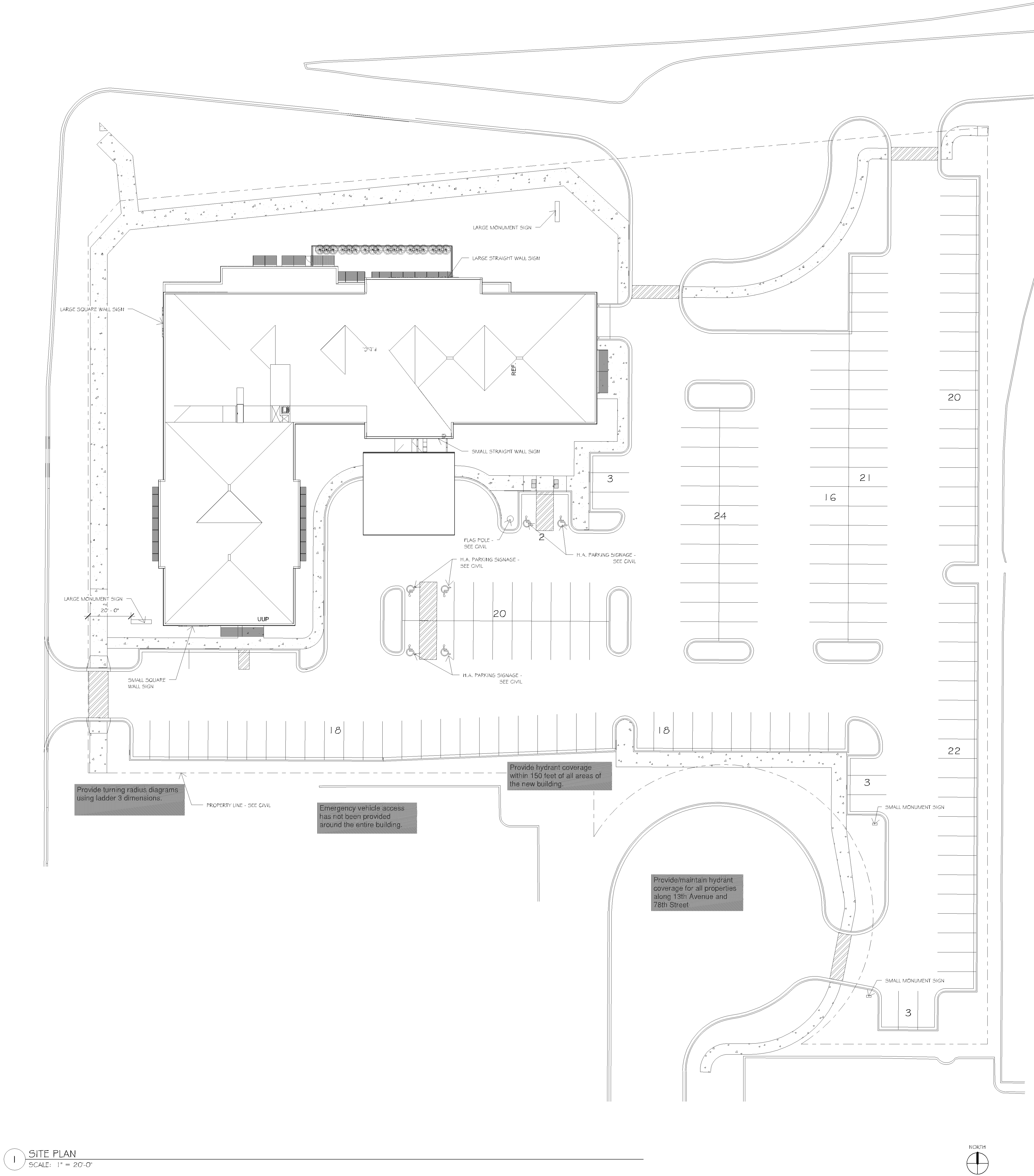
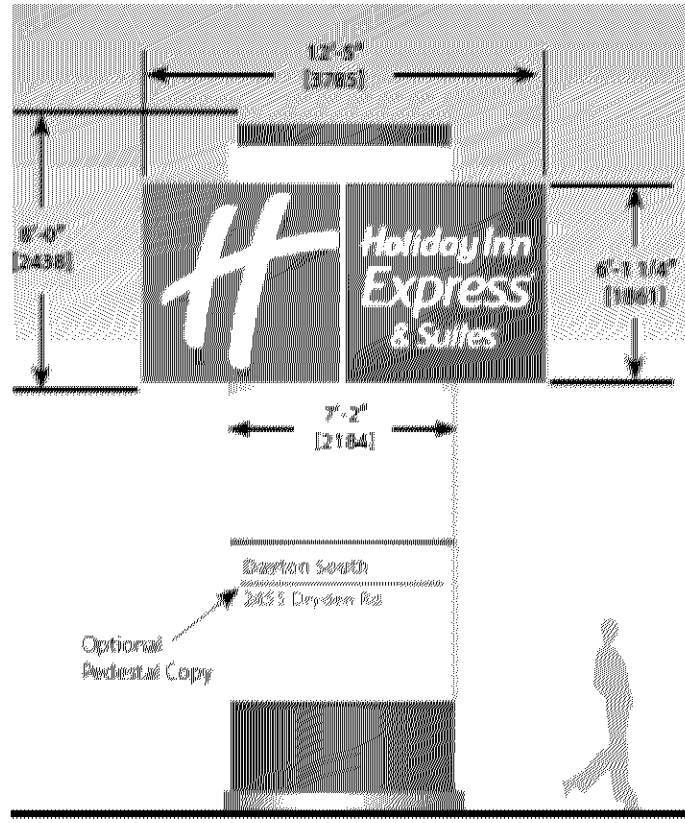
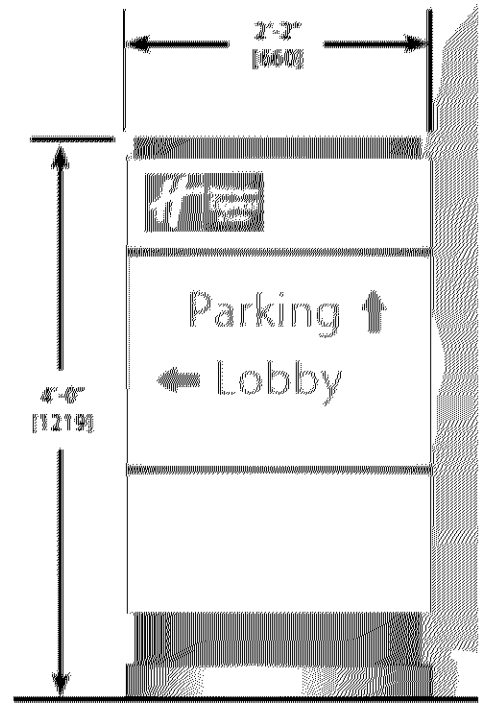




