

BUILDING CODE INFORMATION

1. OCCUPANCY

2020 MBC

a) Section 508

GROUP

B

TABLE 508.3.3 REQUIRED SEPARATION

Section 508.3.3 Non-Separated Occupancies

2. CONSTRUCTION TYPE / FIREPROOFING

2020 MBC

Table 601/602

TYPE

II-B (sprinkled)

ASSUMPTION:

Existing unchanged relative to original building code review

3. GENERAL BUILDING HEIGHTS AND AREAS

Existing unchanged relative to original building code review

4. OCCUPANCY / EGRESS WIDTH / EXIT QUANTITY

2020 MBC

Table 1004.1.1, 1015.1

OCCUPANCY

SF/OCCUPANT

SF/BUILDING

OCCUPANCY LOAD/BLDG.

Business

100 gross

22,639/40,341 (Between main and mezz.)

21,655/100 = 227 OCC.

Warehouse

500 gross

17,102/40,341 (All main level)

17,102/500 = 36 OCC.

Table 1015.1

OCCUPANCY/BUILDING

EXITS REQUIRED

Building: 269 (Between 2 levels)

2 (Occupant Load 1-500)

Exits in sprinklered buildings shall not be less than 1/3 the diagonal of the space

5. TRAVEL DISTANCES

2020 MBC

TABLE 1016.2

ITEM

DISTANCE ALLOWED

Group B

Exit Access

300 ft. with sprinklers

SUITE CODE INFORMATION

1. OCCUPANCY

2020 MBC

a) Table 1004.1.2

MAX ALLOWABLE OCCUPANT LOAD

Less than 50

b) Business (Martial Arts) 3,014 sf / 100 sf per occupant = 31 occupants

c) One exit is required, two exits are provided

2. CONSTRUCTION TYPE / FIREPROOFING

Refer to building code information

3. GENERAL BUILDING HEIGHTS AND AREAS

Existing unchanged relative to original building code review

4. OCCUPANCY / EGRESS WIDTH / EXIT QUANTITY

2020 MBC

a) Table 1005.3.2 Egress width is 2 x 31 = 62", 66" provided

b) Exit doors may swing in as the maximum allowable occupancy load is less than 50

c) Exits are remote

4. TRAVEL DISTANCES

2020 MBC

a) Travel distance is less than 300 ft for a sprinkled building

PLUMBING COUNTS - 31 OCCUPANTS

	WATER CLOSETS	LAVATORIES	ENG	UTILITY SINK
REQUIRED	2	2	0	0
PROVIDED	5	3	0	1

ENG PER EXCEPTION H. ON TABLE 2402.1

Unit	Office	Warehouse	TOTAL
9051	3,650	11,774	15,424
9053	957	600	1,557
9055	904		904
9057	2,435	5,330	7,765
9058	2,230	1,107	3,337
9061	PROPOSED CUP		
9063	900	1,077	1,977
9065 (Vacant)	1,430	4,718	6,148
TOTAL	12,506	24,606	37,112
Required Parking	44	25	68 spaces
Parking for athletic training			14 spaces
TOTAL PARKING REQUIRED			82 spaces
Parking provided			83 spaces

LYNDALE BUSINESS CENTER

REMODEL

9051 LYNDALE BLVD.

BLOOMINGTON, MN

SUITE 9061 CONDITIONAL USE PERMIT

PL2020-118
PL202000118



www.htg-architects.com
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PROJECT

