



GOLDMAN SACHS
6011 Connection Drive
Irving, Texas 75039

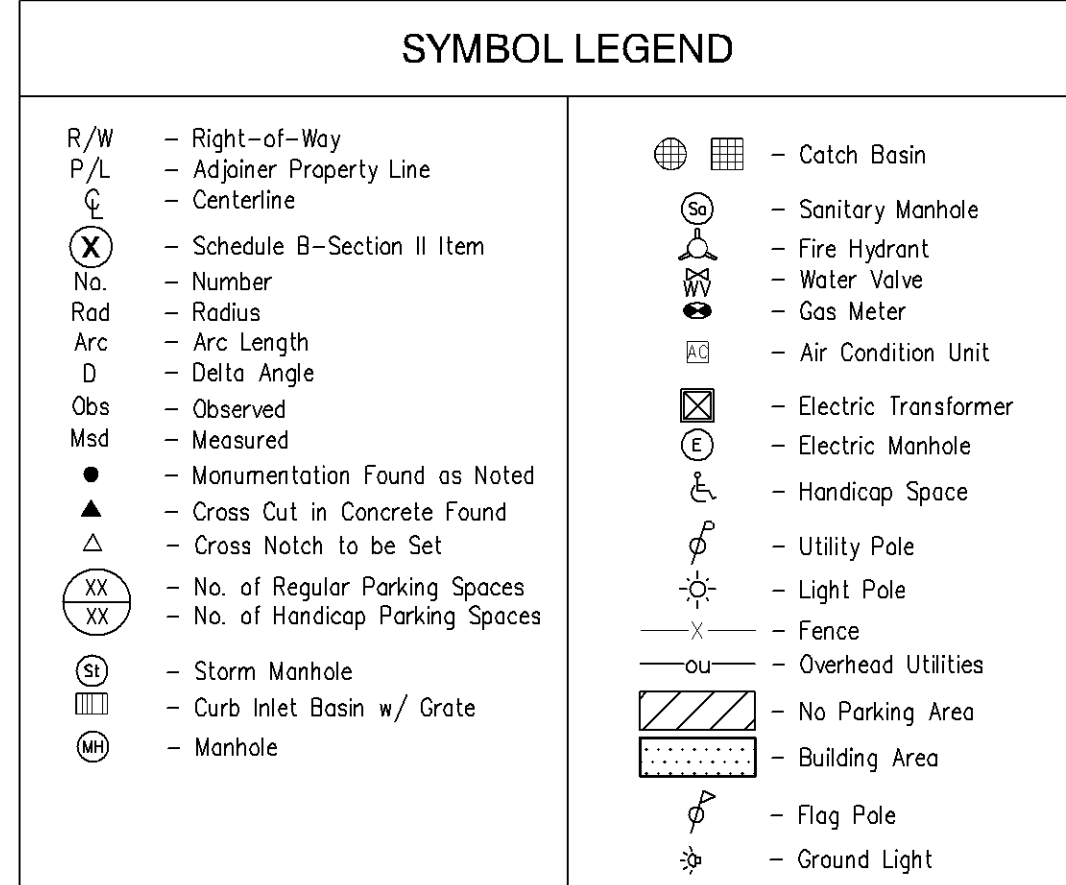
NORTH

GRAPHIC SCALE

0 30 60

1 INCH = 30 FT.

Surveyor's Seal



TOTAL LAND AREA:
217,800 Square Feet
5.000 Acres

To: First FSG, LLC, a Delaware limited liability company and Associated Bank National Association, a national banking association, its successors and/or assigns and Chicago Title Insurance Company.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NPSPLand Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10(a), 11, 13, 14, 16, 17, 18 and 20 of Table A thereof. The field work was completed on January 25, 2017.

I hereby certify that this survey was prepared by me or under my direct supervision and I am a duly licensed Land Surveyor under the laws of the State of Minnesota.

By: _____ Date _____
Eric R. Vickaryous
Minnesota Land Surveyor No. 44125
For and on behalf of Millman National Land Services, Inc..

REVISION HISTORY		
BY:	DATE:	COMMENT:
MAP	4/17/17	CLIENT COMMENTS

Lot 1, Block 1, Cedar Park Addition, Hennepin County, Minnesota.
Torrens Property
Certificate of Title No. _____

Numbers correspond with survey-related Schedule B exception items contained in the above referenced Title Commitment.

15. Drainage and utility easements as shown on and dedicated by the plat of Cedar Park Addition, recorded November 13, 1979 as Document No. 1357205.
(AFFECTS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

- Zoning Classification: PD-1(PD) (AR-22), Freeway Development (Planned Development) (Airport Runway)
 Permitting Use: Permitted by Approved Planned Development
 Building Setbacks:
 Front=60'
 Side=60'
 Rear=25'
 Side or rear-yard adjoining street=60'
 Maximum Building Height: Per Approved Site Plan
 Parking Ratio: 1.1 spaces per room

Source: This zoning information is taken from a zoning report compiled by City of Bloomington, Hannepin, Minnesota, dated March 13, 2017.

At the time of this survey, there was no visible evidence of encroachments or violations.

The meridian for all bearings shown hereon is the East right of way line of Bloomington Avenue South, known as being N0°08'06"E, per Cedar Park Addition Document No. 1357205 of Hennepin County Records.

1. There is direct access to the subject property via East American Boulevard and Bloomington Avenue South, both public right-of-ways.
2. With regard to Table A Item 11, on 811 utility locata request was made and markings found at the site, if any, have been noted. All underground utilities may not be shown and markings found at the site may not reflect all underground features accurately. Looking over the exact location of the underground features cannot be accurately, completely, and reliably depicted. In some jurisdictions, 811 or other similar utility locata requests from surveyors may be ignored or result in an incomplete response.
3. The posted address on site is 1601 East American Boulevard, Bloomington, Minnesota.
4. At the time of this survey, there was no observable surface evidence of earth moving work, building construction or building additions within recent months.
5. At the time of this survey, there was no observable evidence of the subject property being used as a solid waste dump, pump or sanitary landfill.
6. At the time of this survey, there was no observable evidence of any recent changes in street right-of-way, easement or proposed, and available from the controlling jurisdiction.
7. At the time of this survey, there was no observable evidence of any recent street or sidewalk construction or repairs.
8. The Property surveyed and shown hereon is the same property described in Schedule A of Chicago Title Insurance Company's Commitment No. 239100 with an effective date of January 27, 2017.
9. The insurance Policy obtained by Wilman National Land Services ("the Client") has a minimum amount of \$3,000,000 to be in effect through the contract term. Certificate of Insurance #FLOODZONE Request.
10. There were no wetlands flagged on the subject property at the time of the survey, nor has the property been positive and flaggable for the subject property at the time of the survey. Locality photo taken on 11/04/2016.