

Must meet 2020 MN
State Building Code

Must meet 2020 MN
Accessibility Code.

Provide a detailed code
analysis with the plans.

SAC review by MET
council will be required.

Appliances/cooking producing
grease laden vapors requires a
hood and suppression system.

Fire alarm system may need to be
added/upgraded depending on the
occupancy classification.

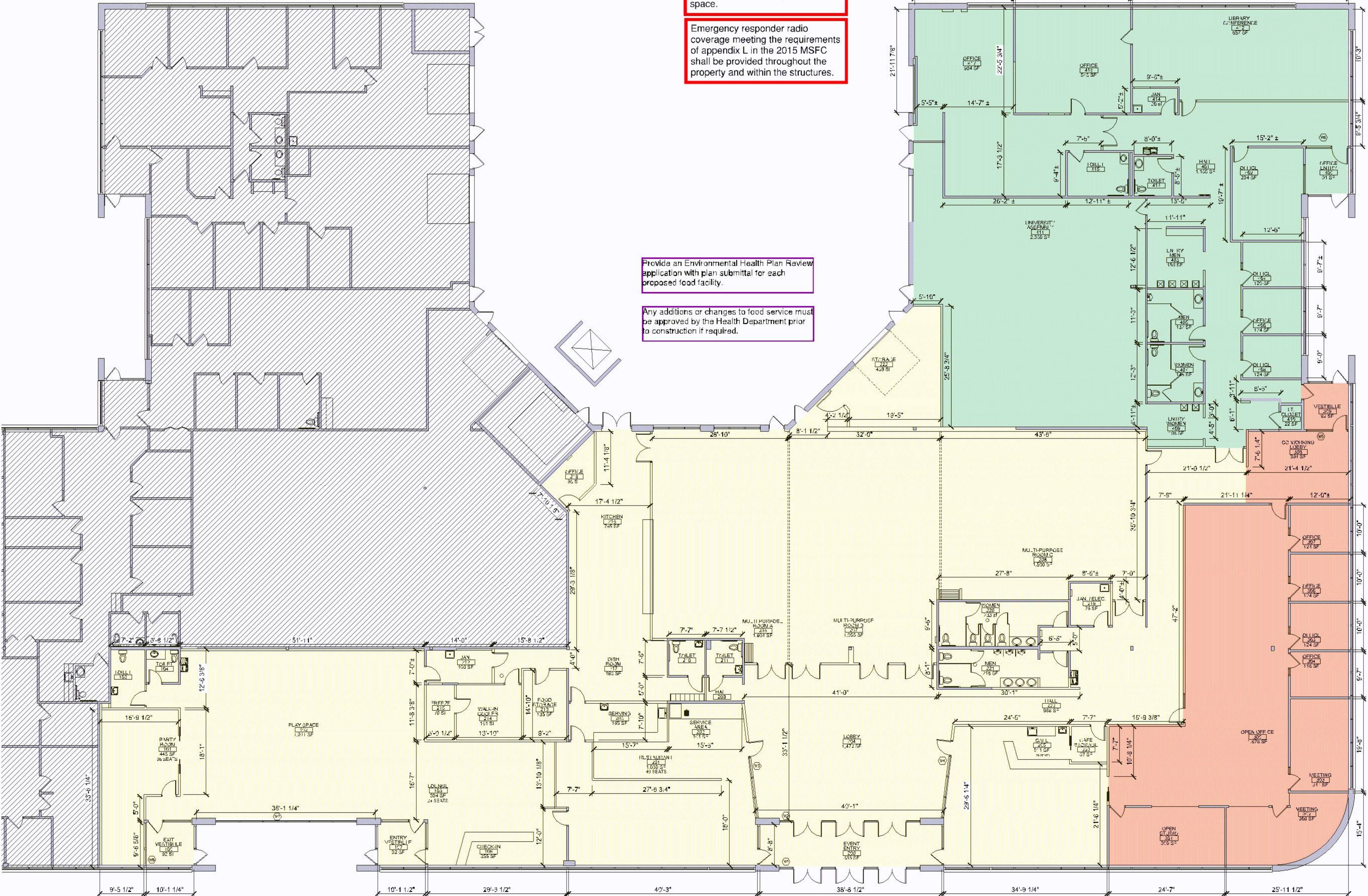
A lock box may be required for this
space.