LYNDALE BUSINESS
CENTER

REMODEL

9051 LYNDALE BLVD.

BLOOMINGTON, MN

ISSUED SET		
REVISIONS		
DATE	NO	
7/14/20	1	CUP - REVIEW SET

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

ROBERT BRUCE BRANDWICK
40578
Reg No. _____ Date _____

KENDALL
COMMERCIAL

SUITE 9061 CODE
PLAN, CODE
INFORMATION, AND
OVERALL PLAN

Drawn By: RMQ Checked By: RBB

A3

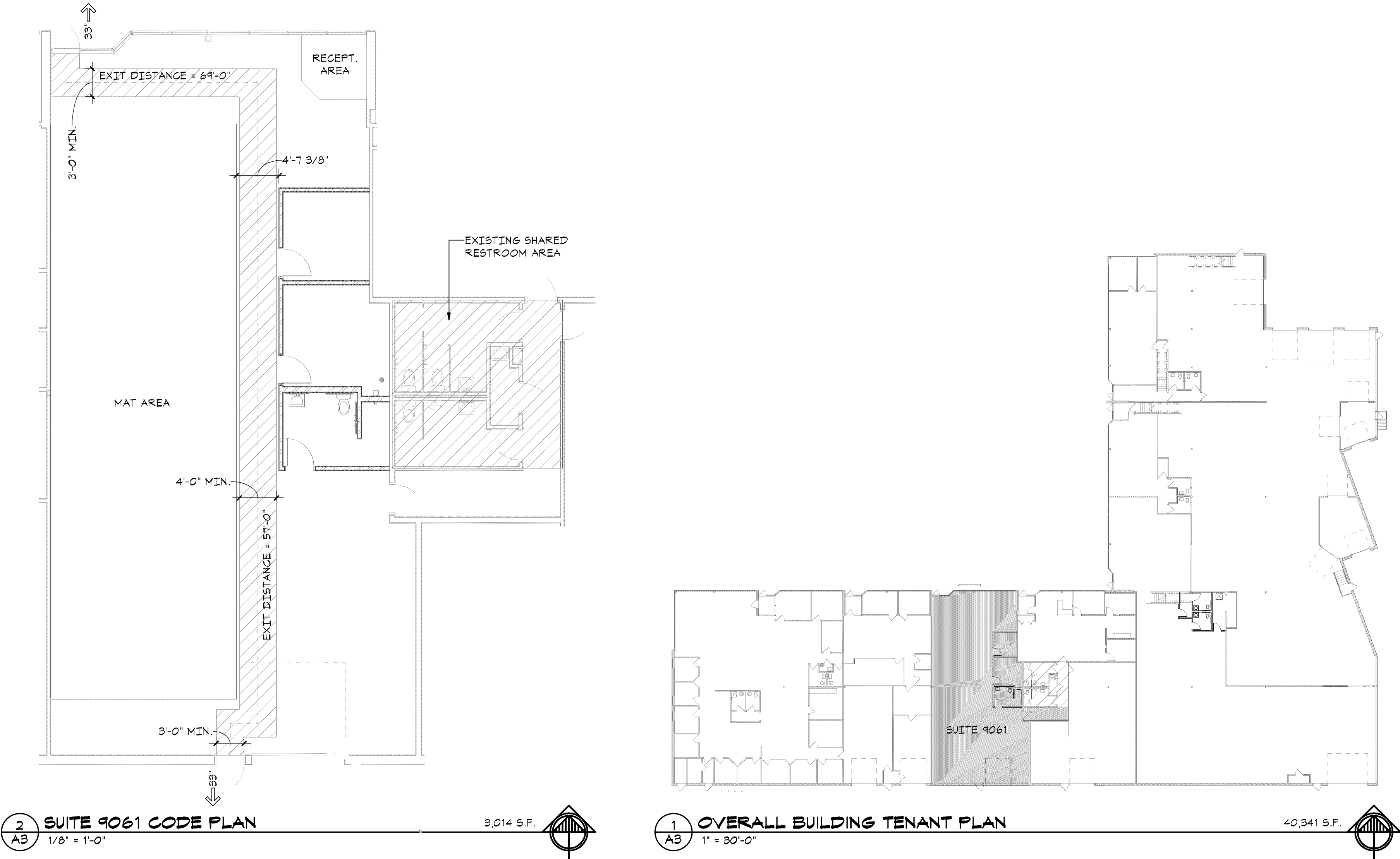
DRAWING INDEX	
A3	SUITE 9061 CODE PLAN, CODE INFORMATION, AND OVERALL PLAN
A4	DEMO NOTES, FLOOR PLAN, & NOTES

PROPERTY OWNER:

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PROJECT

LYNDALE BUSINESS
CENTER

REMODEL

9051 LYNDALE BLVD.
BLOOMINGTON, MN

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota

ROBERT BRUCE BRANDWICK
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KENDALL
COMMERCIAL

DEMO NOTES, FLOOR
PLAN, & NOTES

Drawn By: RMQ Checked By: RBB

A4

WALL TYPES

EXISTING WALL TO REMAIN

EXISTING WALL TO BE REMOVED

ALL NEW WALLS: 5/8" GYP. BD. ON 3 5/8" (U.N.O.) TO DECK METAL STUDS @ 16" O.C. w/ SOUND BATT INSULATION

DEMOLITION GENERAL NOTES

1. STRIP EXISTING WALL FINISHES & PREP. TO ACCEPT NEW FINISHES - VERIFY WITH LANDLORD.
2. GRIND SMOOTH ALL RIDGES IN EXISTING FLOOR AS REQUIRED PRIOR TO INSTALL OF NEW FINISHES- VERIFY WITH LANDLORD.
3. CONCRETE FLOOR CUTTING- COORDINATE WITH LANDLORD ON APPROPRIATE TIME TO DO SO- VERIFY LOCATIONS OF NEW PLUMBING REQUIRED.

