

January 12, 2021

Scale: 1" = 120'-0"



8200 Humboldt Apartments

BLOOMINGTON, MN

SITE PLAN

Wet standpipe hose valves shall be located within 200' and dry standpipe hose valves located within 130' of all areas of the building.

The 1 enclosed parking stall per unit standard would be met with 161 structured stalls.

Emergency responder radio coverage meeting the requirements of appendix L in the 2015 MSFG shall be provided throughout the property and within the structures.

Review grading and elevations to prevent 100-yr storm runoff from entering underground parking garage and interior sanitary sewer floor drains

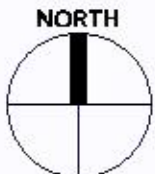
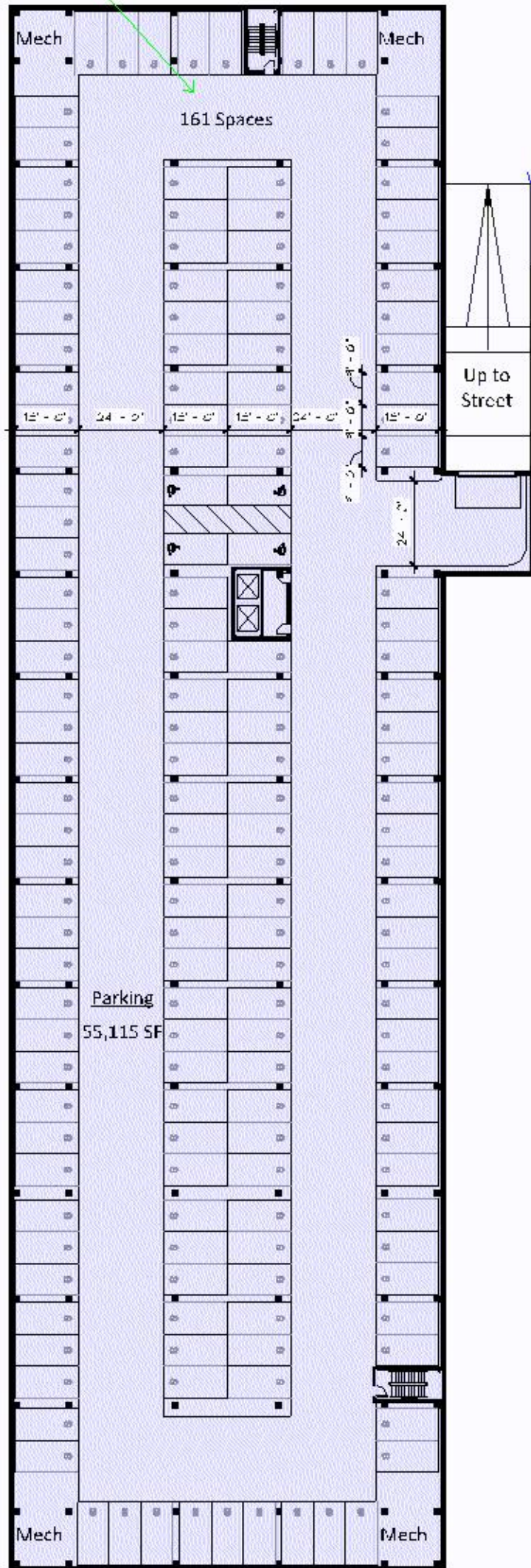
Must meet 2020 MN State Building Code

Must meet 2020 MN Accessibility Code.

Provide a detailed code analysis with the plans.

SAC review by MET council will be required.

After City Council approval - please call Building and Inspections to schedule Pre-Permit meetings.



Sidewalk along W. 82nd must be 8-feet wide.

Provide adequate turning radii for all emergency vehicle access lanes.

Hydrant coverage shall be provided within 50' of the FDG and within 150' of all portions of the structure.

Review grading and elevations to prevent 100-yr storm runoff from entering underground parking garage and interior sanitary sewer floor drains

Separate permit required for Parking Lot.

All exits shall be to the exterior.

Elevator lobbies required on all levels.

