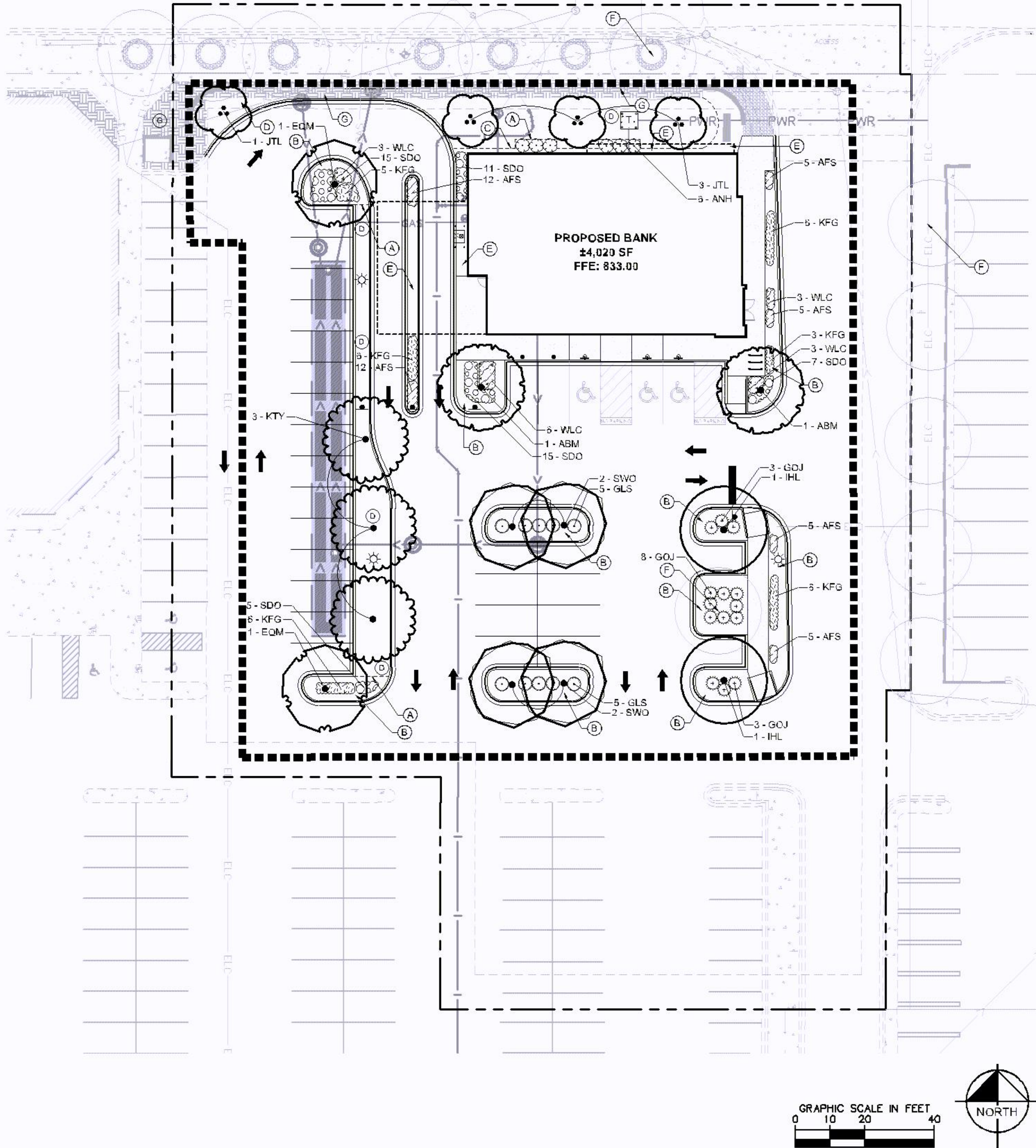
SCAI F 1"=20'

GRAPHIC SCALE IN FEET



A horizontal scale bar with tick marks at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments.

WEST 98TH STREET
(VARIABLE WIDTH RIGHT-OF-WAY)