Emergency responder radio
coverage meeting the requirements
of appendix L in the 2015 MSFC
shall be provided throughout the
property and within the structures.

Provide an Environmental Health Plan Review
application with plan submittal for each
proposed food facility.

Any additions or changes to food service must
be approved by the Health Department prior
to construction if required.

FLOOR PLAN - GENERAL NOTES		SYMBOLS LEGEND	
A.	DO NOT SCALE DRAWINGS		EXISTING WALLS TO REMAIN
B.	FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS		EXISTING WALLS TO BE REMOVED
C.	SEE SHEET A600 FOR WINDOWS AND DOORS AND WALL SCHEDULES AND TYPES		NEW WALL CONSTRUCTION
D.	SEE ELEVATIONS A200 FOR EXTENT OF EXTERIOR MATERIALS		EXISTING DOOR TO BE REMOVED
E.	LOCATE ALL DOORS 4" FROM INSIDE CORNERS (U.N.O.)		EXISTING DOOR TO REMAIN
F.	FIRE EXTINGUISHERS TO BE LOCATED A MAXIMUM OF 75'-0" DISTANCE OF TRAVEL. VERIFY FIRE EXTINGUISHER LOCATIONS WITH LOCAL FIRE OFFICIAL PRIOR TO INSTALLATION.		NEW DOOR
G.	PROVIDE BLOCKING AS REQUIRED IN PARTITIONS FOR ANCHORAGE OF MILLWORK & ACCESSORIES - SEE DETAIL		AREA NOT IN CONTRACT



1
A101

OVERALL FLOOR PLAN -

3/32" = 1'-0"

NORTH

AFRIQUE DEVELOPMENT

1701 AMERICAN BLVD EAST
BLOOMINGTON MN 55420

OVERALL FLOOR PLAN

A101

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I hereby certify this plan, specification or
was prepared by me or under my direct
supervision and that I am a duly Licensed
Architect under the laws of the state of

Minnesota

Pamela Bakken Anders
Date: xx/xx/2017 Reg. No: ##

XX.XX.XXXX
XX.XX.XXXX

ISSUE DATE:
REVISIONS:

CODE DATA SUMMARY

APPLICABLE CODES AND STANDARDS:	
BUILDING CODE	2020 MINNESOTA STATE BUILDING CODE (MSBC) THE 2020 MSBC INCLUDES THE 2018 INTERNATIONAL BUILDING CODE (IBC) MINNESOTA AMENDMENTS
ACCESSIBILITY STANDARD	2020 MINNESOTA ACCESSIBILITY CODE (MAC)
MECHANICAL CODE	2020 MINNESOTA MECHANICAL AND FUEL AND GAS CODE
PLUMBING CODE	2020 MINNESOTA PLUMBING CODE
ENERGY CODE	2020 MINNESOTA ENERGY CODE
ELECTRICAL CODE	2017 NATIONAL ELECTRICAL CODE (NFPA 70)
OTHER	NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARD, AS REFERENCED BY THE MSBC AND MSFC

PROJECT DESCRIPTION
THIS INTERIOR RENOVATION INCLUDES OF AN EXISTING OFFICE AND WARE HOUSE SPACE CONVERTED INTO A MULTI-PURPOSE DEVELOPMENT WITH ACTIVITY SPACE, CAFE, COMMERCIAL KITCHEN, CO-WORKING AND PRIVATE OFFICES. RENOVATION INCLUDES NEW EXTERIOR STOREFRONT, NEW INTERIOR PARTITIONS, INTERIOR DEMOLITION AND UPGRADING OF FINISHES THROUGHOUT.