GENERAL NOTES

1. CONTACT ARCHITECT IMMEDIATELY IF CONFLICTS ARISE w/ INSTALLATION OF ACCESSORIES & EQUIPMENT. NO CHANGES ACCEPTABLE UNLESS SHOWN ON PLAN OR APPROVED BY ARCHITECT.
2. FRAMING CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR WALL-HUNG ITEMS (CABINETS, SHELVING, COUNTERTOPS, ... etc.)
3. ALL MECHANICAL, ELECTRICAL AND PLUMBING BY DESIGN BUILD CONTRACTOR TO BE COMPLETED IN ACCORDANCE WITH LOCAL BUILDING CODES.
4. ALL GYPSUM BOARD SHALL BE TAPED, SANDED AND READY FOR PAINT. LEVEL 4 FINISH.
5. INTERIOR PARTITIONS SHALL BE 3-5/8" STL. STUDS @ 16" O.C. w/ 5/8" GYP. BD. ON EA. SIDE TO 10'-0" - UNLESS NOTED OTHERWISE.
6. ALL FINISHES NOT REFERENCED TBD BY LANDLORD.

KEYED PLAN NOTES

- 1

5/8" GYP. BD. EA. SIDE 3-5/8" STL. STUDS @ 16" O.C. w/ SOUND BATT INSUL. TO 10'-0" HIGH
- 2

CERAMIC TILE ON WET WALLS IN TOILET ROOM TO 5'-4" AFF. AND PAINT ABOVE AND OTHER WALLS (COLOR TBD)
- 3

PATCH CONC. AS REQUIRED IN AREA FOR NEW PLUMBING LINES
- 4

NEW 36" DOOR AND FRAME
- 5

FURNISH AND INSTALL ALL NEW ADA PLUMBING FIXTURES AND TOILET/SHOWER ACCESSORIES, MIRRORS, SHOWER SEAT, AND GRAB BARS AS REQUIRED BY CODE. TENANT/CONTRACTOR TO DETERMINE FINAL SELECTION. TENANT'S PAPER SUPPLIER TO PROVIDE TOILET PAPER AND PAPER TOWEL DISPENSERS. SOAP DISPENSER AND TRASH BIN BY TENANT. RECEPTION AREA TBD BY TENANT
- 6
- 7