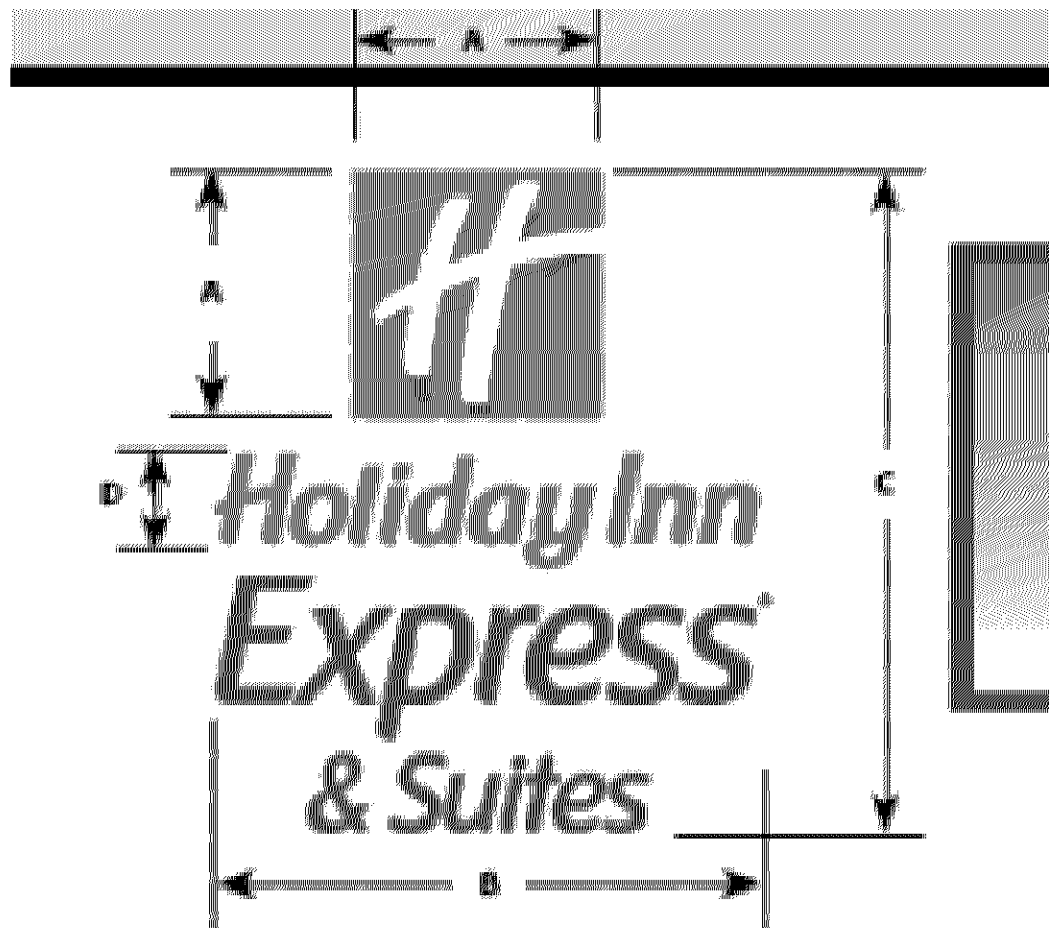
1 SITE PLAN
SCALE: 1" = 20'-0"



LARGE MONUMENT SIGN (D75-76-5004)
SIGN AREA = 76 SF (ALLOWED 100 SF MAX)
HEIGHT = 16'-0" (ALLOWED 30'-0" MAX)



SMALL MONUMENT SIGN (D085-2)
SIGN AREA = 9 SF (ALLOWED 24 SF MAX)
HEIGHT = 4'-0" (ALLOWED 4'-0" MAX)



LARGE SQUARE WALL SIGN (DLS-SM-7)
SIGN AREA = 237 SF (ALLOWED 250 SF MAX)
HEIGHT TO TOP OF SIGN = 22'-2"
SIGN DIMENSIONS:
A = 7'-1 1/2"
B = 10'-2"
C = 19'-2 1/2"
D = 2'-0 1/2"

