



5616 DALRYMPLE RD  
EDINA, MN 55424  
BUS: (612)220-0152  
email: info@elliottdesignbuild.com

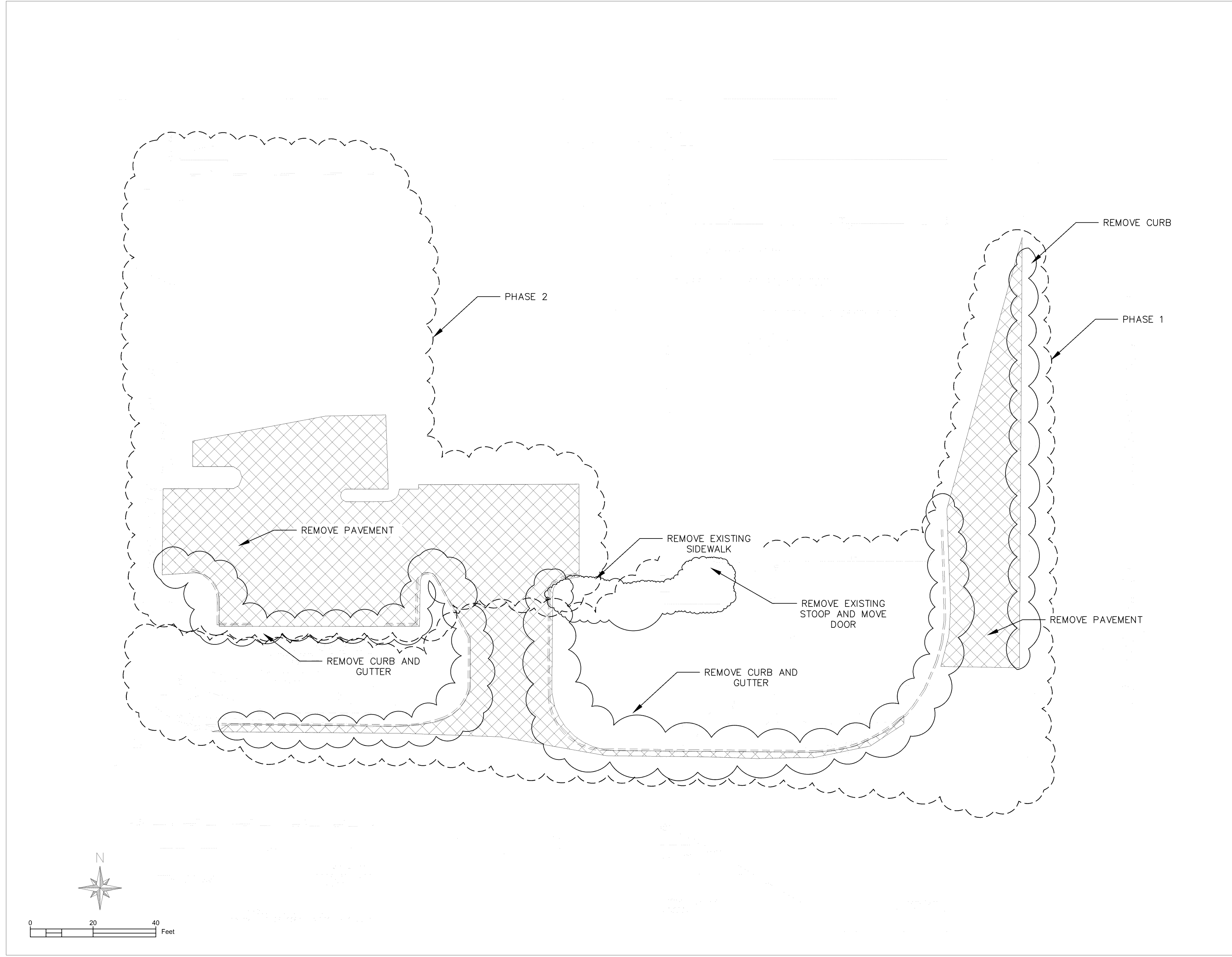
SERVICE RESTORATION  
300 W 83rd St,  
Bloomington, MN  
55420

BUILDING ADDITION  
AND SITE  
IMPROVEMENTS

PROJECT NO.	E352
DATE	07/14/2020
REVISION	No. DATE

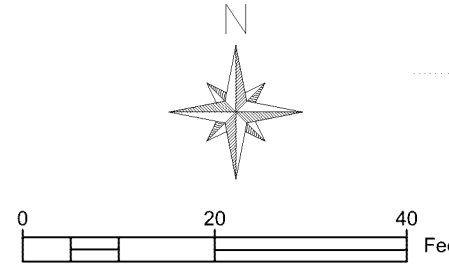
PRELIMINARY  
NOT FOR  
CONSTRUCTION

CIVIL SHEET INDEX	
SHEET	TITLE
C1	CIVIL REMOVALS
C2	GRADING AND EROSION
C3	UTILITY
C4	SITE PLAN
C5	LANDSCAPE PLAN



- LEGEND**
- AREA TO BE DEMOLISH
  - OBJECTS TO BE DEMOLISH
  - PHASES

- GENERAL NOTES:**
1. FOLLOW ALL CITY REQUIREMENTS.
  2. MINIMIZE DISTURBANCE TO LAWN DURING DEMOLITION RESTORE WHEN COMPLETE.
  3. PUBLIC STREETS ARE TO BE CLEAN OF DEBRIS AND DIRT ON A DAILY BASIS.
  4. STATE LAW REQUIRES NOTIFICATION OF GOPHER ONE CALL, BUT CAN BE LOCATED BY A CONTRACT LOCATOR OR OTHER SUITABLE MEANS.
  5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITY LINES PRIOR TO CONSTRUCTION.
  6. CONTRACTOR SHALL PROTECT AND SUPPORT AS NECESSARY ALL EXISTENCE PUBLIC AND PRIVATE UTILITIES.
  7. CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.



REMOVALS PLAN  
SCALE 1:20

DRAWING TITLE:  
CIVIL  
REMOVALS  
  
DRAWING NUMBER:  
  
C1

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SERVICE RESTORATION  
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GRADING AND  
EROSION CONTROL

PROJECT NO. E352

DATE 07/14/2020

REVISION	NO.	DATE

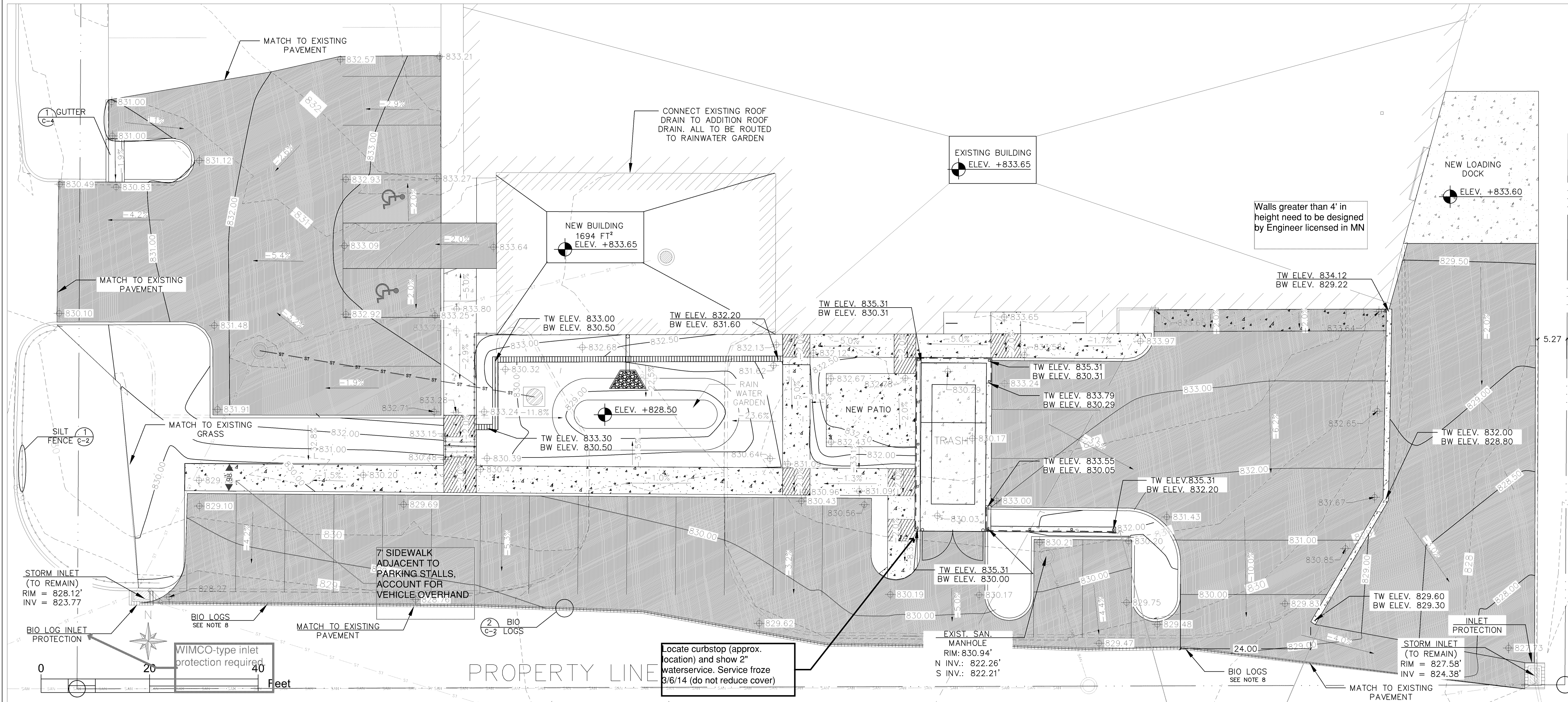
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CIVIL SHEET INDEX