CHAPTER 3 - USE AND CLASSIFICATION
THIS PROJECT INCLUDES THE FOLLOWING SPACES:

- COMMERCIAL KITCHEN
- ASSEMBLY HALL
- BUSINESS SPACES
- DINNING SPACE
- GYMNASIUM ACTIVITY SPACE
- LIBRARY SPACE
- MECHANICAL, STORAGE AND ACCESSORY SPACES

THE PRIMARY OCCUPANCY IS B BUSINESS SPACE

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS
THE EXISTING BUILDING IS CONSTRUCTED ACCORDING TO TYPE II-B AS DEFINED BY TABLE 601

ALLOWABLE BUILDING HEIGHTS AND AREAS (TABLE 503)
ALLOWABLE FOUR (4) STORIES; 69,000 SQUARE FEET / STORY;75'-0" HEIGHT MAX

EXISTING BUILDING: ONE HEIGHT ABOVE GRADE PROJECT RENOVATION AREA: 27,655 SF
HEIGHT EVALUATION: RENOVATION DOES NOT CHANGE BUILDING HEIGHT

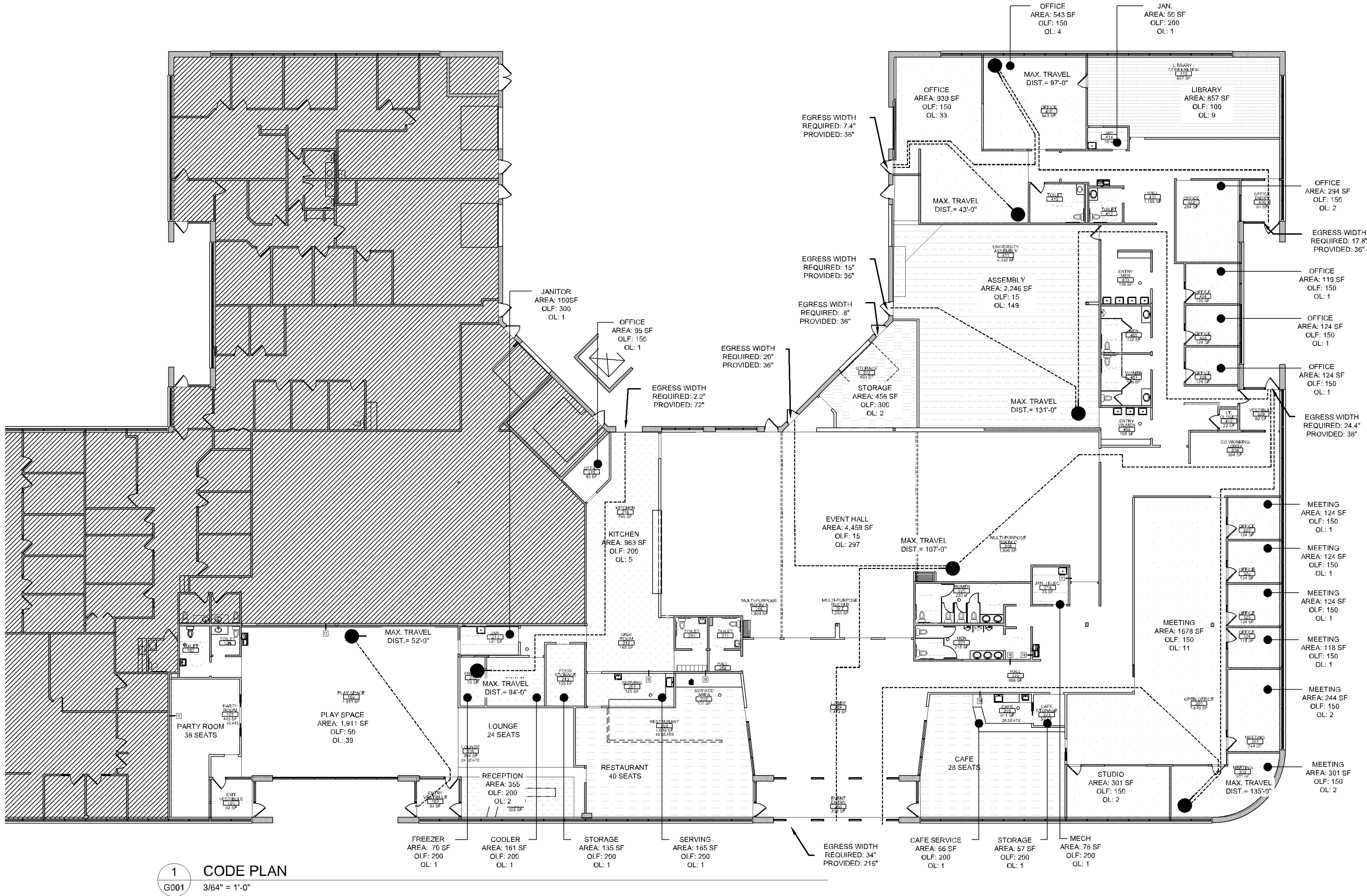
CHAPTER 6 - TYPES OF CONSTRUCTION
FIRE RESISTANCE RATING REQUIREMENTS FOR CONSTRUCTION TYPE II-B (PER TABLE 601)