SMALL SQUARE WALL SIGN (DLS-SM-4)
SIGN AREA = 79 SF (ALLOWED 100 SF MAX)
HEIGHT TO TOP OF SIGN = 32'-0"
SIGN DIMENSIONS:
A = 4'-1 1/2"
B = 9'-4"
C = 11'-1 1/2"
D = 1'-6 3/4"



LARGE STRAIGHT WALL SIGN (DLS-LM-6)
SIGN AREA = 126 SF (ALLOWED 250 SF MAX)
HEIGHT TO TOP OF SIGN = 56'-4"
SIGN DIMENSIONS:
A = 6'-1 1/2"
B = 45'-3"
C = 3'-0"

SMALL STRAIGHT WALL SIGN (DLS-LM-4)
SIGN AREA = 64 SF (ALLOWED 100 SF MAX)
HEIGHT TO TOP OF SIGN = 32'-0"
SIGN DIMENSIONS:
A = 4'-1 1/2"
B = 30'-0 1/2"
C = 2'-0"

Bloomington, MN

stamp

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly registered landscape architect in the State of Minnesota.

signature  date 31/4/2017

GARRETT A. TEWS	48408
name	reg. no

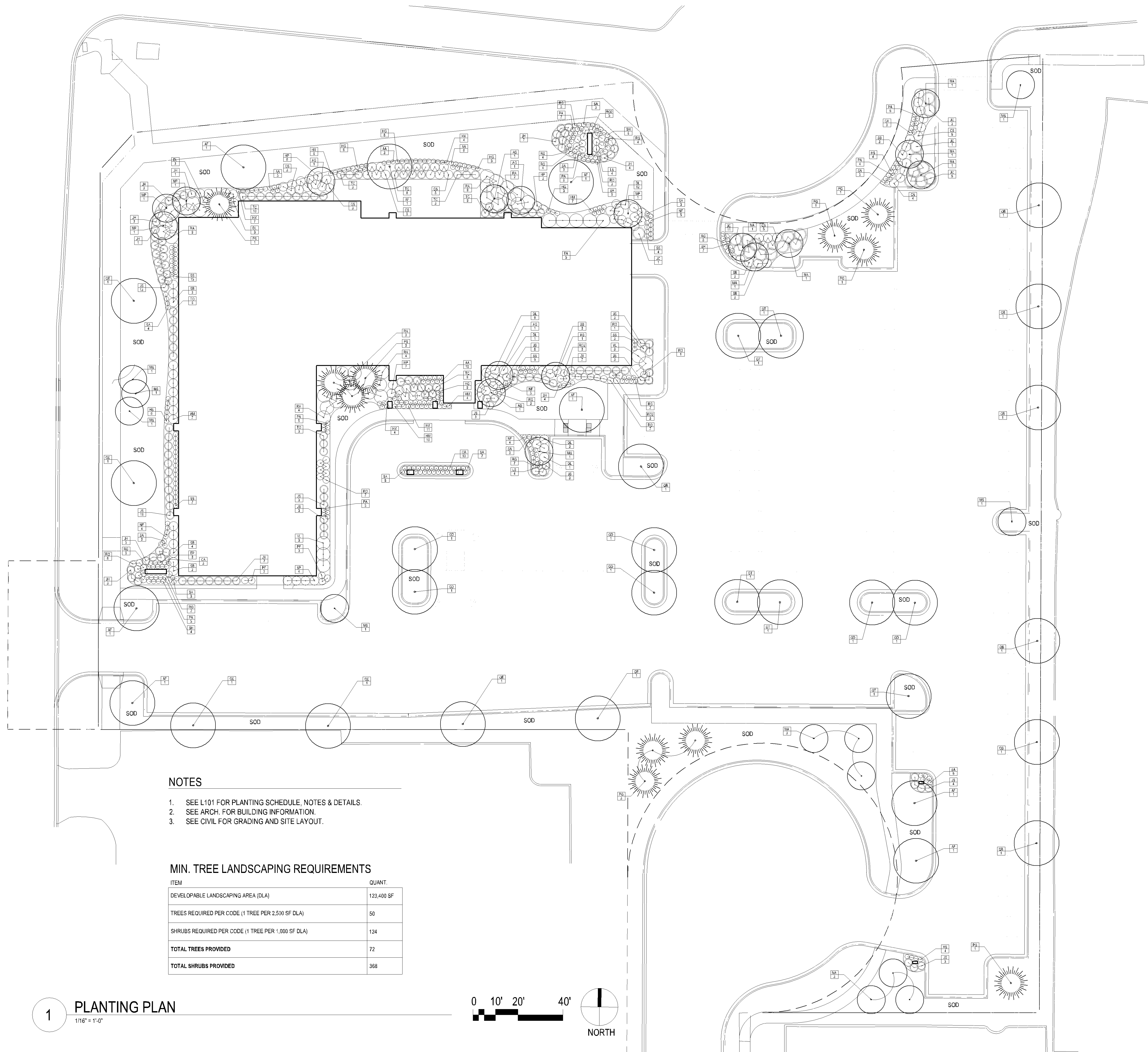
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Title

LANDSCAPE PLAN

sheet number

L 100



NOTES

1. SEE L101 FOR PLANTING SCHEDULE, NOTES & DETAILS
2. SEE ARCH. FOR BUILDING INFORMATION.
3. SEE CIVIL FOR GRADING AND SITE LAYOUT.