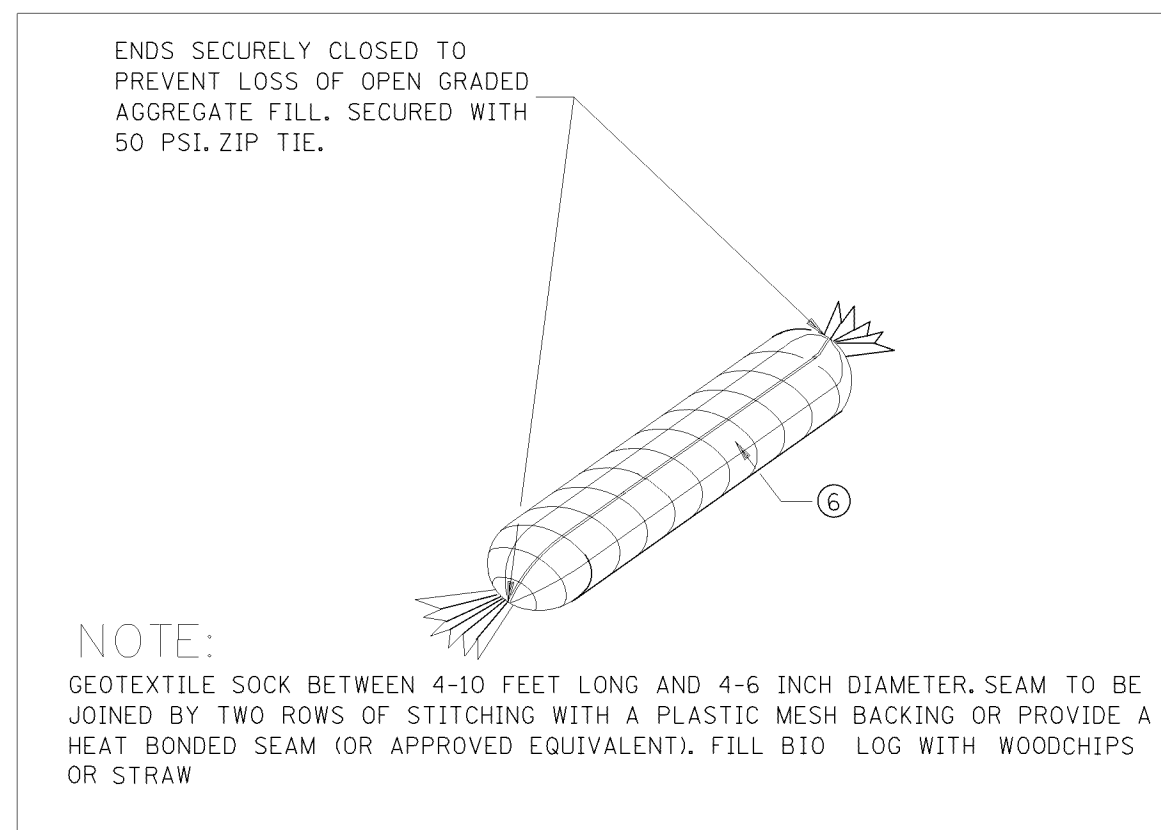
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DRAWING TITLE:  
CIVIL  
GRADING AND  
EROSION CONTROL

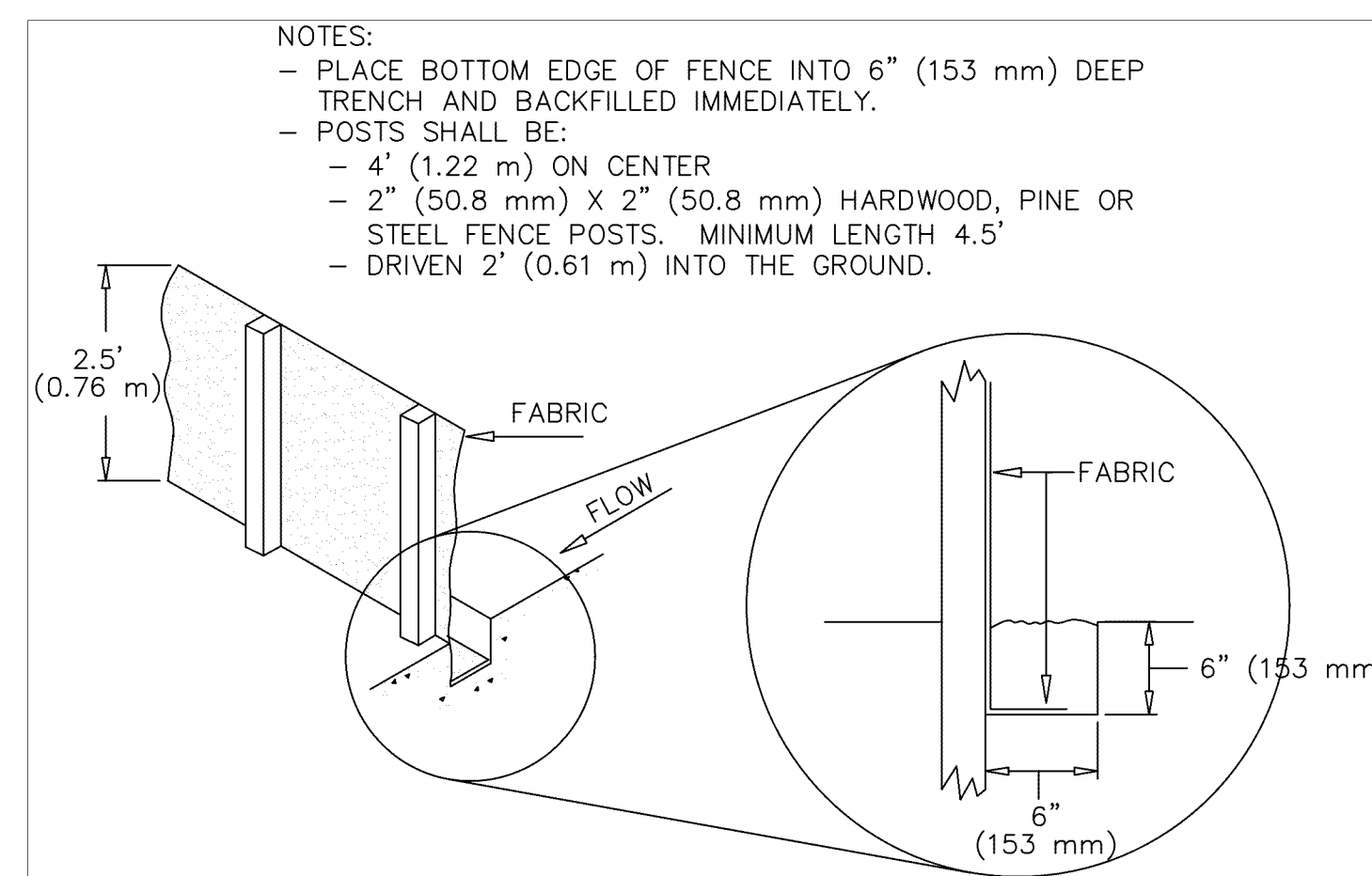
DRAWING NUMBER:  
C2



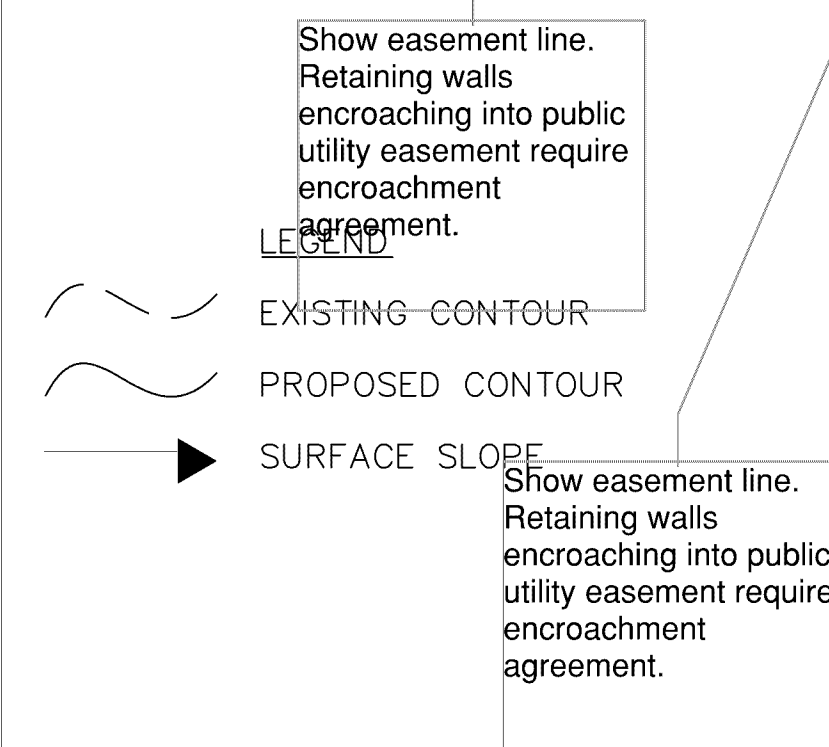
GRADING AND EROSION CONTROL PLAN  
SCALE 1:20



DETAIL 2  
BIO LOG  
NOT TO SCALE



DETAIL 1  
EROSION CONTROL  
FENCE (SILT FENCE)  
NOT TO SCALE



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  - INSTALL BIO LOGS ALONG THE PERIMETER OF THE EDGE PAVEMENT TO PREVENT SEDIMENT FROM LEAVING SITE.

