

What is this crossing of the drive aisle? If it is a pedestrian crossing, stripe out the parking stalls so people can access it and move trees so pedestrians are visible.

Sidewalks, when next to parking stalls, must be 7 feet wide to accommodate vehicle overhand. Private sidewalks must maintain 5 feet clear.

Move sign to
accommodate new
sidewalk

MASTER
SIGN

Add 8' sidewalk along north property line to match Subarterial category (EOSR) of SoLo Streetscape Master Plan

Assume this building is just a place holder. In final plan, handicap stalls need to be closer to the door

PROPOSED LOT "B"
±102,796 SF (±2.360 AC)
PROPOSED ±16,500 SF
(1ST FLR)
±22,000 SF TOTAL
±162 PARKING STALLS

Parking lot end caps need to be a minimum of 8' wide

There is a minor parking setback encroachment on the northwest corner of the site. The minimum parking lot setback is 20 feet.

There are a lot of private utilities in this corner. Please show the utility boxes and other obstructions.

Add Street names to plan

See Lower Minnesota River Watershed District website for pending watershed plan amendment (Bluff and steep slopes)
<http://www.watershreddistrict.org/>

*PROPOSED ±180 ROOM HOTEL
±198 PARKING STALLS*

PROPOSED LOT "A"
±147,662 SF (±3.390 AC)

Please confirm proposed accessible stalls meet State of Minnesota accessibility requirements

Provide detailed use characteristics for the building shown on Lot B. Use characteristics are needed to confirm the use is consistent with Zoning standards and to complete a parking analysis.

Show bluff protection zone limits & trout stream requirements like the 50 ft average buffer and the 300 ft Army Corps Individual permit line

NPDES construction permit Appendix A requires 100' buffer from trout stream.

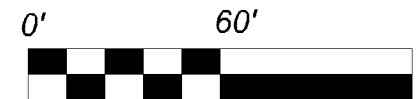
Lot A does not meet the minimum lot width requirement in the CS-1 Zoning District (200 feet). Lot B does not meet the minimum lot area requirement in the CS-1 Zoning District (120,000 square feet). What is the purpose for two lots instead of one?

NOTE:

PRELIMINARY SITE PLAN IS SUBJECT TO CHANGE BASED ON FORTHCOMING REQUIREMENTS FROM VARIOUS DEPARTMENTS INCLUDING, BUT NOT LIMITED TO: CITY OF BLOOMINGTON, MINNESOTA DEPARTMENT OF NATURAL RESOURCES, UTILITY AND GRADING CONCERNS.



SCALE : 1"=60'



120'