MIN. TREE LANDSCAPING REQUIREMENTS

ITEM	QUANT.
DEVELOPABLE LANDSCAPING AREA (DLA)	123,400 SF
TREES REQUIRED PER CODE (1 TREE PER 2,500 SF DLA)	50
SHRUBS REQUIRED PER CODE (1 TREE PER 1,000 SF DLA)	124
TOTAL TREES PROVIDED	72
TOTAL SHRUBS PROVIDED	368

1

PLANTING PLAN

$$1/16'' = 1'-0''$$

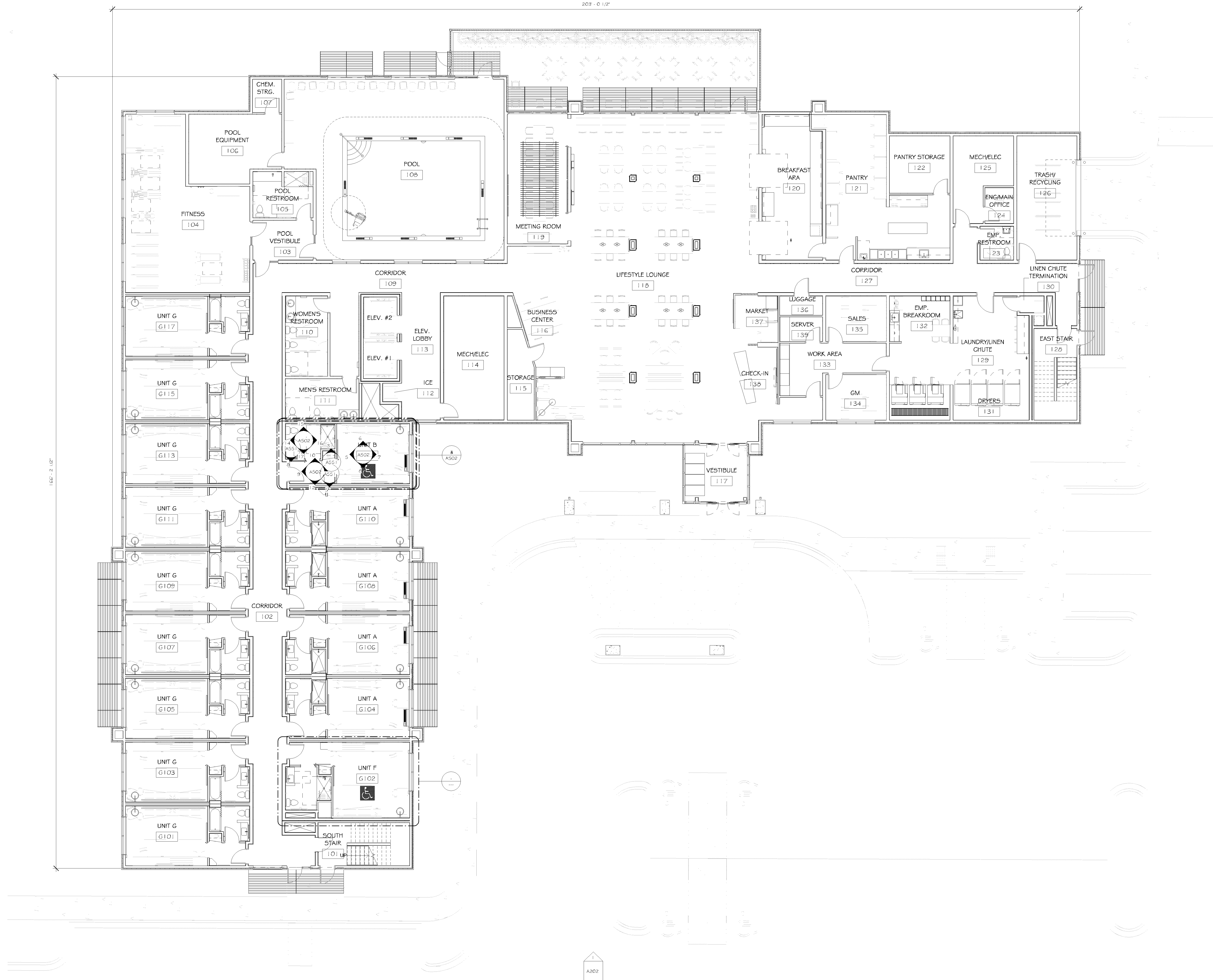
0 10' 20' 40'