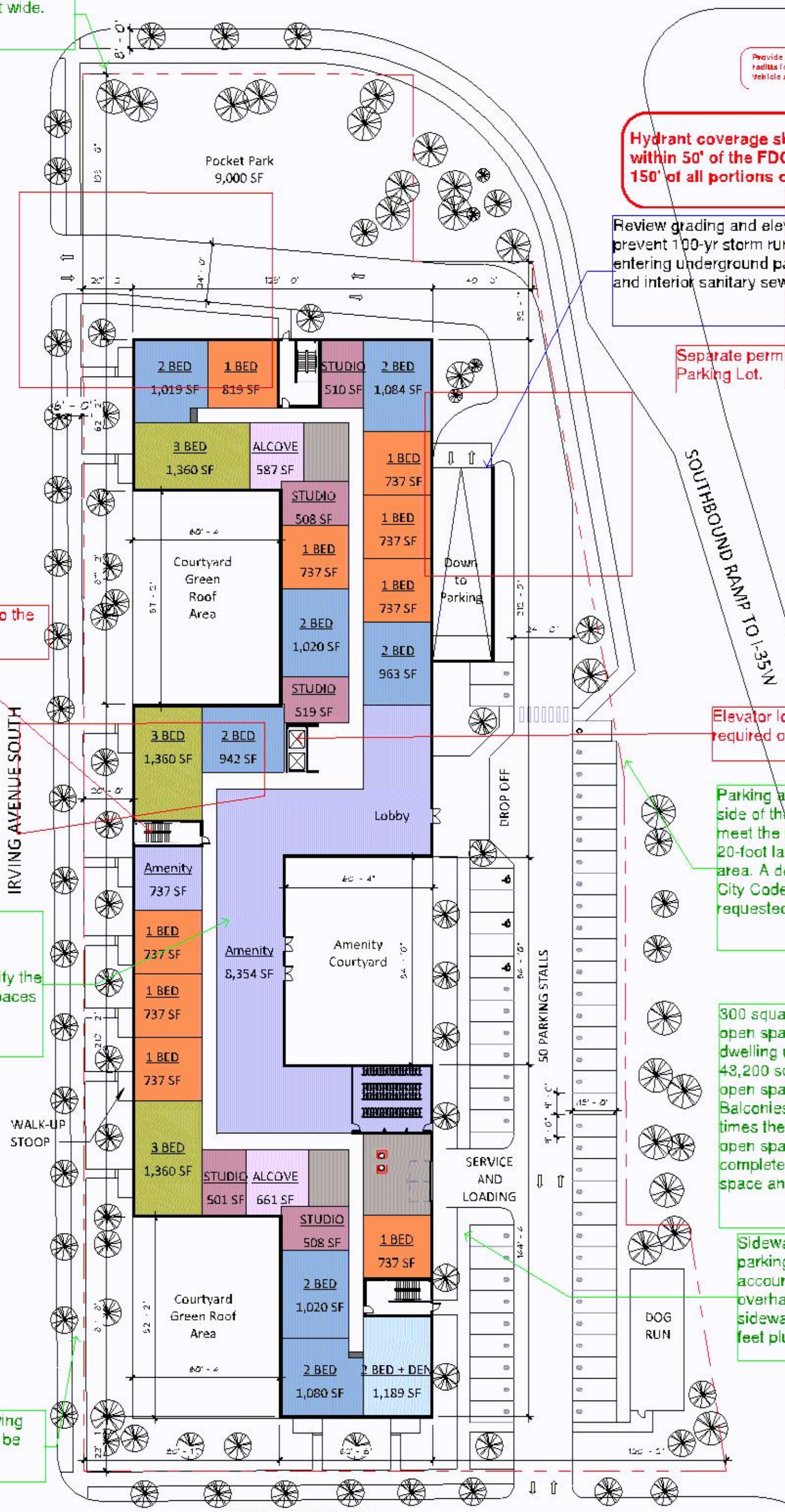
Parking along the east side of the site does not meet the minimum 20-foot landscape yard area. A deviation from City Code must be requested.

300 square feet of usable open space is required per dwelling unit. At 144 units, 43,200 square feet of usable open space is required. Balconies are permitted two times their area in meeting open space. Please complete a useable open space analysis.

Sidewalk, when along parking stalls, must account for vehicle overhang. Widen sidewalk to 7-feet (6.5 feet plus curb).

The party room contributes to the overall parking requirement. Identify the various amenity spaces on the first level.

Sidewalk along Irving and W. 83rd must be 6-feet wide.



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WEST 83RD STREET

Scale: 1" = 40'-0"

