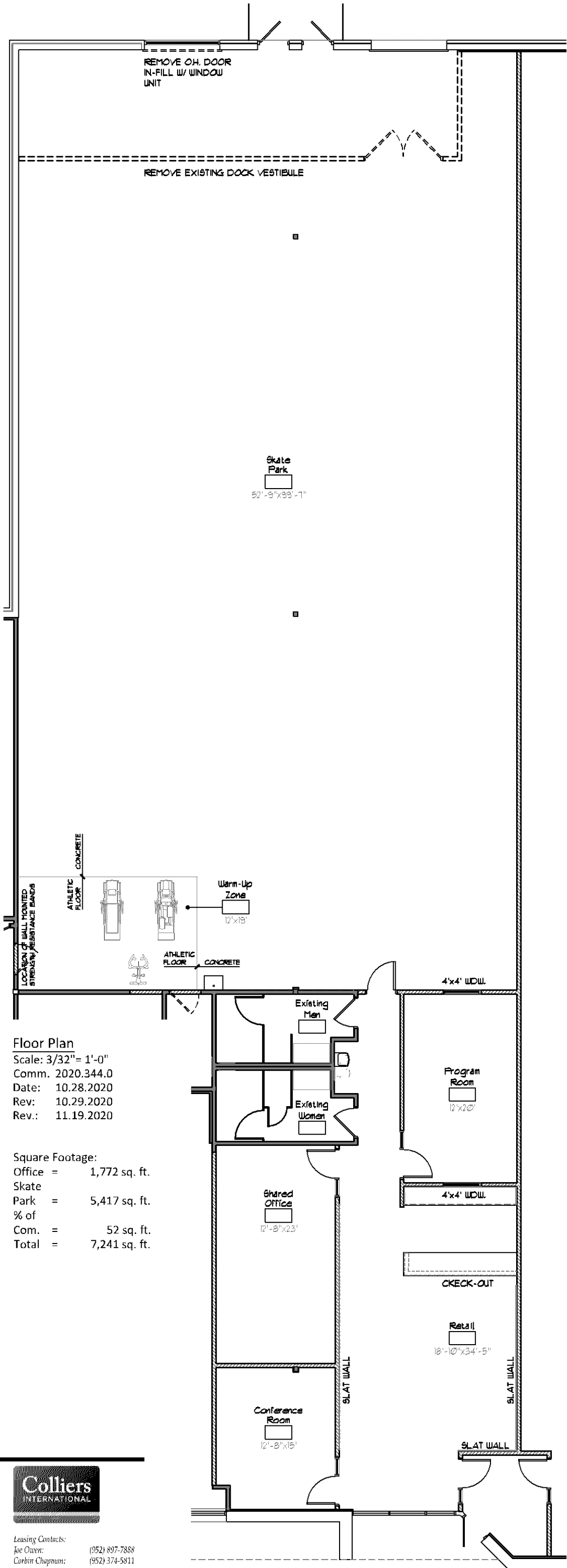


PL2020000230

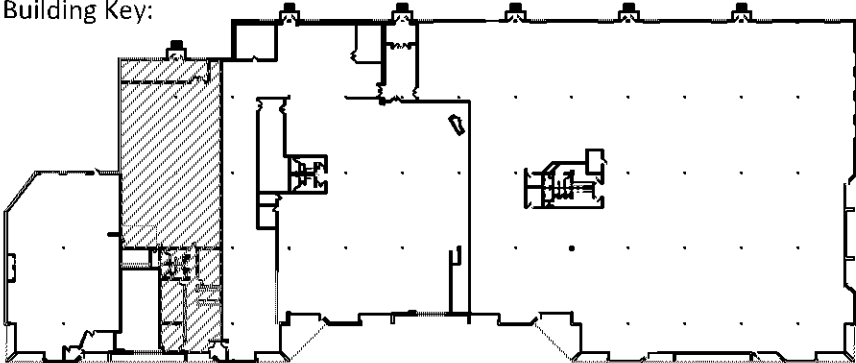
PL2020-230



Floor Plan
Scale: 3/32"= 1'-0"
Comm. 2020.344.0
Date: 10.28.2020
Rev: 10.29.2020
Rev.: 11.19.2020

Square Footage:
Office = 1,772 sq. ft.
Skate
Park = 5,417 sq. ft.
% of
Com. = 52 sq. ft.
Total = 7,241 sq. ft.

Building Key:



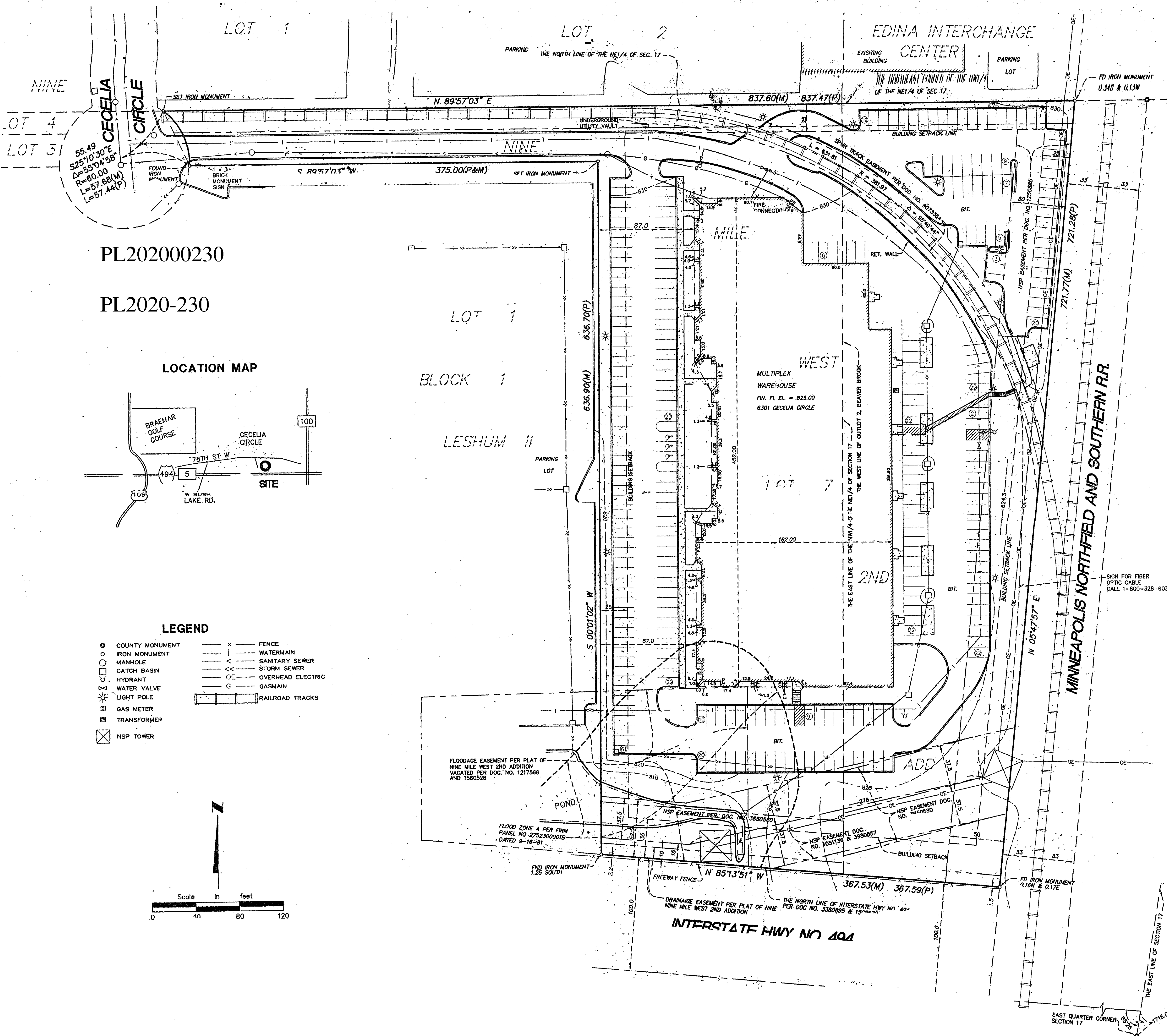
4350 Baker Road, Suite 400
Minneapolis, MN 55343
952.897.7874 Fax: 952.897.7740

JSAW

6301 Cecilia Circle
Bloomington, MN 55439



Leasing Contacts:
Joe Owen: (952) 897-7888
Corbin Chapman: (952) 374-5811



PL202000230

PL2020-230

LOCATION MAP

LEGEND

CERTIFICATION

I hereby certify to F.E. Trotter, Inc., a Hawaii corporation; W.H. McVay, Inc., a Hawaii corporation; P.R. Cassidy, Inc., a Hawaii corporation and H.C. Cornuelle, Inc., a Hawaii corporation, as trustees, Under The Will and of the Estate of James Campbell, deceased and Kraus-Anderson, Incorporated and Chicago Title Insurance Company that this map or plat and the survey on which it is based for the property described as:

Lot 7, Block 1, Nine Mile West 2nd Addition, Hennepin County, Minnesota.

Torrens
Certificate of Title No. 742129

is based upon information found in the commitment for title insurance prepared by Chicago Title Insurance Company, file no. 2624806, dated June 1, 2000, and were made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1-4 and 6-15 Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, undersigned further certifies that proper field procedures, instrumentation, and adequate survey personnel were employed in order to achieve results comparable to those outlined in the "Minimum Angle, Distance, and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

Dennis B. Olmstead
Dennis B. Olmstead, Licensed Surveyor
Minnesota Registration No. 18425
Date: 8/28/00

Notes:

1. The locations of underground utilities are based upon available maps, records and field locations. The locations may not be exact.
2. All distances are in feet.
3. The north line NE1/4 of section 17 has an assumed bearing of N89°57'03"E
4. The area of the property described above is 302,614 square feet or 6.947 acres.
5. There are 275 parking spaces and 3 handicap spaces.
6. Part of the property does lie in flood hazard zone A according to the Federal Emergency Management Agency Flood Insurance Rate Map Community Panel No. 275230 0001B, dated September 16, 1981 and is shown by scale on this map.
7. The 100 year flood elevation is 820.00 according to information obtained from Barr Engineering.
8. The floor area of the building is 72,605 square feet according to information obtained from Wilson Jenkins Architects.
9. This property is subject to a snow fence easement per documents 1508670, and 3360895.
10. The property is zoned FD-2 and requires a minimum floor area of 10,000 sq. ft. and this site is in compliance with Bloomington's height restrictions per Galen Doyle a planner with the city. For specific details contact the city of Bloomington.



**ALTA/ACSM LAND
TITLE SURVEY**

**CECILIA
CIRCLE**

REVISED 8-28-00

HT Engineers - Surveyors
Landscape Architects
Hansen Thorp Pellinen Olson Inc.
7810 Market Place Drive
Eden Prairie, MN 55344-3644
(952) 828-0700 FAX (952) 828-7806

Project No. 00-080
Drawn by LEI
Checked by DBO
Book/Page L112/1