NORTH

1. IRRIGATION PLAN TO BE PROVIDED BY IRRIGATION CONTRACTOR AND SUBMITTED FOR APPROVAL BY LANDSCAPE ARCHITECT. IRRIGATION PLAN SHALL INCLUDE RAIN SENSORS PER CITY REQUIREMENTS.
2. ALL PROPOSED PLANTS SHALL BE STAKED AS SHOWN ON THE DRAWINGS AND/OR AS DIRECTED IN THE FIELD BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT MUST APPROVE ALL STAKING LOCATIONS OF PLANT MATERIALS PRIOR TO ANY DIGGING. LANDSCAPE ARCHITECT SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF THE DELIVERY DATE FOR ALL PLANT MATERIALS.
3. EXISTING TREES INDICATED ON PLAN TO REMAIN. PROTECT FROM DAMAGE DURING CONSTRUCTION. ALL TREES OUTSIDE OF WORK LIMIT TO REMAIN UNLESS DAMAGED OR DISEASED. NOTIFY LANDSCAPE ARCHITECT OF ANY ADDITIONAL TREES REQUIRING REMOVAL. SEE ARCH. FOR LANDSCAPE DEMO AND TREE REMOVAL.
4. ALL DISTURBED AREAS SHALL BE RESTORED TO TURF UNLESS OTHERWISE SPECIFIED.
5. ALL PLANT MATERIAL SHALL BE WARRANTED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR AFTER THE OWNER'S WRITTEN ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO THE OWNER'S WRITTEN ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. LANDSCAPE ARCHITECT MUST APPROVE THE DECOMPACTED SUBGRADE AFTER DECOMPACTION WORK IS COMPLETE AND PRIOR TO TOPSOIL PLACEMENT.
7. SEE CIVIL FOR EARTHWORK REQUIREMENTS. PROVIDE A MINIMUM OF 12 INCHES OF PLANTING SOIL MIX CONSISTING OF 1/3 TOPSOIL, 1/3 SAND, AND 1/3 ORGANIC COMPOST IN ALL SHRUB AND PERENNIAL BEDS. WHERE SHRUBS OR PERENNIALS ARE GROUPED, CREATE ONE CONTINUOUS PLANTING BED. LANDSCAPE ARCHITECT MUST APPROVE SOIL MIXTURE PRIOR TO SPREADING. CONTRACTOR MUST SUBMIT TESTING RESULTS AND FERTILIZER RECOMMENDATIONS FOR REVIEW PRIOR TO APPROVAL. SEE PLANTING DETAILS.
8. ALL EDGED SHRUB PLANTING BEDS TO RECEIVE UNCOLORED 3 INCH DEPTH OF SHREDDED HARDWOOD BARK MULCH. LANDSCAPE ARCHITECT TO APPROVE MULCH PRIOR TO INSTALLATION.
9. ALL PLANTING BEDS NOT CONTAINED BY STRUCTURES, CURB, OR PAVING MUST BE EDGED WITH METAL LANDSCAPE EDGING. PERMALOC 'CLEANLINE' 4" X 3/16", MILL FINISH, OR APPROVED EQUAL.
10. WHERE SOD ABUTS PAVED SURFACES, FINISHED GRADE OF SOD MUST BE HELD 1 INCH BELOW THE SURFACE ELEVATION OF THE PAVED SURFACE.
11. SOD SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS.
12. ADJUSTMENT IN LOCATION OF PROPOSED PLANT MATERIAL MAY BE NEEDED IN THE FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED FOR APPROVAL PRIOR TO ADJUSTMENT.
13. ALL PLANT MATERIAL SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG PROVIDED BY NURSERY OR PLANT SOURCE WHICH SHALL NOT BE REMOVED PRIOR TO THE LANDSCAPE ARCHITECT'S APPROVAL.
14. ALL PLANT MATERIAL SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL OR OTHER FERTILIZER AS INDICATED MIXED IN WITH THE PLANTING SOIL PER MANUFACTURER'S INSTRUCTIONS.
15. ALL PLANT MATERIALS ARE TO BE INSTALLED PER PLANTING DETAILS.
16. WRAP ALL DECIDUOUS TREES FROM THE GROUND TO THE FIRST BRANCH FOR WINTER. WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED EXPRESSLY FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO DECEMBER 1ST, AND REMOVE ALL WRAPPING BETWEEN MAY 1ST AND JUNE 1ST, OR AS INSTRUCTED BY THE LANDSCAPE ARCHITECT.
17. IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THE LANDSCAPE CONTRACTOR SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
18. ALL SINGLE STEM TREES SHALL BE STOCK THAT WAS GROWN EXPRESSLY AS SUCH. MULTIPLE STEM STOCK WITH STEMS REMOVED WILL NOT BE ACCEPTED.
19. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR PRIOR TO SUBMISSION OF A BID AND/OR QUOTATION.
20. CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION UPON COMPLETION OF ALL PLANTING WORK.





1 FIRST FLOOR
SCALE: 1/8" = 1'-0"



NOTE:
ROOMS FOR HEARING IMPAIRED TO BE PROVIDED WITH VISIBLE & AUDIBLE ALARM FOR THE ELECTRICAL DESIGN DRAWINGS. DEVICES SHALL BE ACTIVATED BY BOTH THE IN-ROOM SMOKE DETECTOR AND THE BUILDING FIRE PROTECTION SYSTEM.
-SEE ROOM FRESH SCHEDULE FOR SHELVEING REQUIREMENTS.

ELEVATOR SCHEDULE				
LOCATION	MFG	CAPACITY	SPEED	USAGE
ELEV #1	SCHINDLER	2500M	150	GENERAL
ELEV #2	SCHINDLER	2500M	150	GENERAL

ROOM MATRIX							
ROOM TYPE/ROOM NAME	1ST	2ND	3RD	4TH	5TH	TOTAL UNITS	PERCENTAGES
UNIT A - KING (SHOWER)	4	10	10	10	10	44	25.6%
UNIT B - ADA KING (ROLL-IN SHOWER)	1	0	0	0	0	1	0.6%
UNIT C - KING SUITE (TUB)	0	2	2	2	3	9	5.3%
UNIT D - ADA KING SUITE (TUB)	0	1	1	1	0	3	1.8%
UNIT E - KING WIDE BAY (SHOWER)	0	2	2	2	2	8	4.7%
UNIT F - ADA KING WIDE BAY (ROLL-IN SHOWER)	1	0	0	0	0	1	0.6%
UNIT G - QUEEN/QUEEN (TUB)	9	20	20	20	20	89	52%
UNIT H - ADA QUEEN/QUEEN (TUB)	0	1	1	1	0	3	1.8%
UNIT I - QUEEN/QUEEN SUITE (TUB)	0	3	3	3	4	13	7.6%
UNIT TOTALS	15	39	39	39	39	171	100%