BIKE RACK TO BE LOCATED ON PUBLIC SIDE OF BUILDING
- 8

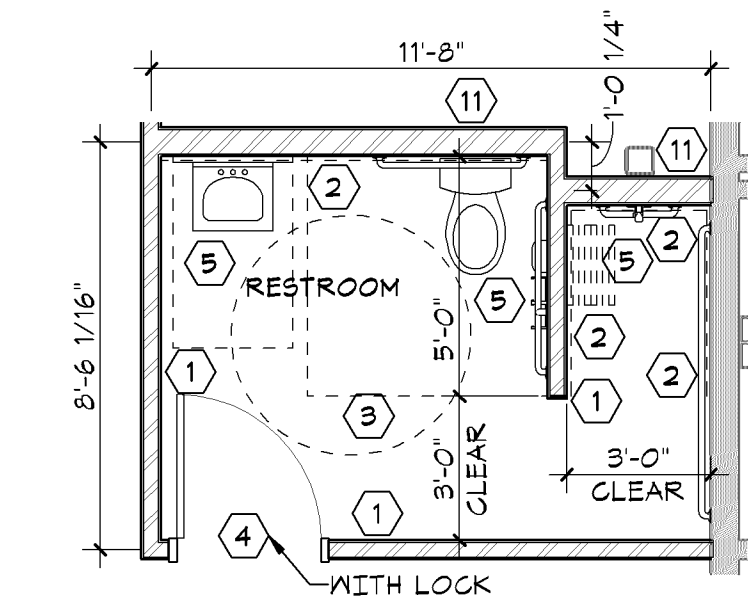
62' X 20' MAT PROVIDED BY TENANT
- 9

INSTALL NEW GYP. BD. CEILING AT 9'-6". VERIFY WITH LANDLORD/TENANT
- 10

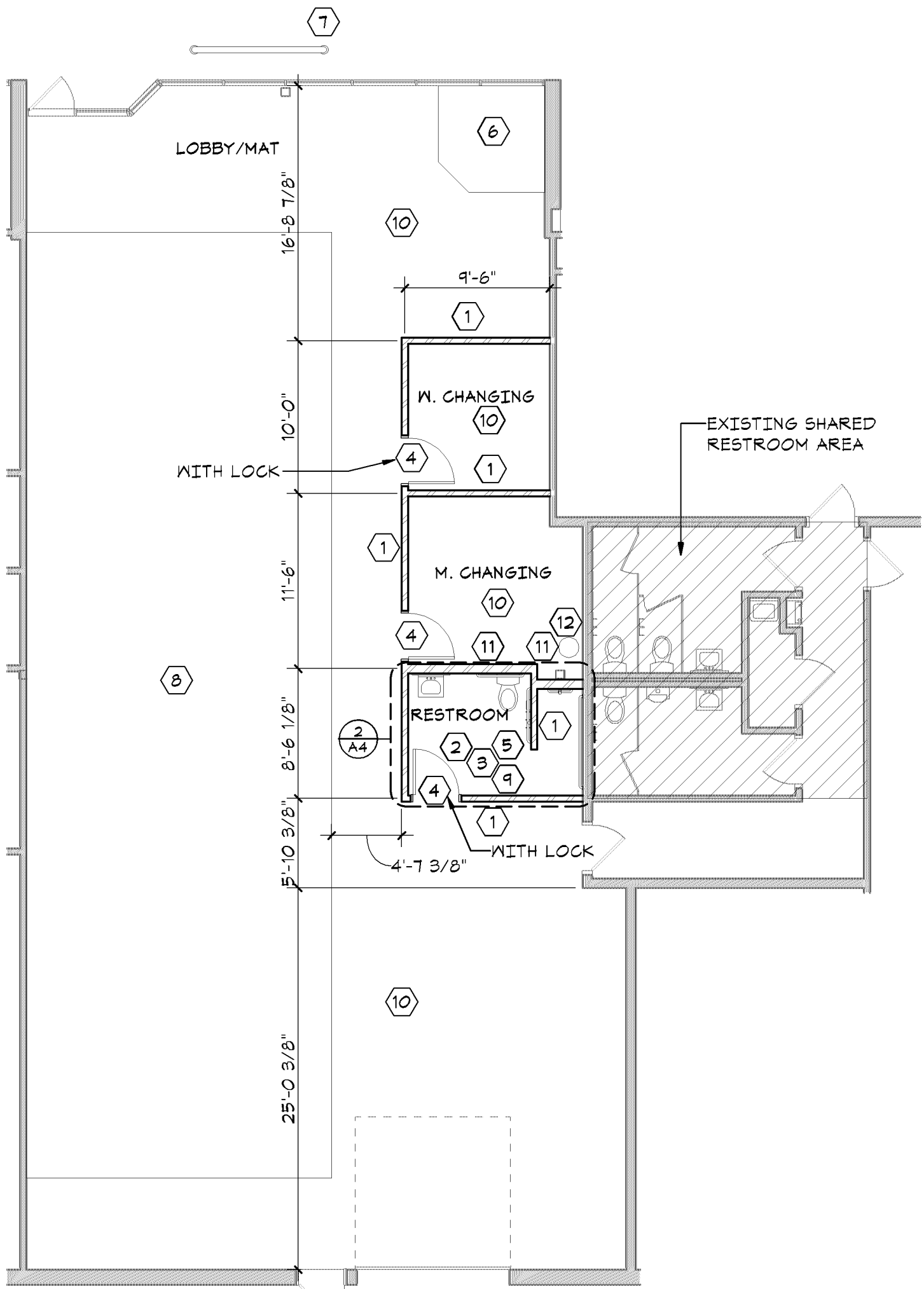
NO NEW CEILING IN THIS SPACE
- 11

5/8" GYP. BD. EA. SIDE 6" STL. STUDS @ 16" O.C. w/ SOUND BATT INSUL. TO 10'-0" HIGH
- 12

NEW WATER HEATER- VERIFY WITH MEP AND LANDLORD/TENANT ON SIZE, LOCATION, AND CLEARANCES REQ'D



2 A4 ENLARGED RESTROOM PLAN
1/4" = 1'-0"



1 A4 SUITE 9061 PLAN
1/8" = 1'-0"