Locate curbstop (approx. location) and show 2" waterservice. Service froze 3/6/14 (do not reduce cover)

Walls greater than 4' in height need to be designed by Engineer licensed in MN

EXISTING BUILDING  
ELEV. +833.65

NEW BUILDING  
1694 FT<sup>2</sup>  
ELEV. +833.65

NEW LOADING DOCK  
ELEV. +833.60

ELEV. +828.50

EXIST. SAN. MANHOLE  
RIM: 830.94'  
N INV.: 822.26'  
S INV.: 822.21'

STORM INLET (TO REMAIN)  
RIM = 827.58'  
INV = 824.38'



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SERVICE RESTORATION  
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UTILITY PLAN

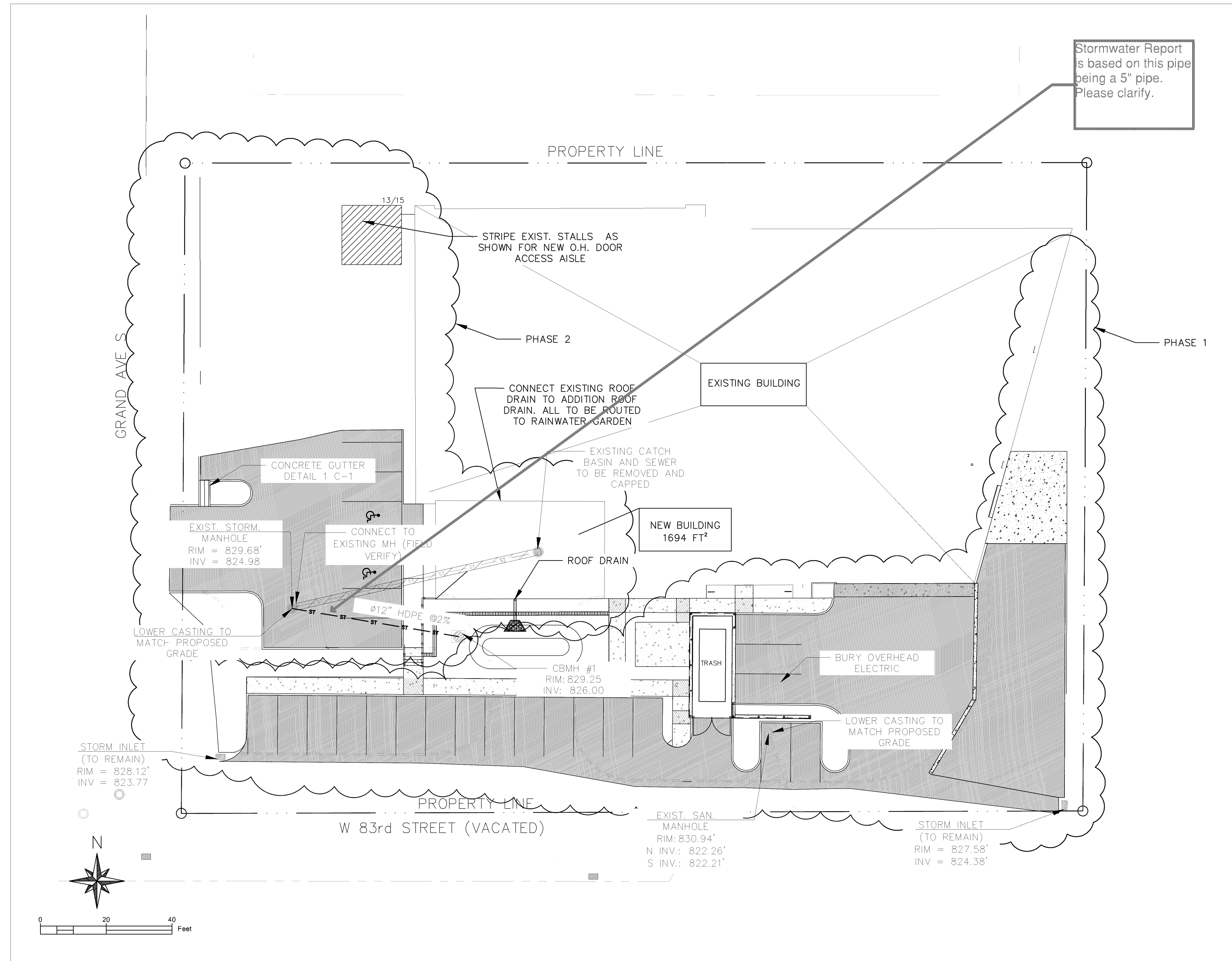
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DRAWING TITLE:  
UTILITY PLAN

DRAWING NUMBER:  
C3



Show disturbed area also.

AREA CALCULATIONS	
TOTAL SITE AREA FT²	54061
EXISTING IMPERVIOUS	
NAME	AREA FT²
BUILDING	19175
WALK	590
PARKING	19091
TOTAL %	71.87
PROPOSED IMPERVIOUS	
NAME	AREA FT²
BUILDING	21457
WALKS	1812
PARKING	21209
TOTAL %	82.27
ADDITIONAL IMPERVIOUS	5622 FT²

**LEGEND**  
 — ST — EXISTING STORM SEWER  
 — ST — PROPOSED STORM SEWER

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UTILITY PLAN  
SCALE 1:20

Pretreatment required for infiltration practices.

Provide detail for Outlet Control Structure.



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SITE PLAN

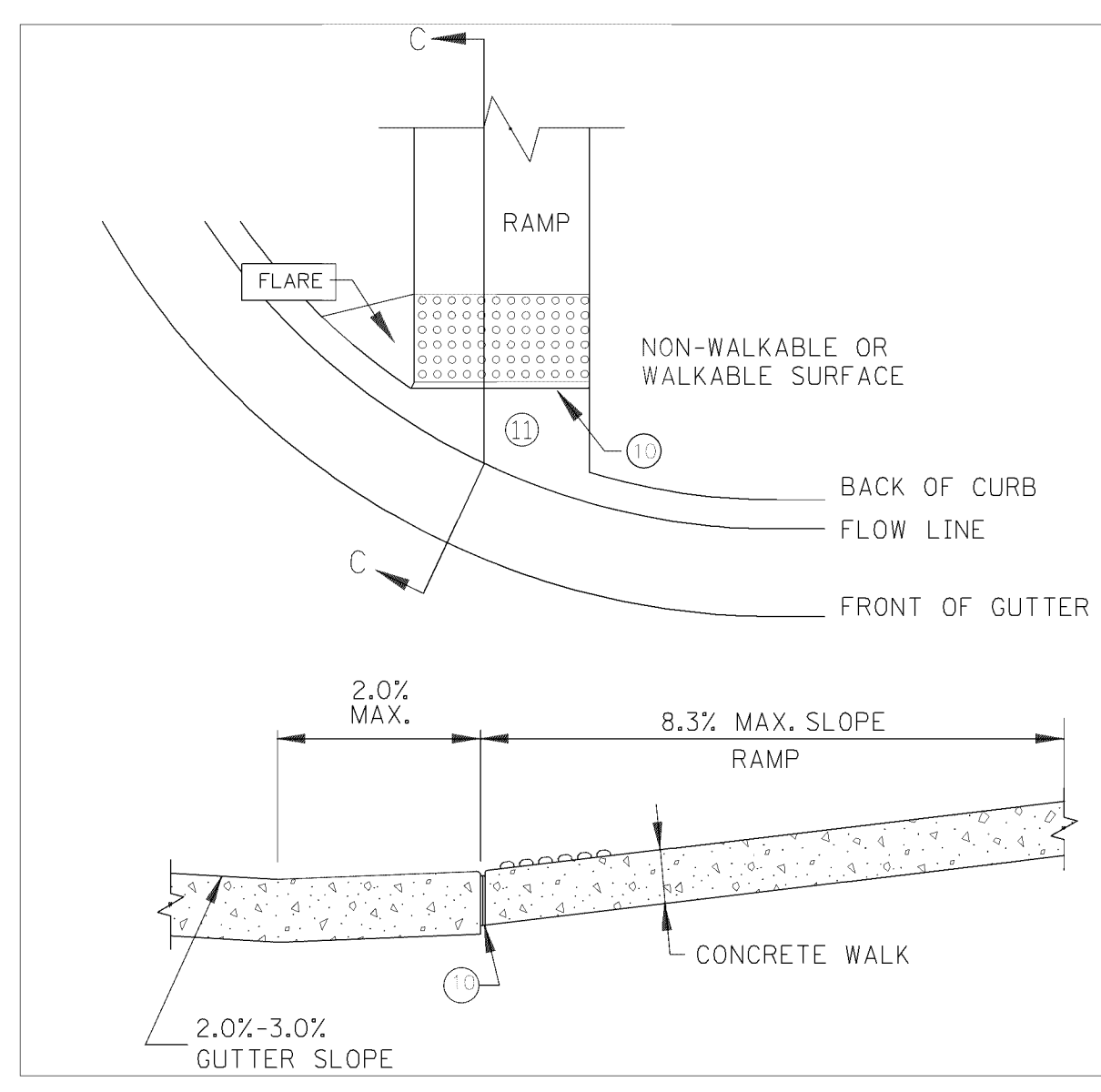
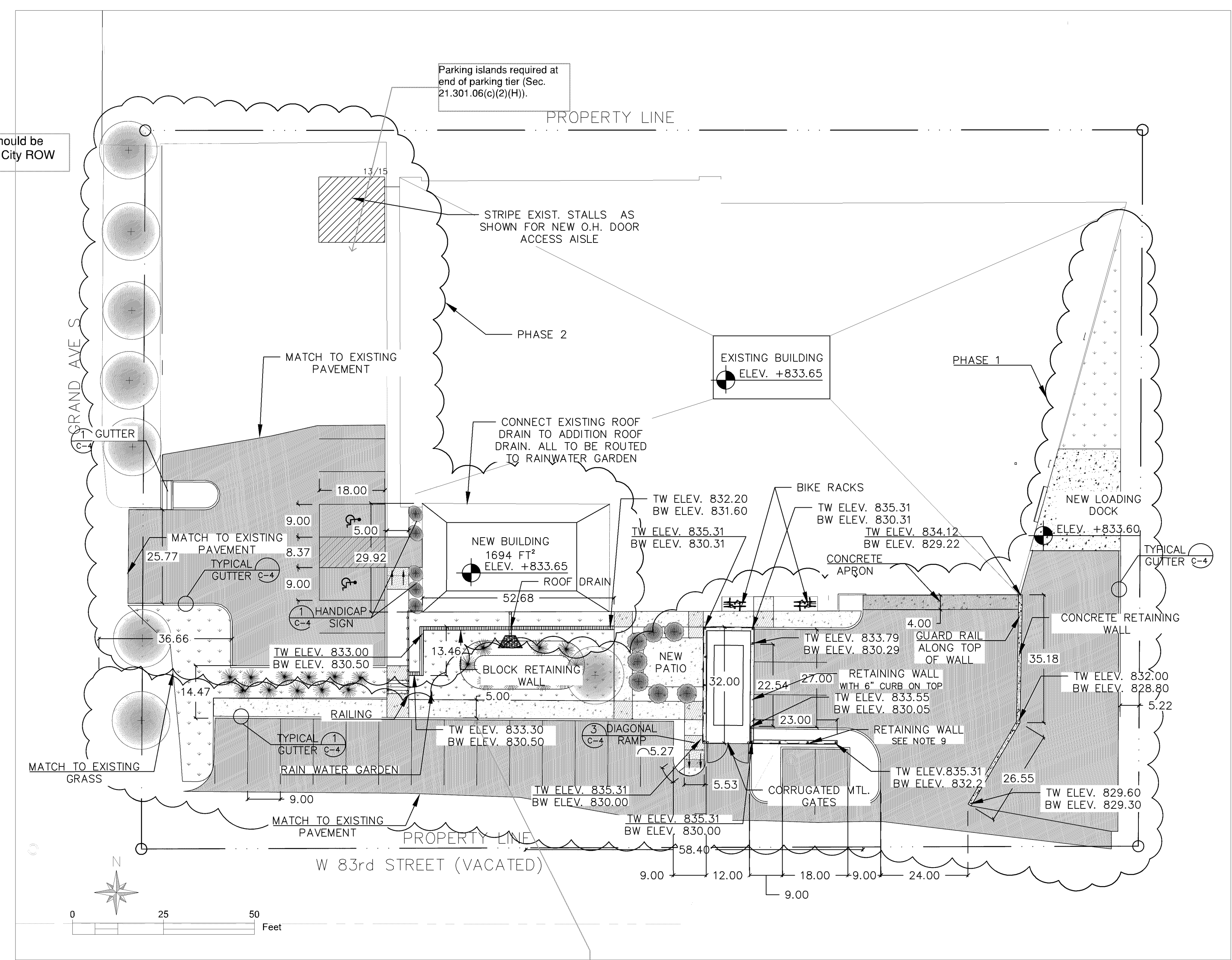
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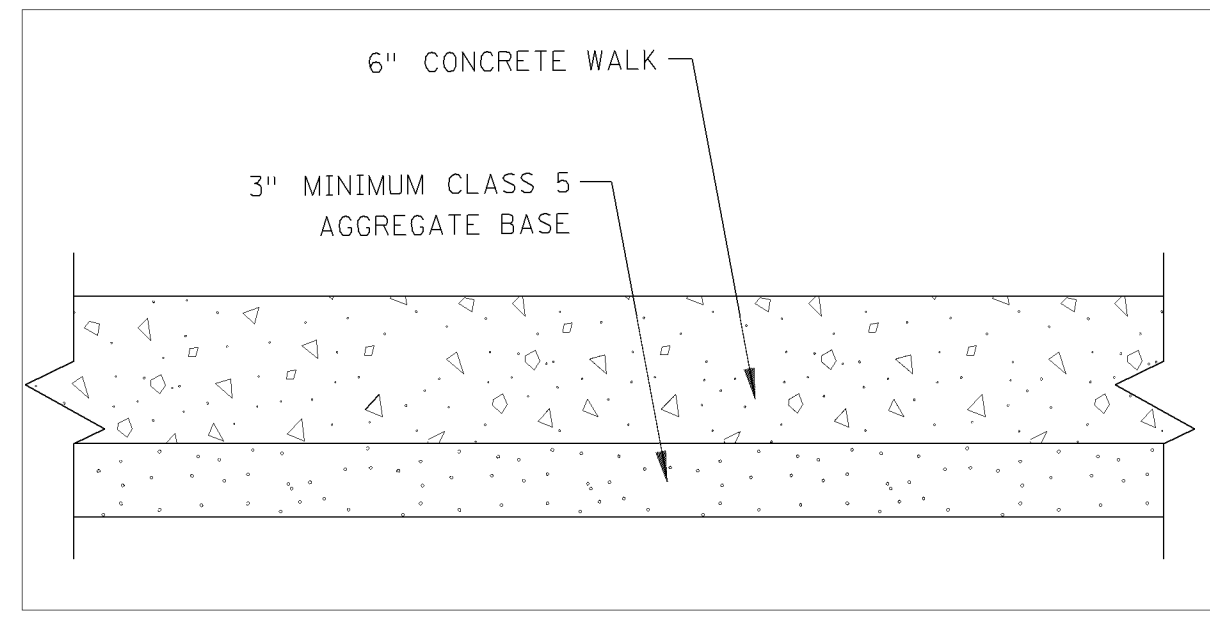
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DRAWING TITLE:  
CIVIL  
SITE PLAN  
  