SEE OVERALL FLOOR PLANS FOR LOCATION OF ADA TUB UNITS (6 TOTAL UNITS)
SEE OVERALL FLOOR PLANS FOR LOCATION OF ADA ROLL-IN SHOWER UNITS (2 TOTAL UNITS)
SEE OVERALL FLOOR PLANS FOR LOCATION OF HEARING IMPAIRED/VISUAL UNITS (14 TOTAL UNITS)

Certification & Seal:

DATE:	2017-03-15
ISSUED:	
PHASE:	CITY REVIEW

PROJECT TITLE:
HOLIDAY INN EXPRESS & SUITES

5 STORIES
171 UNITS

PROJECT OWNER:
HAWKEYE HOTELS

PROJECT LOCATION:
BLOOMINGTON, MN

SHEET TITLE:
FIRST FLOOR PLAN

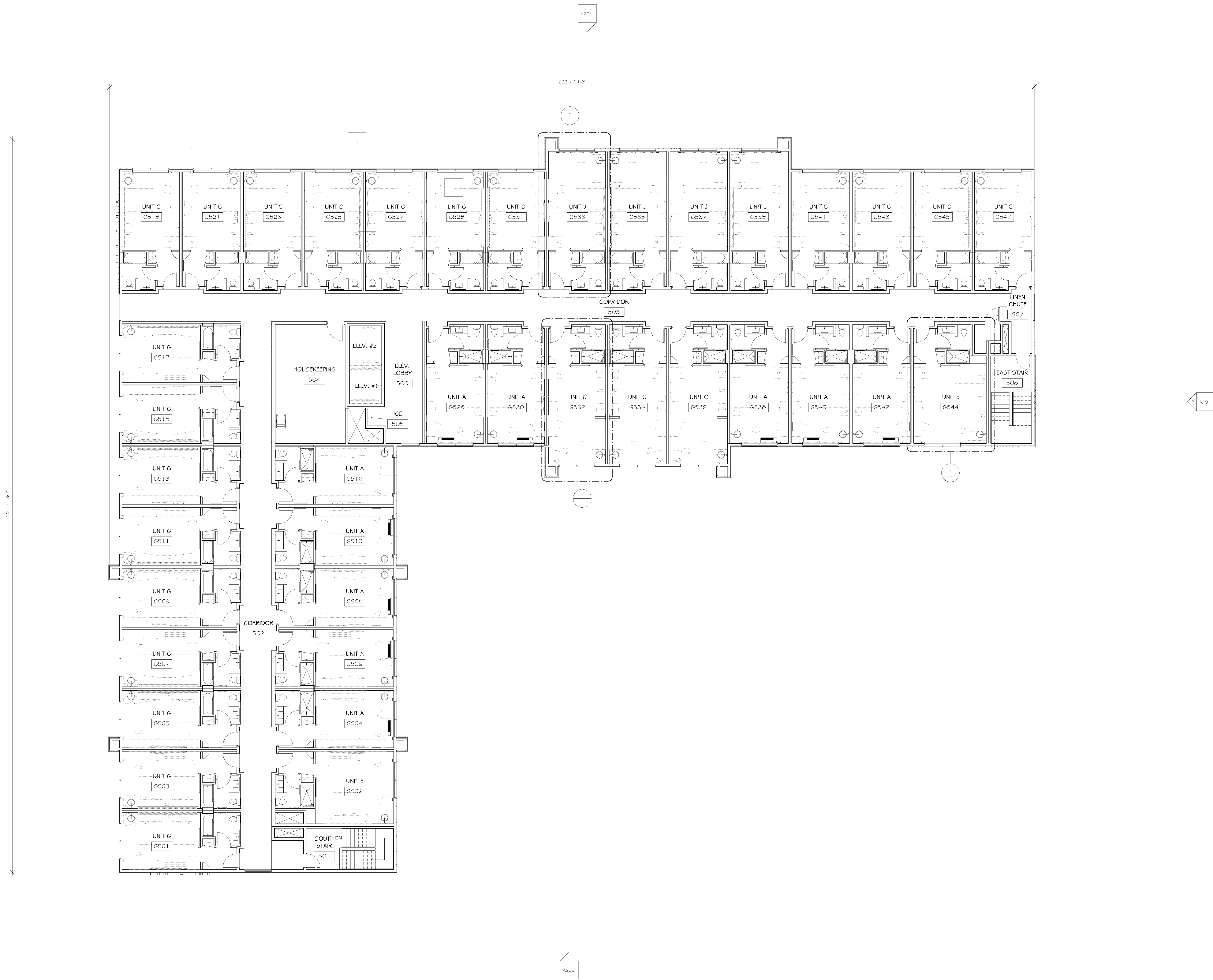
PROJECT NUMBER: **33476**
SHEET NUMBER: **A101**

Certification & Seal:

Revision	Date
DATE: 2017-03-15	
ISSUED	
PHASE: CITY REVIEW	
PROJECT TITLE: HOLIDAY INN EXPRESS	
5 STORIES 171 UNITS	
PROJECT OWNER: HAWKEYE HOTELS	
PROJECT LOCATION: BLOOMINGTON, MN	
SHEET TITLE: SECOND - FOURTH FLOOR PLAN	
PROJECT NUMBER	33476
SHEET NUMBER	A102