	TYPE II-B
STRUCTURAL FRAME	0 HOUR
EXTERIOR BEARING WALL	0 HOUR
INTERIOR BEARING WALL	0 HOUR
INTERIOR NON-BEARING WALL	0 HOUR
FLOOR CONSTRUCTION	0 HOUR
ROOF CONSTRUCTION	0 HOUR

PLUMBING FIXTURES- IBC CHAPTER 29
AREA AND OCCUPANCY CALCULATION
BUSINESS OCCUPANCY CLASSIFICATION = 697 OCCUPANTS

WATER CLOSETS:
MEN: ONE PER 25 FOR FIRST 50, ONE PER 50 FOR REMAINDER EXCEEDING 50: 8 REQUIRED - PROVIDED: 13
WOMEN: ONE PER 25 FOR FIRST 50, ONE PER 50 FOR REMAINDER EXCEEDING 50: 8 REQUIRED - PROVIDED: 12

LAVATORIES:
MEN: ONE PER 40 FOR FIRST 80, ONE FOR 80 FOR REMAINDER EXCEEDING 80: 6.0 REQUIRED, PROVIDED 11
WOMEN: ONE PER 40 FOR FIRST 80, ONE PER 80 FOR REMAINDER EXCEEDING 80: 6 REQUIRED, 10 PROVIDED
DRINKING FOUNTAINS
1 PER 100: 7 REQUIRED,



1 CODE PLAN
G001 3/64" = 1'-0"

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AFRIQUE DEVELOPMENT

1701 AMERICAN BLVD EAST
BLOOMINGTON MN 55420

CODE PLAN AND SUMMARY

2/10/27 00

G001

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Minnesota

Pamela Bakken Anderson
Date: xx/xx/2017 Reg. No: #####

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AFRIQUE DEVELOPMENT

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CODE PLAN AND SUMMARY

2/10/27 00

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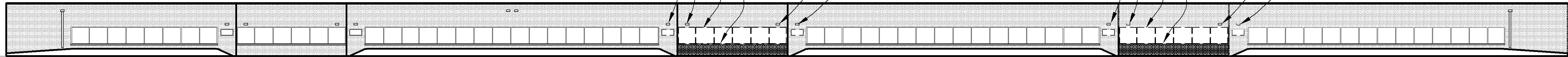
AFRIQUE DEVELOPMENT