DRAWING NUMBER:  
C4

All landscaping should be placed outside of City ROW



DETAIL 3  
DIAGONAL RAMP  
NOT TO SCALE

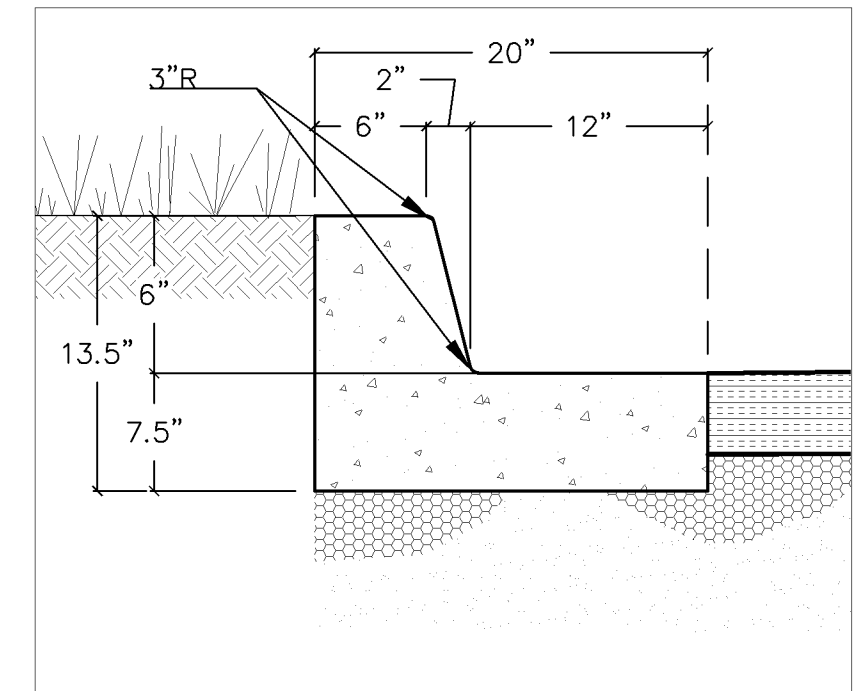


TYPICAL SIDEWALK SECTION  
NOT TO SCALE

- LEGEND**
- RUNNING SLOPE WALKS 8.3% (SEE NOTE 13)
  - LANDING WALKS (SEE NOTE 12)
  - NEW PAVEMENT AREA

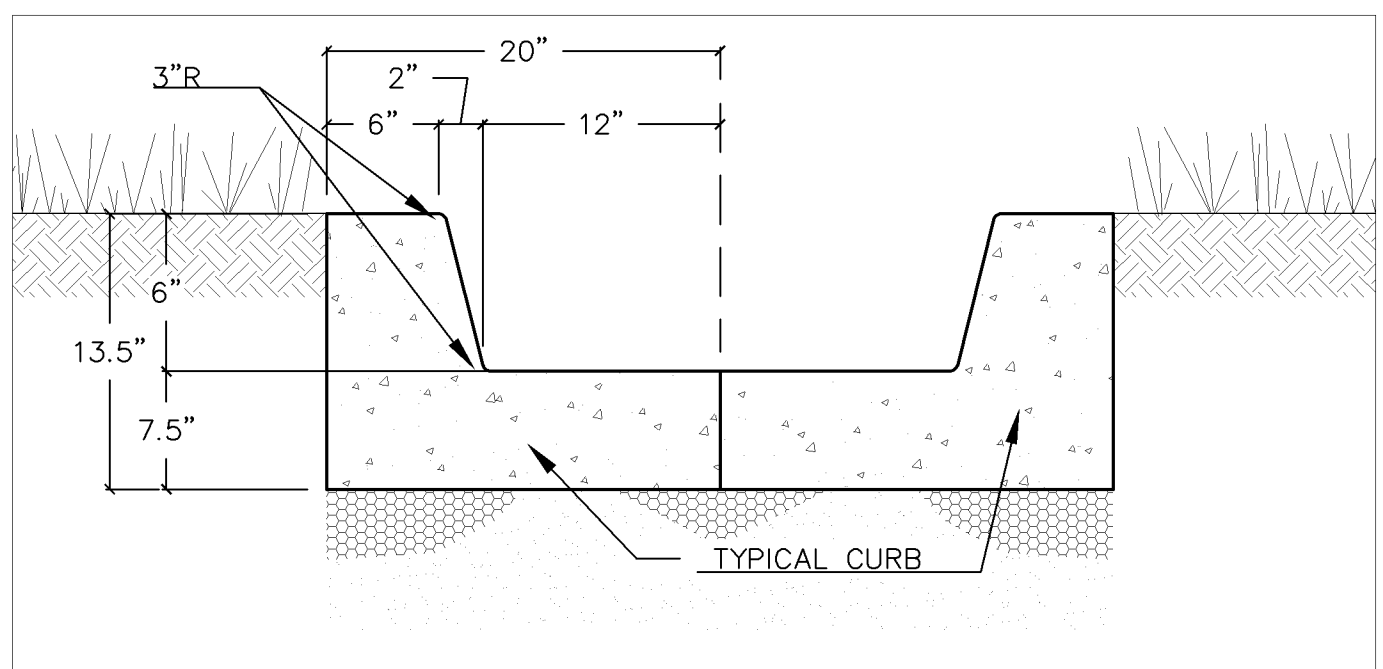
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  9. 5' POURED CONCRETE, ENCLOSURE WALL, 3' PRE-FINISHED CORRUGATED MTL. SCREENWALL MOUNTED ON TOP OF CONC. WALL
  10. 1/2" PREFORMED JOINT FILLER MATERIAL AASHTO M 213. JOINT FILLER SHALL BE PLACED FLUSH WITH BACK OF CURB AND ADJACENT SIDEWALK. JOINT SHALL BE FREE OF DEBRIS. RECTANGULAR DETECTABLE WARNING SHALL BE SET BACK OF CURB. RADIAL DETECTABLE WARNINGS SHALL BE SET BACK 3"-6" FROM THE BACK OF CURB.
  11. MAX. 2% SLOPE IN ALL DIRECTIONS IN FRONT OF GRADE BREAK AND DRAIN TO FLOW LINE SHALL BE CONSTRUCTED INTEGRAL WITH CURB AND GUTTER.
  12. 4' BY 4' MIN. LANDING WITH MAX 2% SLOPE IN ALL DIRECTIONS.
  13. RUNNING SLOPE LESS THAN OR EQUAL TO 8.3% AND CROSS SLOPE LESS THAN OR EQUAL TO 2%