1 FIFTH FLOOR
SCALE: 1/8" = 1'-0"



Certification & Seal:

Revision	Date
DATE:	2017-03-15
ISSUED	
PHASE	CITY REVIEW

PROJECT TITLE:
**HOLIDAY INN
EXPRESS**

**5 STORIES
171 UNITS**

PROJECT OWNER:
HAWKEYE HOTELS

PROJECT LOCATION:
BLOOMINGTON, MN

SHEET TITLE:
FIFTH FLOOR PLAN

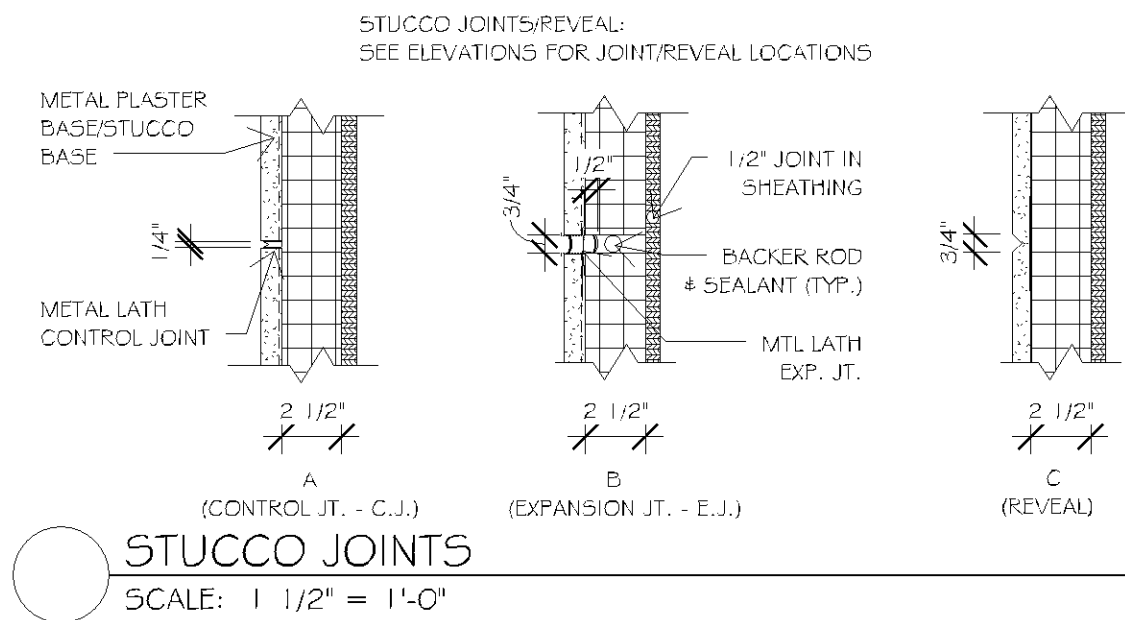
PROJECT
NUMBER
33476
SHEET
NUMBER
A103



1 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



STUCCO JOINTS
SCALE: 1 1/2" = 1'-0"

- EXTERIOR ELEVATION NOTES**
- ALL EXTERIOR VENTS & LOUVERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR. SEE MECHANICAL FOR SIZE AND LOCATIONS.
 - FOAM PLASTIC INSULATION GREATER THAN 4" IN THICKNESS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 75 AND A SMOKE DEVELOPED INDEX OF 450 WHERE TESTED AT A MINIMUM THICKNESS OF 4".
 - PROVIDE BLOCKING AND ELECTRICAL CIRCUITING TOO ALL SIGN LOCATIONS. COORDINATE WITH SIGN CONTRACTOR.
 - STUCCO NOT TO EXCEED 144 SQ. FT. W/O CONTROL JOINT. SEE DETAILS FOR CONTROL AND EXPANSION JOINTS.

EXTERIOR MATERIALS LEGEND	
	STUCCO COLOR #1 - PARX - SAND SMOOTH (533) - COLOR: #3011 "SUN DRIED"
	STUCCO COLOR #2 - PARX - SAND FINE (534) - COLOR: #3021 "TWIG"
	STUCCO COLOR #3 - PARX - SAND SMOOTH (533) - COLOR: #3027L "WOODLAND"
	STUCCO COLOR #4 - (AT ROOF COPING) - PARX - SAND SMOOTH (533) - COLOR: #10400L "SNOWBALL"
	MANUFACTURED STONE - BOULDER CREEK, FAST STAK, COLOR: "TAFFA BEIGE"
STUCCO - DO NOT EXCEED 144 SF BETWEEN CONTROL JOINTS. THE DISTANCE BETWEEN CONTROL JOINTS SHOULD NOT EXCEED 18 FEET IN EITHER DIRECTION WITH A LENGTH TO WIDTH RATIO OF 2.5 TO 1.	



1 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATION NOTES	
1.	ALL EXTERIOR VENTS & LOUVERS TO BE PAINTED TO MATCH ADJACENT WALL COLOR. SEE MECHANICAL FOR SIZE AND LOCATIONS.
2.	FOAM PLASTIC INSULATION GREATER THAN 4" IN THICKNESS SHALL HAVE A MAXIMUM FLAME SPREAD INDEX OF 75 AND A SMOKE DEVELOPED INDEX OF 450 WHEN TESTED AT A MINIMUM THICKNESS OF 4".
3.	PROVIDE BLOCKING AND ELECTRICAL GROUNDING TOO ALL SIGN LOCATIONS; COORDINATE WITH SIGN CONTRACTOR.
4.	STUCCO NOT TO EXCEED 144 SQ. FT. W/O CONTROL JOINT. SEE DETAILS FOR CONTROL AND EXPANSION JOINTS.