1701 AMERICAN BLVD EAST
BLOOMINGTON MN 55420

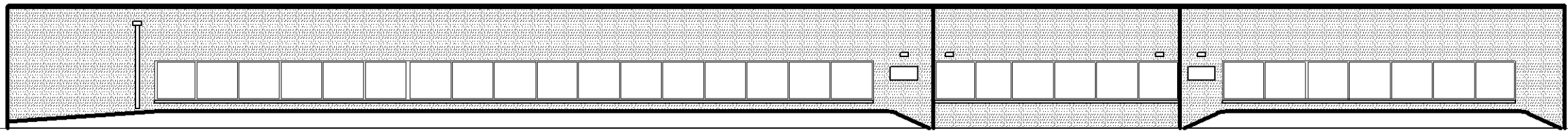
CODE PLAN AND SUMMARY

2/10/27 00

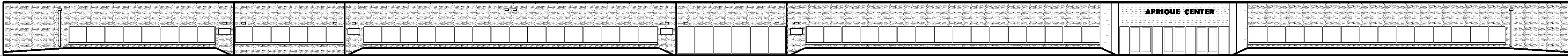
G001



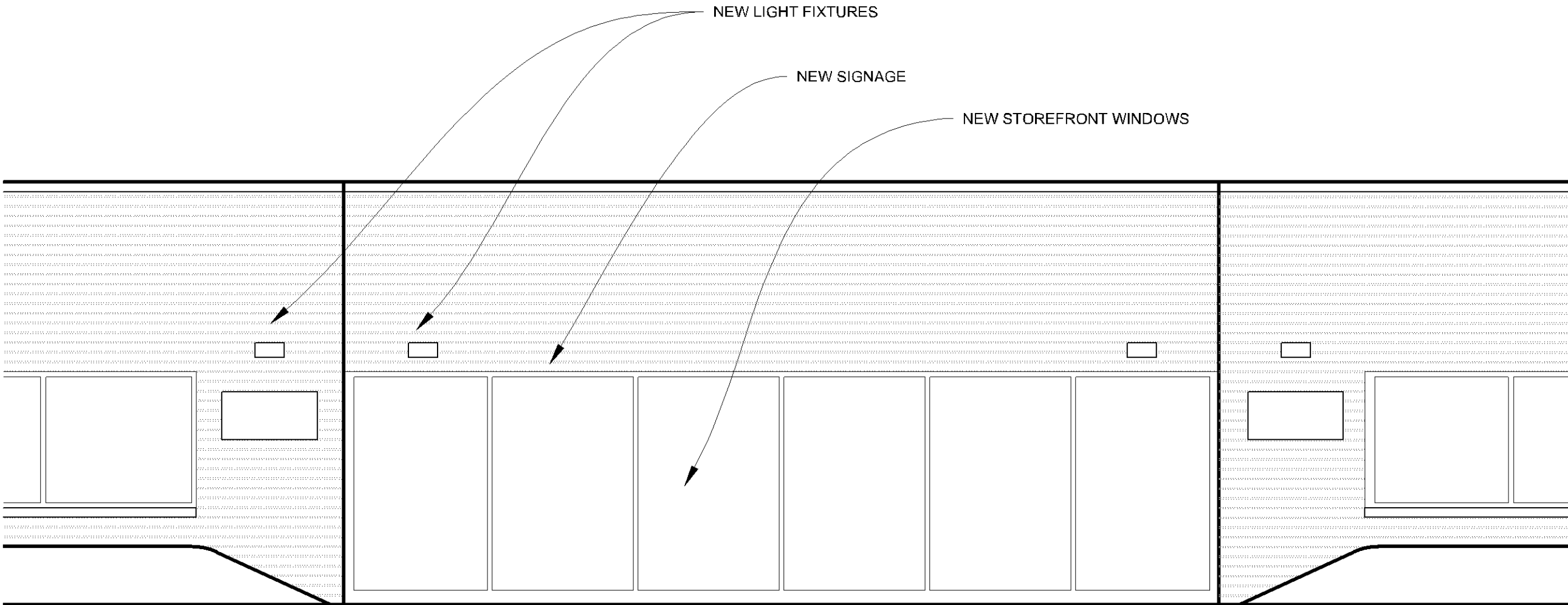
1 EXISTING EXTERIOR ELEVATION/DEMO - WEST
A200 1/16" = 1'-0"