SITE PLAN  
SCALE 1:20

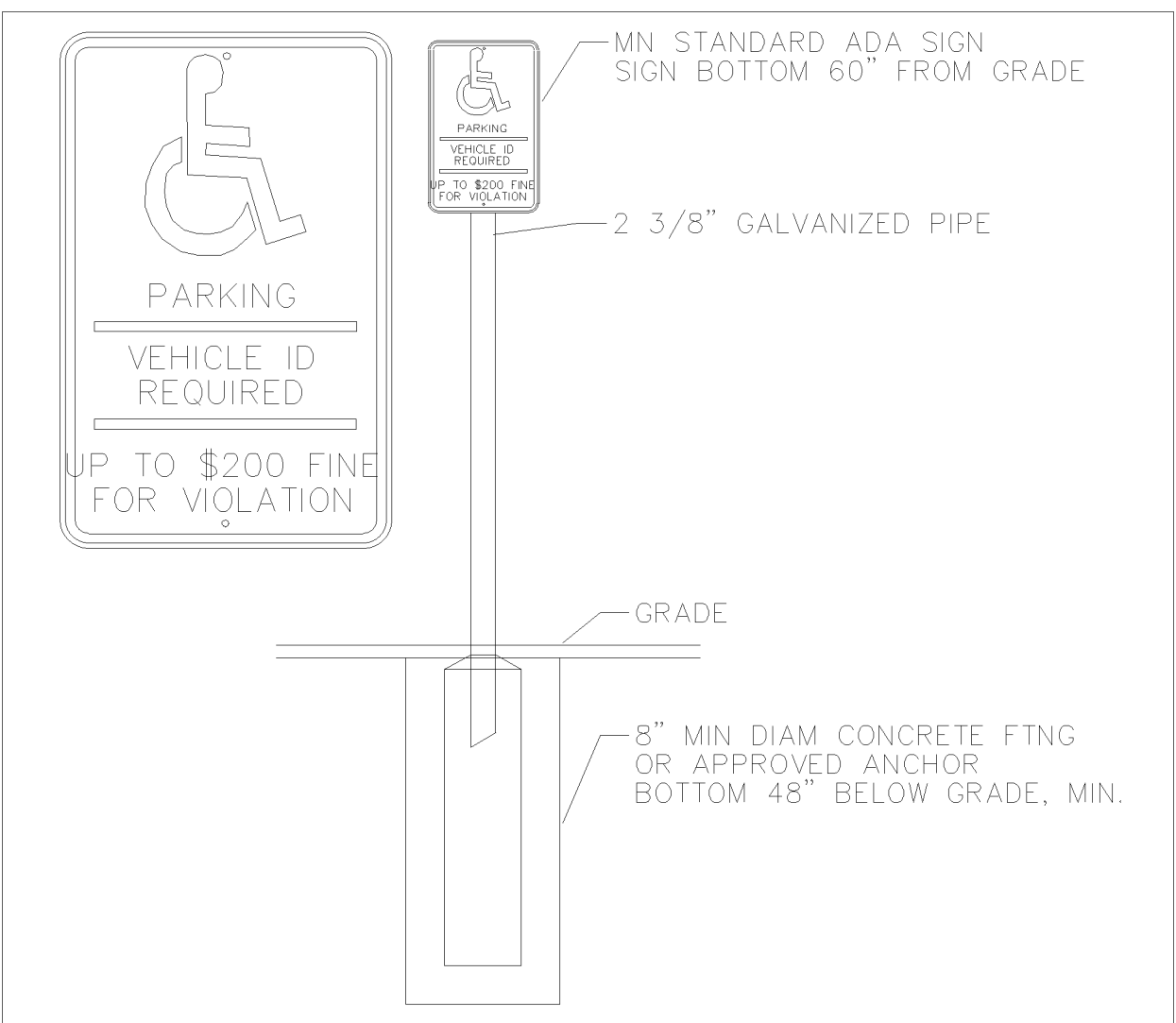


TYPICAL B6-12  
GUTTER DETAIL  
NOT TO SCALE

Minimum 7' walk width adjacent to parking stalls



DETAIL 1  
GUTTER  
NOT TO SCALE



DETAIL 2  
HANDICAP SIGN  
NOT TO SCALE

The plan does not meet the requirements for emergency vehicle access and turning radius.

With the new addition, Chapter 1306 of the building code applies which will require the entire building to be sprinklered.

Emergency responder radio coverage meeting the requirements of appendix L in the 2015 MSFC shall be provided throughout the property and within the structures.

Fire alarm and annunciator panels and Knox box locations to be determined by the Fire Prevention Division.

Hydrant coverage shall be provided within 50' of the FDC and within 150' of all portions of the structure.

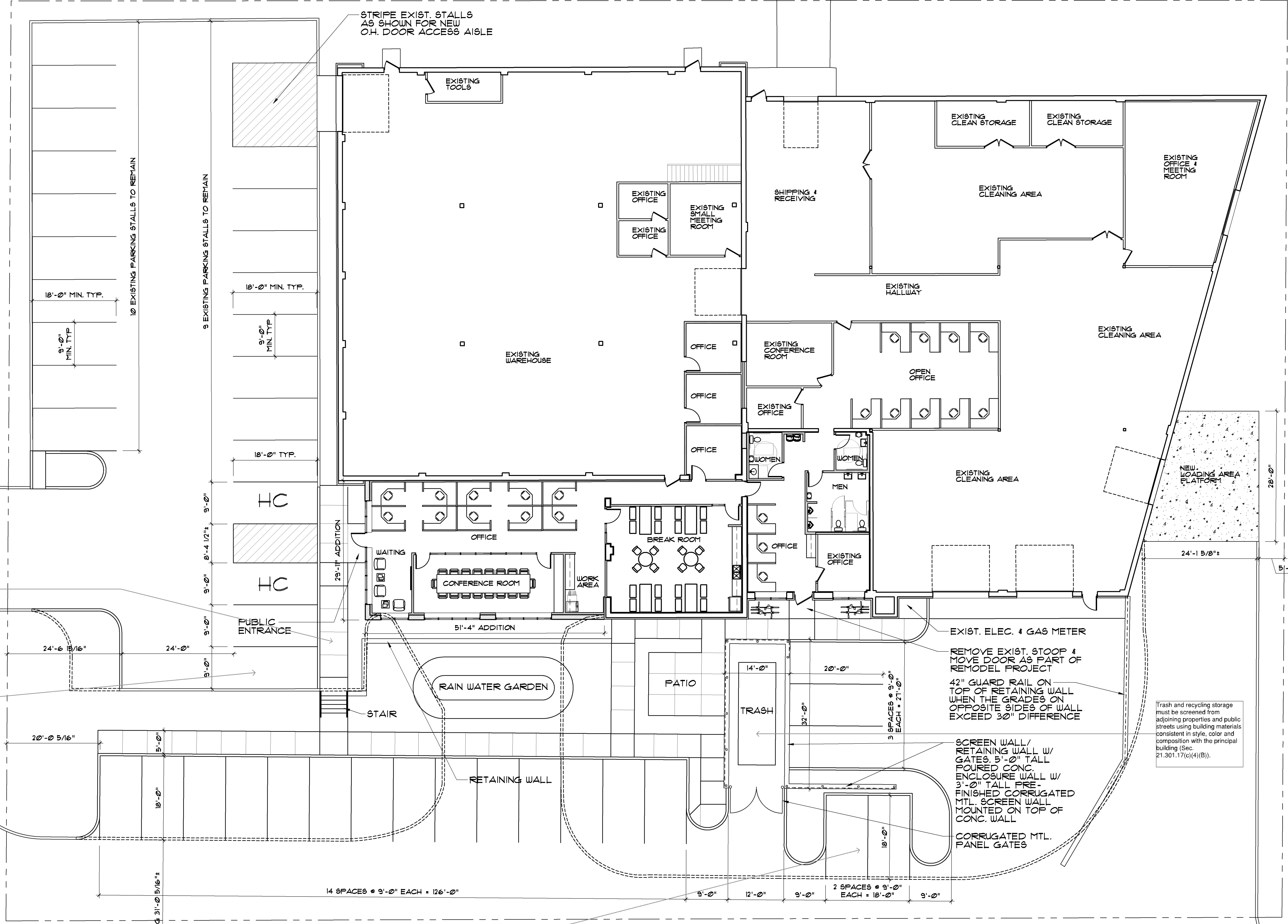
1084 Sterling Street  
St. Paul, Minnesota 55119  
tel: 651-739-7988  
fax: 651-739-3165

SERVICE RESTORATION ADDITION & REMODEL

300 W 83RD ST  
BLOOMINGTON, MN

KEY:  
 --- EXISTING CURB/PARKING TO REMAIN  
 - - - NEW CURB/PARKING TO REMAIN  
 - - - - EXISTING CURB/PARKING TO BE REMOVED

GRAND AVE S



- Must meet 2020 MN State Building Code
- Must meet 2020 MN Accessibility Code
- SAC review by MET council will be required.
- Provide a code analysis with the plans.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL UNDER THE LAWS OF THE STATE OF MINNESOTA.