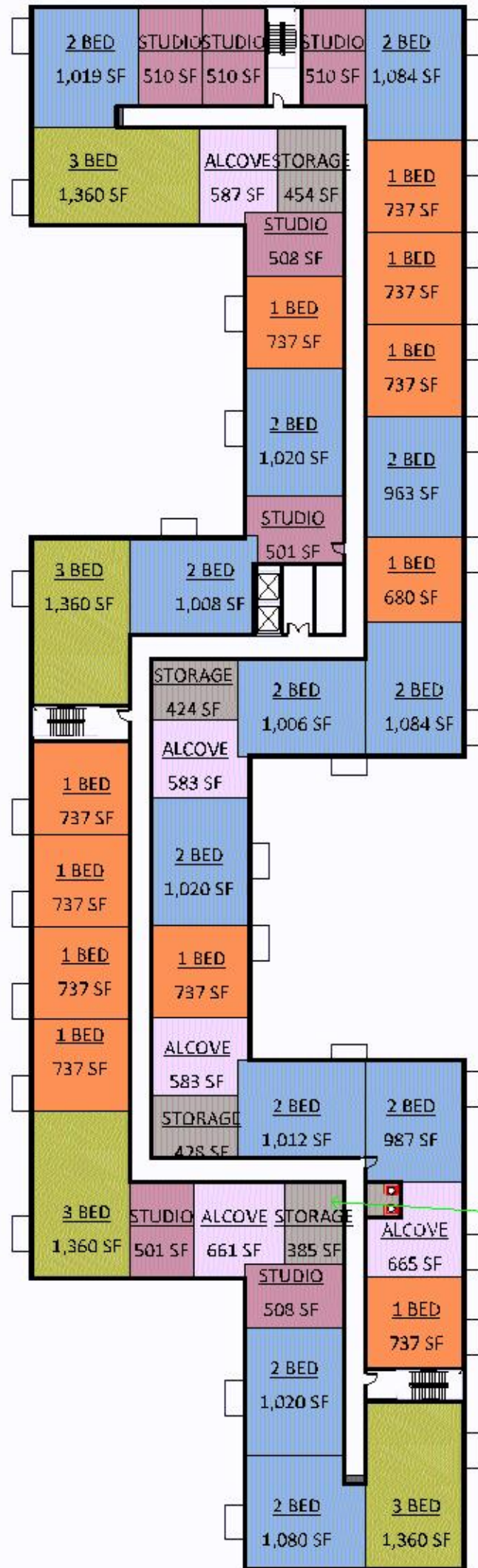


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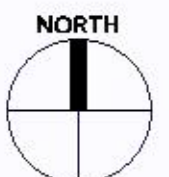
BLOOMINGTON, MN

STREET LEVEL PLAN

Building/property shall be adequately signed for emergency response.



Identify the number of storage units. With bike parking, the storage volume must be at least 96 cubic feet. Using the OHO incentive, 72 storage units are required.





January 18, 2021

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8200 Humboldt Apartments
BLOOMINGTON, MN

PERSPECTIVE VIEW - IRVING AVENUE



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PL202100004 PL2021-4

January 12, 2021

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8200 Humboldt Apartments
BLOOMINGTON, MN

AERIAL VIEW NORTHWEST



January 12, 2021

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BLOOMINGTON, MN

PERSPECTIVE VIEW - HUMBOLDT AVENUE

ESG Architects Inc

Use	Name	Elevation	Gross Area			Departments						Parking	
			Project GSF	Residential GSF	Residential Efficiency	Residential	Amenity	Common / Circulation	Service	Parking	Exterior	n/a	Vehicle
RESIDENTIAL	LEVEL 4	133.3	39,050	37,231	87%	32,416	-	4,815	1,819	-	-	-	0
RESIDENTIAL	LEVEL 3	122.7	39,050	37,231	87%	32,416	-	4,815	1,819	-	-	-	0
RESIDENTIAL	LEVEL 2	112.0	39,050	37,231	87%	32,416	-	4,815	1,819	-	-	-	0
AMENITY/RES	LEVEL 1	100.0	39,049	27,932	81%	22,698	9,296	5,234	1,821	-	-	-	50
PARKING	LOWER LEVEL	90.0	55,115	-	0%	-	-	-	-	55,115	-	-	161
Totals			211,313	139,625	57%	119,946	9,296	19,679	7,277	55,115	-	-	211

Summary / Calculations

211,313	Total Project GSF
119,946	Total Residential SF
211	Parking Spaces
217	Beds
144	Units
*Note: 9% of units to be offered as affordable units at 60% AMI.	
1467	Project GSF / Unit
833	Residential SF / Unit
0.97	Parking Ratio / Beds
1.47	Parking Ratio / Units

Unit Name	1 BED	2 BED	2 BED + DEN	3 BED	ALCOVE	STUDIO
Beds/Unit	1	2	2	3	1	1
Baths/Unit	1	2	2	3	1	1
SF/Unit (Average)	735	1026	1189	1360	617	507.2
Level						
LEVEL 4	39	11	12	0	4	5
LEVEL 3	39	11	12	0	4	5
LEVEL 2	39	11	12	0	4	5
LEVEL 1	27	10	6	1	3	2
LOWER LEVEL	0	0	0	0	0	0
Total Units/Type	43	42	1	15	17	26
Total Beds/Type	43	84	2	45	17	26
Total Bath/Type	43	84	2	45	17	26
Total SF/Type	31,589	43,095	1,189	20,400	10,484	13,188
% of total beds	19.8%	38.7%	0.9%	20.7%	7.8%	12.0%
% of total units	29.9%	29.2%	0.7%	10.4%	11.8%	18.1%