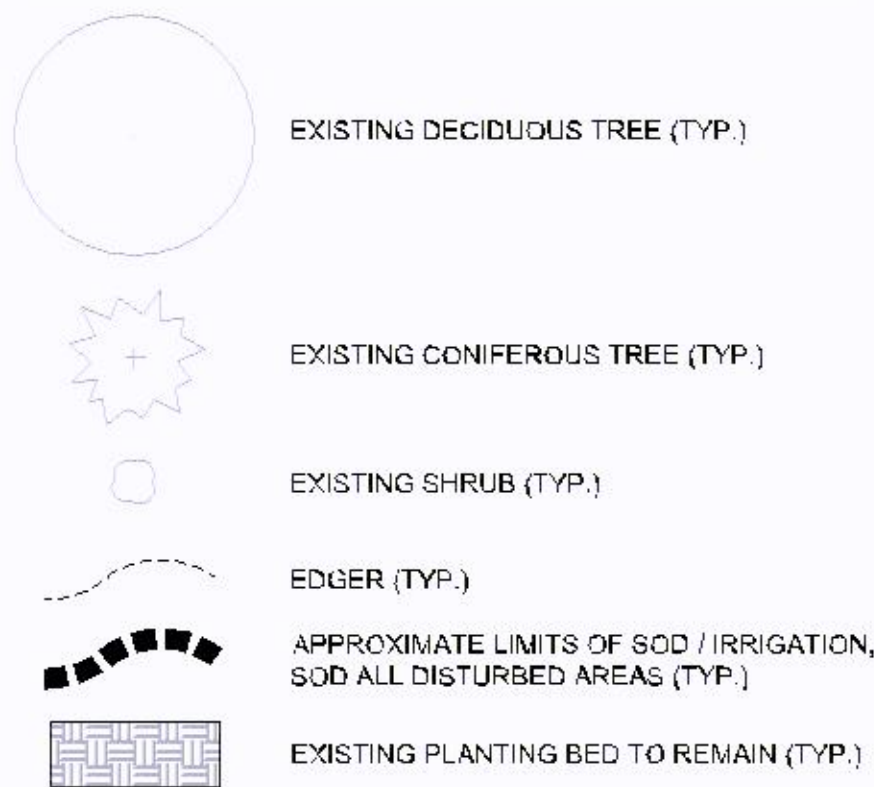


LANDSCAPE REQUIREMENTS

DEVELOPABLE LANDSCAPE AREA:	53,774 S.F.
REQUIRED TREES:	23 TREES* = (53,774 S.F./2,500)
PROVIDED TREES:	23 TREES = (17 PROPOSED TREES + 6 EXISTING TREES)
REQUIRED SHRUBS:	56 SHRUBS* = (53,774 S.F./1,000)
PROVIDED SHRUBS:	56 SHRUBS* = (30 PROPOSED SHRUBS + (144 PROPOSED PERENNIALS/4)
* 4 PERENNIAL PLANTS EQUAL 1 SHRUB	
PARKING ISLAND TREES REQUIRED:	ONE DECIDUOUS TREE PER PARKING LOT ISLAND
PARKING ISLAND TREES PROVIDED:	SEE PLAN

Document species of
existing trees to verify they
are not on the City's
prohibited list (Sec. 18.03).

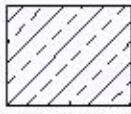
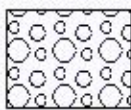
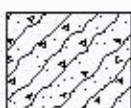
LANDSCAPE LEGEND



LANDSCAPE KEYNOTES

- (A) EDGER (TYP.)
- (B) DOUBLE SHREDDED HARDWOOD MULCH (TYP.)
- (C) MAINTENANCE STRIP (TYP.)
- (D) SOD (TYP.)
- (E) ROCK MULCH (TYP.)
- (F) EXISTING TREE TO REMAIN (TYP.)
- (G) EXISTING PLANTING BED TO REMAIN (TYP.)

PLANT SCHEDULE

ORNAMENTAL TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	JTL	4	SYRINGA RETICULATA	JAPANESE TREE LILAC CLUMP	B & B		5' HT.	
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
	ABM	2	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2.5" CAL.		
	EQM	2	ACER PLATANOIDES 'EMERALD QUEEN'	EMERALD QUEEN MAPLE	B & B	2.5" CAL.		
	IHL	2	GLEDTISIA TRIACANTHOS VAR. INERMIS 'IMPERIAL'	IMPERIAL HONEYLOCUST	B & B	2.5" CAL.		
	KTY	3	GYMNOCLADUS DIOICA 'UMNSYNERGY' TM	TRUE NORTH KENTUCKY COFFEE TREE	B & B	2.5" CAL.		
	SWO	4	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2.5" CAL.		
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	SPACING
	GOJ	14	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	#5 CONT.	4" O.C.		48" o.c.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	SPACING
	ANH	5	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	#5 CONT.	4" O.C.		48" o.c.
	GLS	10	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	#5 CONT.	4" O.C.		48" o.c.
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	SPACING
	AFS	44	SEDUM X 'AUTUMN FIRE'	AUTUMN FIRE SEDUM	#1 CONT		18" O.C.	18" o.c.
	KFG	32	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1 CONT		30" OC	30" o.c.
	SDO	53	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY	#1 CONT		24" OC	24" o.c.
	WLC	15	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	#1 CONT		30" OC	30" o.c.