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PROJECT NUMBER: 21923  
 DATE: JULY 16, 2020  
 DRAWN BY: JL  
 CHECKED BY: RR  
 REVISIONS: \_\_\_\_\_

SITE PLAN

A1.1

Sidewalks perpendicular to 90-degree parking must be seven feet in width.

Vehicle maneuvering may be difficult for this space, please evaluate.

Staff calculates the required minimum parking quantity (Sec. 21.301.06(d)) to be 38 parking stalls. Parking spaces located within the southern access easement would not count towards the required supply.

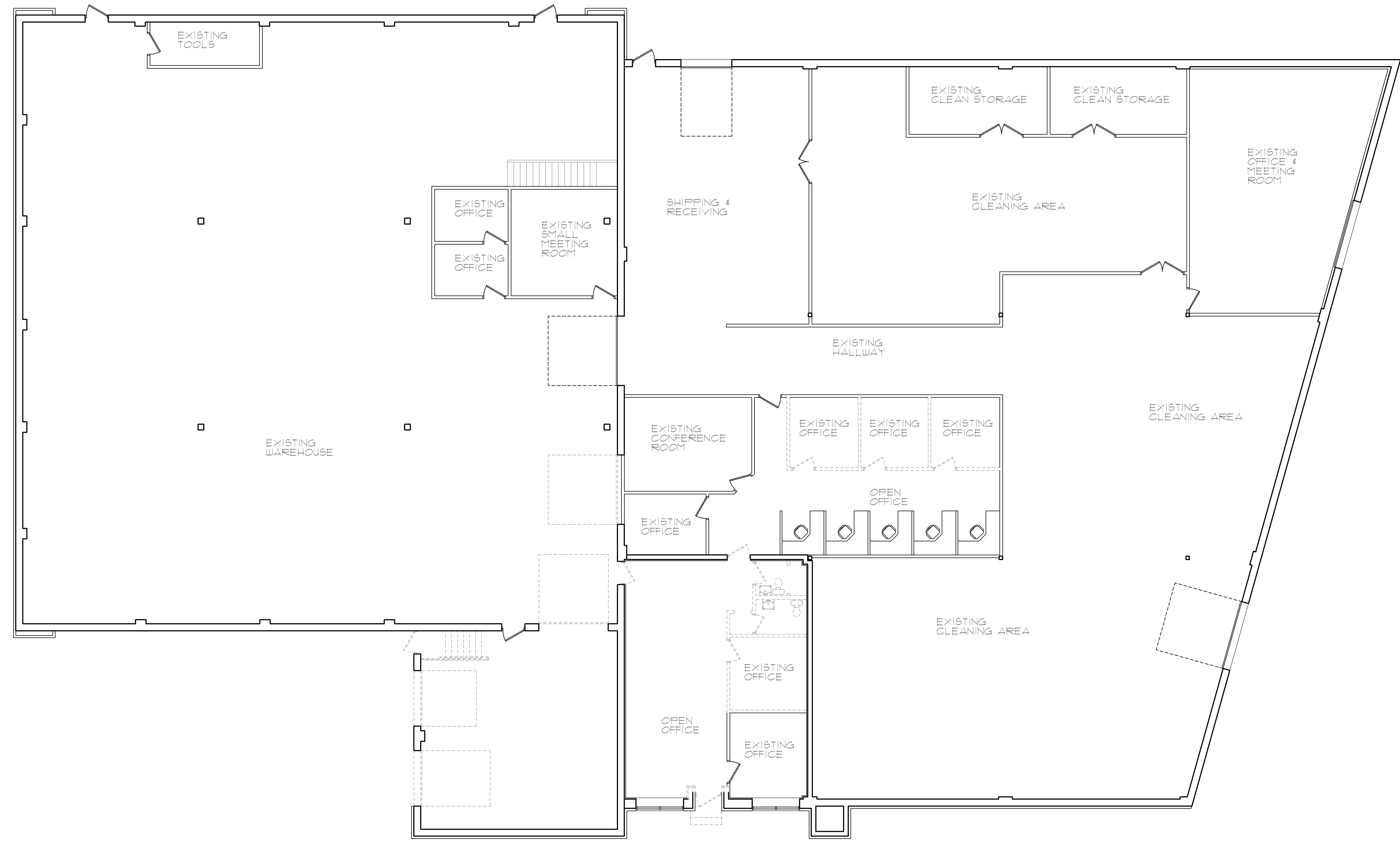
PARKING CALCULATIONS  
 OFFICE: 6086.18 SF. / 285 = 21.36 STALLS REQ'D.  
 WAREHOUSE: 8715.93 SF. / 1000 = 8.72 STALLS REQ'D.  
 INDUSTRIAL: 5016.72 SF. / 500 = 10.15 STALLS REQ'D.  
 21.36 + 8.72 + 10.15 = 40.23 (41) STALLS REQ'D.  
 42 PARKING STALLS SHOWN, INCLUDING 2 H.C. STALLS

1 SITE PLAN  
 3/32" = 1'-0" (ON 24x36 SHEET) NORTH

The shared driveway/access easement must be shown on the architectural and civil site plans. Parking stalls are not permitted within the access easement per the terms of the easement. There are 16 parking stalls shown within the access easement. These stalls would not count towards the parking supply from a Code compliance standpoint. The location or terms of the easement must be renegotiated with the property owner to the south in order to allow these parking stalls to be installed and count towards the required parking.

**SERVICE  
RESTORATION  
ADDITION &  
REMODEL**

**300 W 83RD ST  
BLOOMINGTON, MN**



**EXISTING FLOOR PLAN**  
1/8" = 1'-0" (ON 24x36 SHEET) NORTH

- KEY:**
- NEW CMU WALL
  - NEW STUD WALL
  - EXISTING WALL
  - EXISTING WALL TO BE REMOVED

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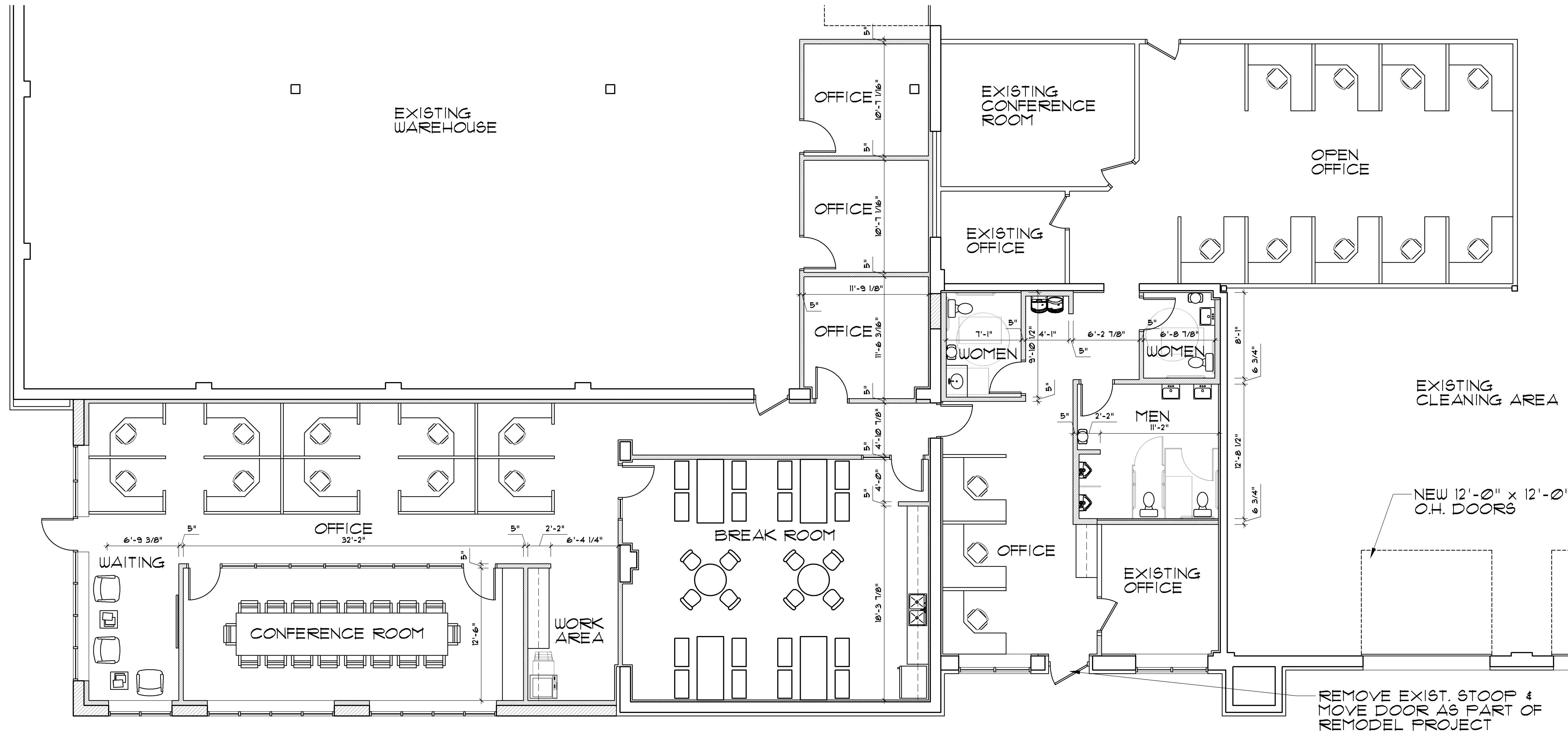
**EXISTING FLOOR PLAN**