EXTERIOR MATERIALS LEGEND	
	STUCCO COLOR #1 - PAREX - SAND SMOOTH (533) - COLOR: #3011 "SUN DRIED"
	STUCCO COLOR #2 - PAREX - SAND FINE (534) - COLOR: #3021L "TWIG"
	STUCCO COLOR #3 - PAREX - SAND SMOOTH (533) - COLOR: #5027L "MOONDANCE"
	STUCCO COLOR #4 - (AT ROOF COPING) - PAREX - SAND SMOOTH (533) - COLOR: #10400L "SNOWBALL"
	MANUFACTURED STONE - BOULDER CREEK, FAST STAK, COLOR: "JAPTA BEIGE"
STUCCO - DO NOT EXCEED 144 SQ. FEET BETWEEN CONTROL JOINTS. THE DISTANCE BETWEEN CONTROL JOINTS SHOULD NOT EXCEED 18 FEET IN EITHER DIRECTION WITH A LENGTH TO WIDTH RATIO OF 5 TO 1.	

Certification & Seal:

Revision	Date
DATE:	2017-03-15
ISSUED:	
PHASE:	CITY REVIEW

PROJECT TITLE:
**HOLIDAY INN
EXPRESS & SUITES**

**5 STORIES
171 UNITS**

PROJECT OWNER:
HAWKEYE HOTELS

PROJECT LOCATION:
BLOOMINGTON, MN

SHEET TITLE:
EXTERIOR ELEVATIONS

PROJECT
NUMBER
33476

SHEET
NUMBER
A202





 **Holiday Inn Express & Suites**

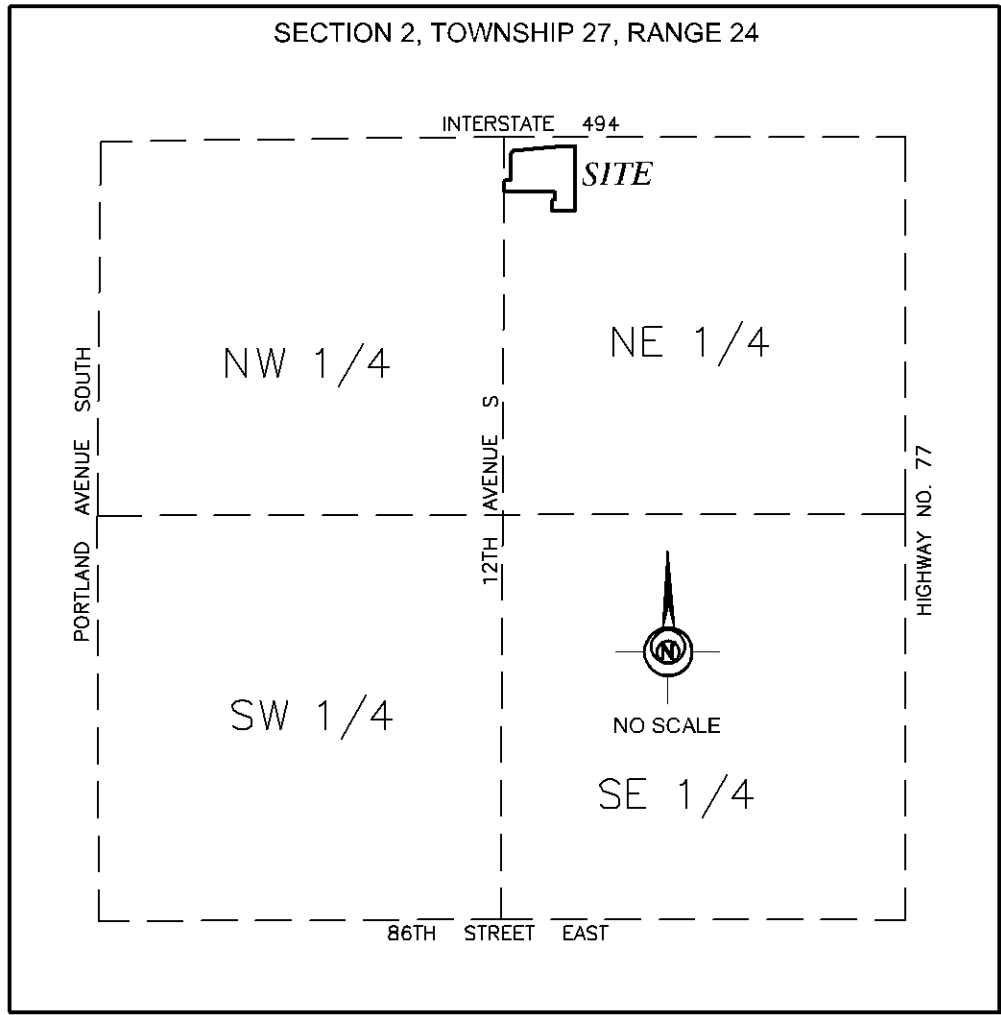
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SHEET 1 OF 1

C.R. DOC. NO. _____

Martin McCormick, County Registrar By: _____, Deputy