PRELIMINARY - NOT FOR CONSTRUCTION

BANK OF
AMERICA
PREPARED FOR
OPPIDAN

LANDSCAPE PLAN

KHA PROJECT
16068506
DATE
10/11/2019
SCALE
AS SHOWN
DESIGNED BY RAH/JDR
DRAWN BY
CHECKED BY
RAH

Kimley-Horn & Associates, Inc.
16068506
DATE
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AS SHOWN
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RAH

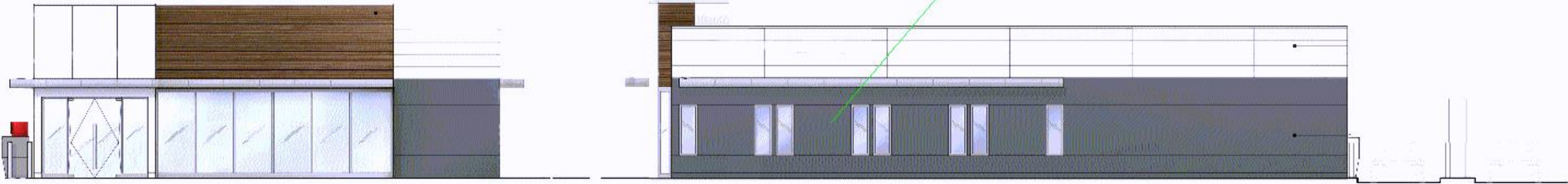
Kimley-Horn & Associates, Inc.
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DATE
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DESIGNED BY RAH/JDR
DRAWN BY
CHECKED BY
RAH

REVISIONS
DATE
BY

SHEET NUMBER
L100

Section 21.301.03(a)(3) of the City Code requires architectural unity in terms of style, color and exterior materials among non-residential buildings constructed on one site. The other structures in the planned development are constructed of brick and are brown and dark red in color. The proposed building is not related in style, color or exterior material and requires modification.

50% of the northern elevation between two and ten feet in height must consist of transparent windows (Sec. 21.301.03(b)(1)). West 98th Street is the primary facade. More transparent windows are needed on the north building elevation.



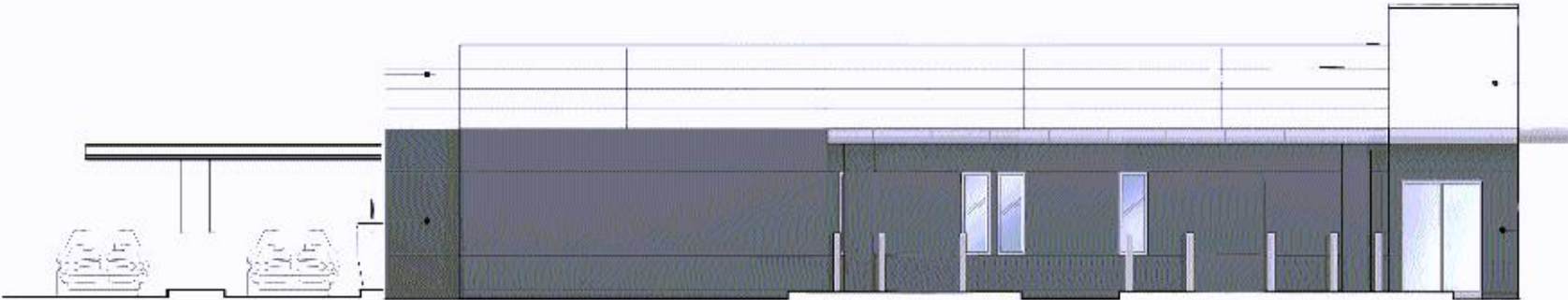
A East Elevations

Metal panels must comply with the City's Exterior Materials and Finish Policies and Procedures Guide. Panels will be reviewed for thickness, durability and finish warranty (30-year minimum required).

B North Elevations



C West Elevations



D South Elevations

EXTERIOR DESIGN | FINISH LEGEND

	FINISH PF-01	
MFG:	Puro + Freeform	
Color:	Clear Satin Anodized	
Finish:	Satin	
	FINISH PF-02	
MFG:	Puro + Freeform	
Color:	To Match Benjamin Moore, HC-128 EDH-4 Charcoal Slate	
Finish:	Satin	
	FINISH PF-03	
MFG:	Puro + Freeform	
Color:	Whitlock #105	
Finish:	Satin	
	FINISH PF-05	
MFG:	Puro + Freeform	
Color:	Warm Maple #51842	
Finish:	Satin	