**A2.1**



SERVICE  
RESTORATION  
ADDITION &  
REMODEL

300 W 83RD ST  
BLOOMINGTON, MN



1 ENLARGED REMODEL FLOOR PLAN  
A2.3 1/8" = 1'-0" (ON 24x36 SHEET)



- KEY:
- NEW CMU WALL
  - NEW STUD WALL
  - EXISTING WALL
  - EXISTING WALL TO BE REMOVED

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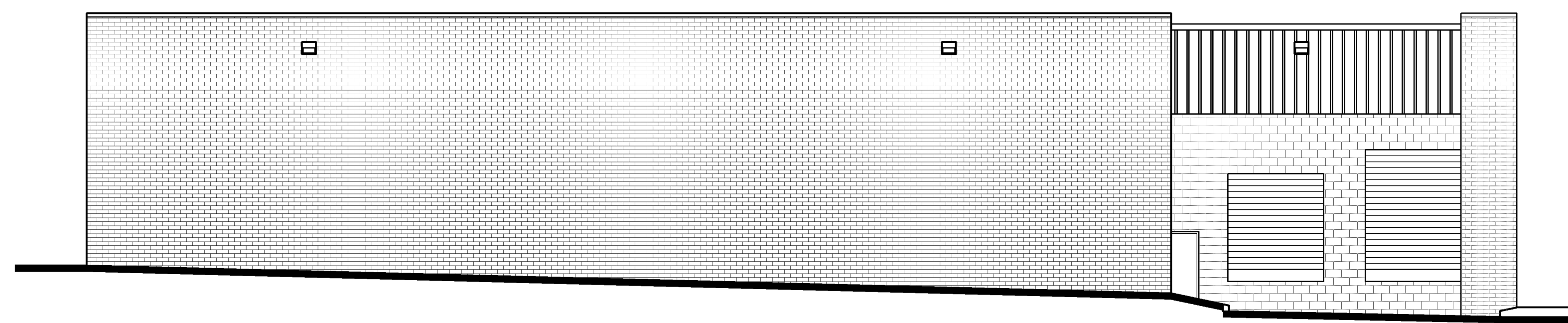
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ENLARGED REMODEL  
FLOOR PLAN

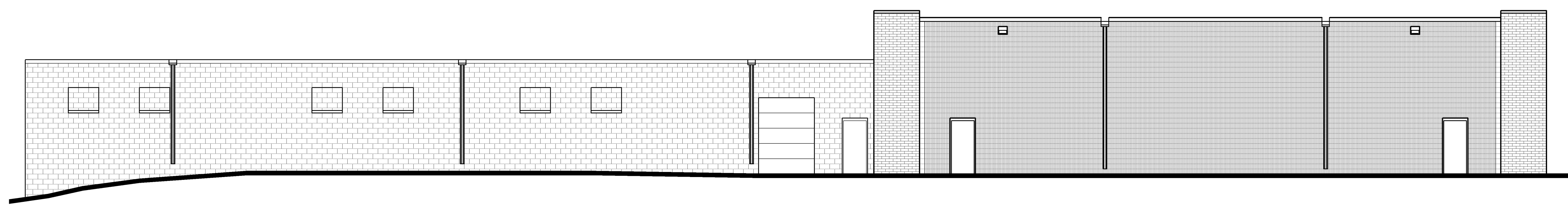
A2.3



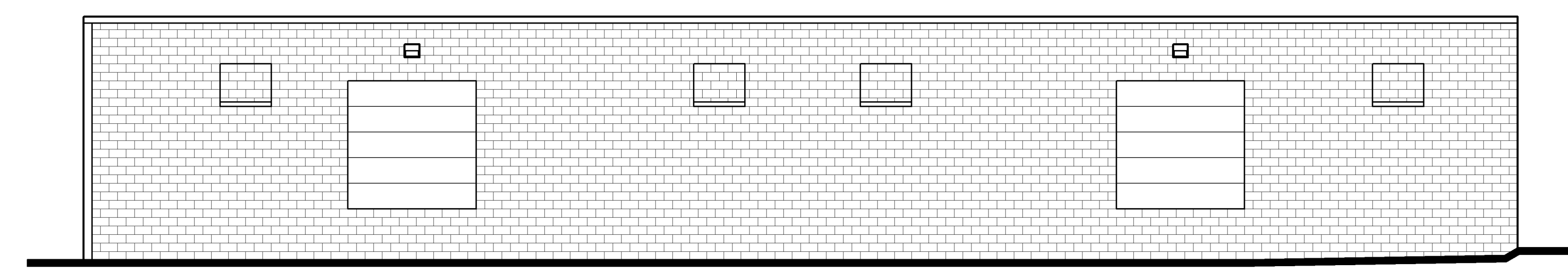
1  
A31 EXISTING SOUTH ELEVATION  
1/8" = 1'-0" (ON 24x36 SHEET)



2  
A31 EXISTING WEST ELEVATION  
1/8" = 1'-0" (ON 24x36 SHEET)



3  
A31 EXISTING NORTH ELEVATION  
1/8" = 1'-0" (ON 24x36 SHEET)



4  
A31 EXISTING EAST ELEVATION  
1/8" = 1'-0" (ON 24x36 SHEET)

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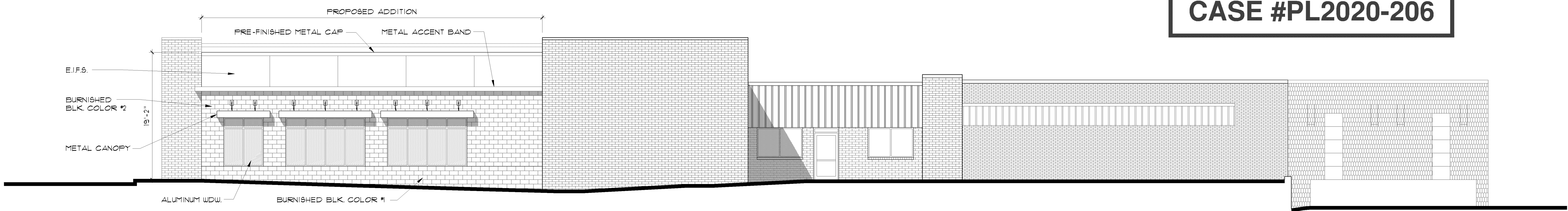
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**EXISTING ELEVATIONS**

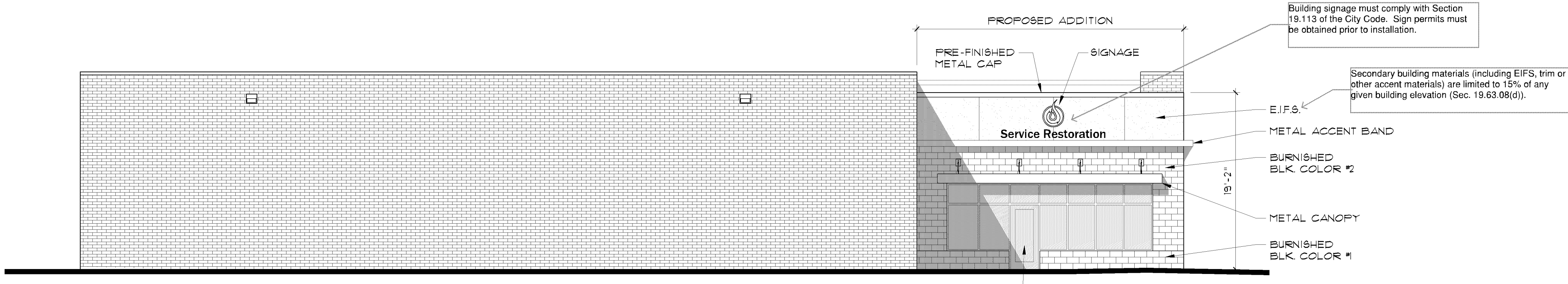
**A3.1**

**SERVICE  
RESTORATION  
ADDITION &  
REMODEL**

300 W 83RD ST  
BLOOMINGTON, MN



1  
432  
**PROPOSED ADDITION SOUTH ELEVATION**  
1/8" = 1'-0" (ON 24x36 SHEET)



2  
432  
**PROPOSED ADDITION WEST ELEVATION**  
1/8" = 1'-0" (ON 24x36 SHEET)

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**PROPOSED ADDITION  
ELEVATIONS**

**A3.2**



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SERVICE RESTORATION  
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LANDSCAPE PLAN

PROJECT NO. E352

DATE 07/13/2020

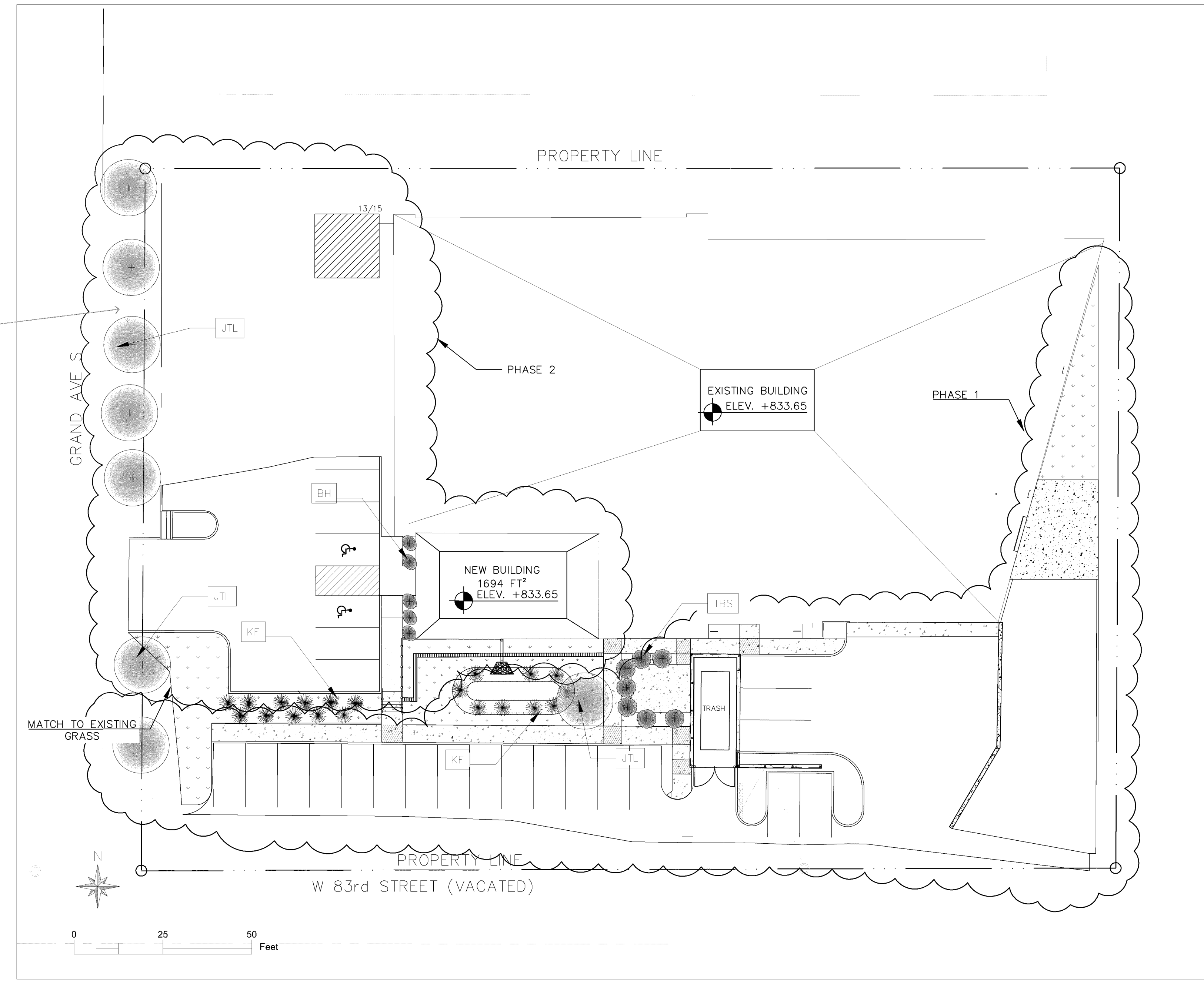
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DRAWING TITLE:  
LANDSCAPE PLAN  
  
DRAWING NUMBER:  
C5



No trees in ROW  
Encroachment  
agreement?

Landscaping must be added based on site disturbance at a rate of one tree per 2,500 square feet and one shrub per 1,000 square feet of disturbance. Based on a site disturbance value of 21,702 square feet, the project must include a minimum of 9 trees and 22 shrubs, whereas 8 trees and 19 shrub units are proposed. Perennial grasses count towards the shrub requirement at a rate of four perennials equals one shrub.

PLANT SCHEDULED		
SYMBOL	NAME	QTY
TBS	tor birchleaf spirea	9
BH	bloomstruck hydrangea	5
JTL	JAPANESE TREE LILAC	8
KF	KARL FOERSTER	20

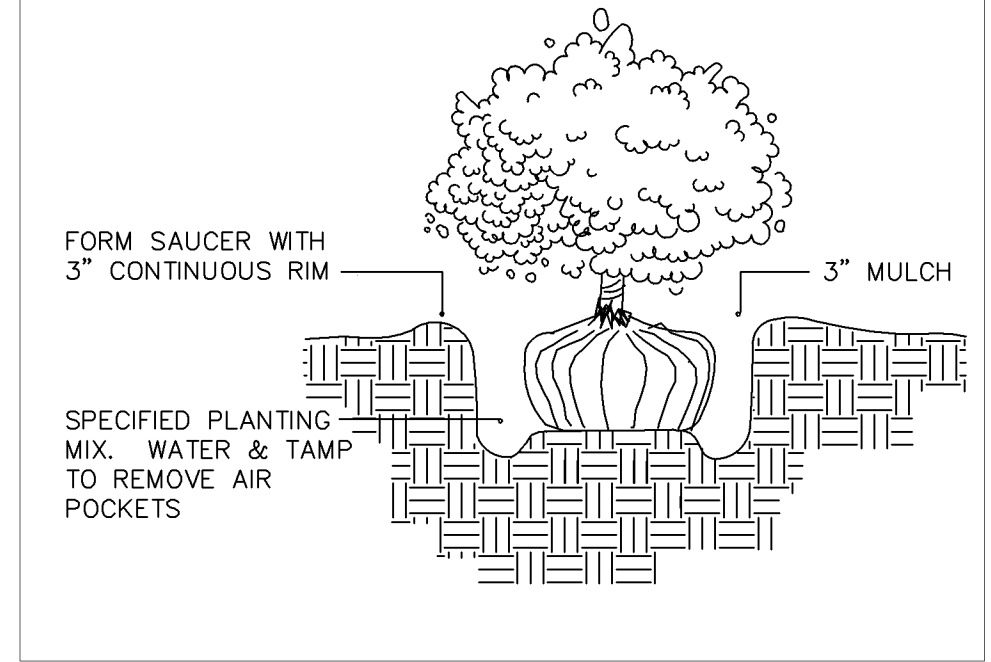
According to the City's supplemental landscaping policy, ornamental trees should only account for 25% of trees installed. Please add deciduous (overstory) and evergreen varieties.

**LEGEND**

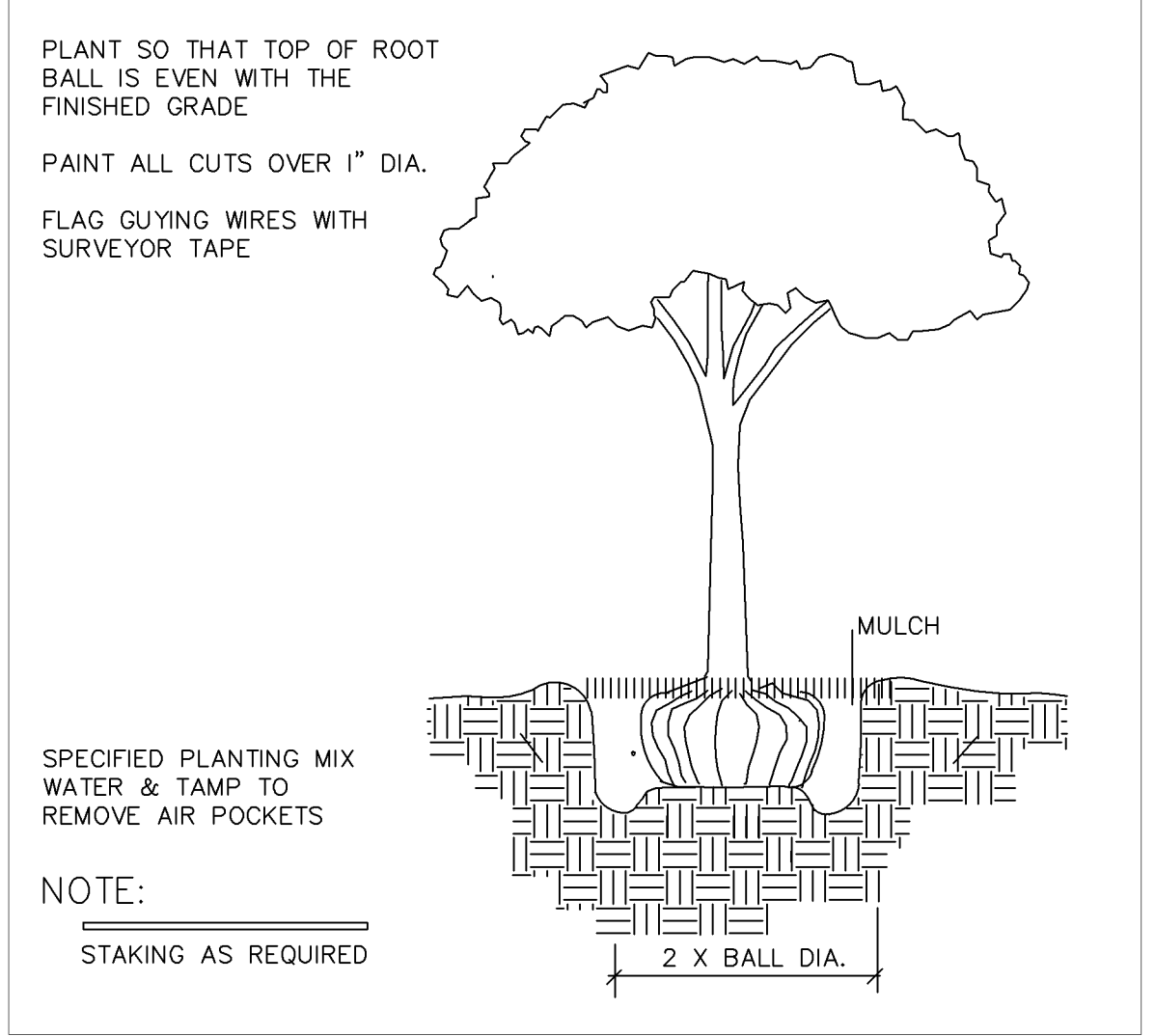
	LANDSCAPE ROCK
	LANDSCAPE GRASS

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  - CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITY LINES PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL PROTECT AND SUPPORT AS NECESSARY ALL EXISTENCE PUBLIC AND PRIVATE UTILITIES.
  - CONTRACTOR SHALL FOLLOW ALL LOCAL, STATE AND FEDERAL REGULATIONS IN DISPOSING OF DEMOLISHED MATERIALS REMOVED FROM THIS SITE.
  - INSTALL BIO LOGS ALONG THE PERIMETER OF THE EDGE PAVEMENT TO PREVENT SEDIMENT FROM LEAVING SITE
  - 5' POURED CONCRETE, ENCLOSURE WALL, 3' PRE-FINISHED CORRUGATED MTL. SCREENWALL MOUNTED ON TOP OF CONC. WALL

LANDSCAPE PLAN  
SCALE 1:20



TREE PLANTING  
NOT TO SCALE



TREE PLANTING  
NOT TO SCALE