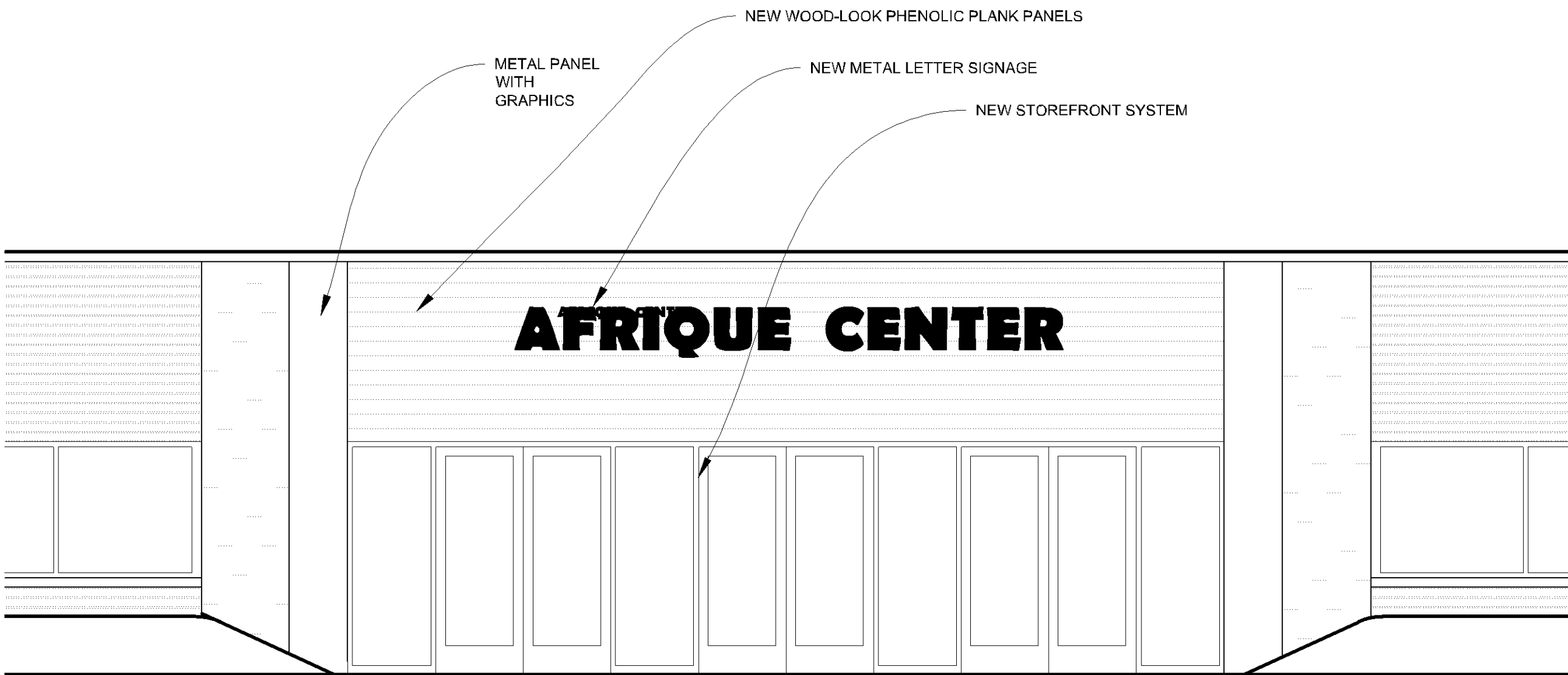
2 EXISTING EXTERIOR ELEVATION - SOUTH
A200 1/16" = 1'-0"



3 PROPOSED EXTERIOR ELEVATION - OVERALL - WEST
A200 1/16" = 1'-0"



4 ENLARGED ELEVATION - ENTRY
A200 1/4" = 1'-0"



5 ENLARGED ELEVATION - MAIN ENTRY
A200 1/4" = 1'-0"

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AFRIQUE DEVELOPMENT

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BLOOMINGTON MN 55420

EXTERIOR ELEVATIONS
2/10/07 00

ISSUE DATE: XX XX XXXX
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Pamela Bakken Anderson
Date: xx/xx/2017 Reg. No: #####

A200

SITE/PARKING SUMMARY

CITY OF BLOOMINGTON ZONING ORDINANCE:

PARKING REQUIREMENTS:

RESTAURANT (INTERIOR SEATING ONLY) - ONE SPACE PER THREE SEATS

- RESTAURANT - 40 SEATS - 13 PARKING SPACES REQUIRED
- CAFE - 28 SEATS - 9 PARKING SPACES REQUIRED
- RESTAURANT PLAY SPACE LOUNGE - 24 SEATS - 8 PARKING SPACES REQUIRED
- RESTAURANT PLAY SPACE PARTY ROOM - 36 SEATS - 12 PARKING SPACES REQUIRED

RESTAURANT BANQUET SPACE - ONE-THIRD OF CAPACITY

- MULTIPURPOSE ROOMS A/B/C - 297 SEATS - 99 PARKING SPACES REQUIRED

OFFICE - ONE SPACE PER 285 SF

- 3,585 GSF - 13 PARKING SPACES REQUIRED

UNIVERSITY - ONE SPACE PER 200 GSF

- 5,252 GSF (NOT INCLUDING ASSEMBLY) - 26 PARKING SPACES REQUIRED

UNIVERSITY ASSEMBLY - ONE-THIRD OF CAPACITY

- ASSEMBLY OCCUPANT LOAD 149 - 50 SPACES REQUIRED

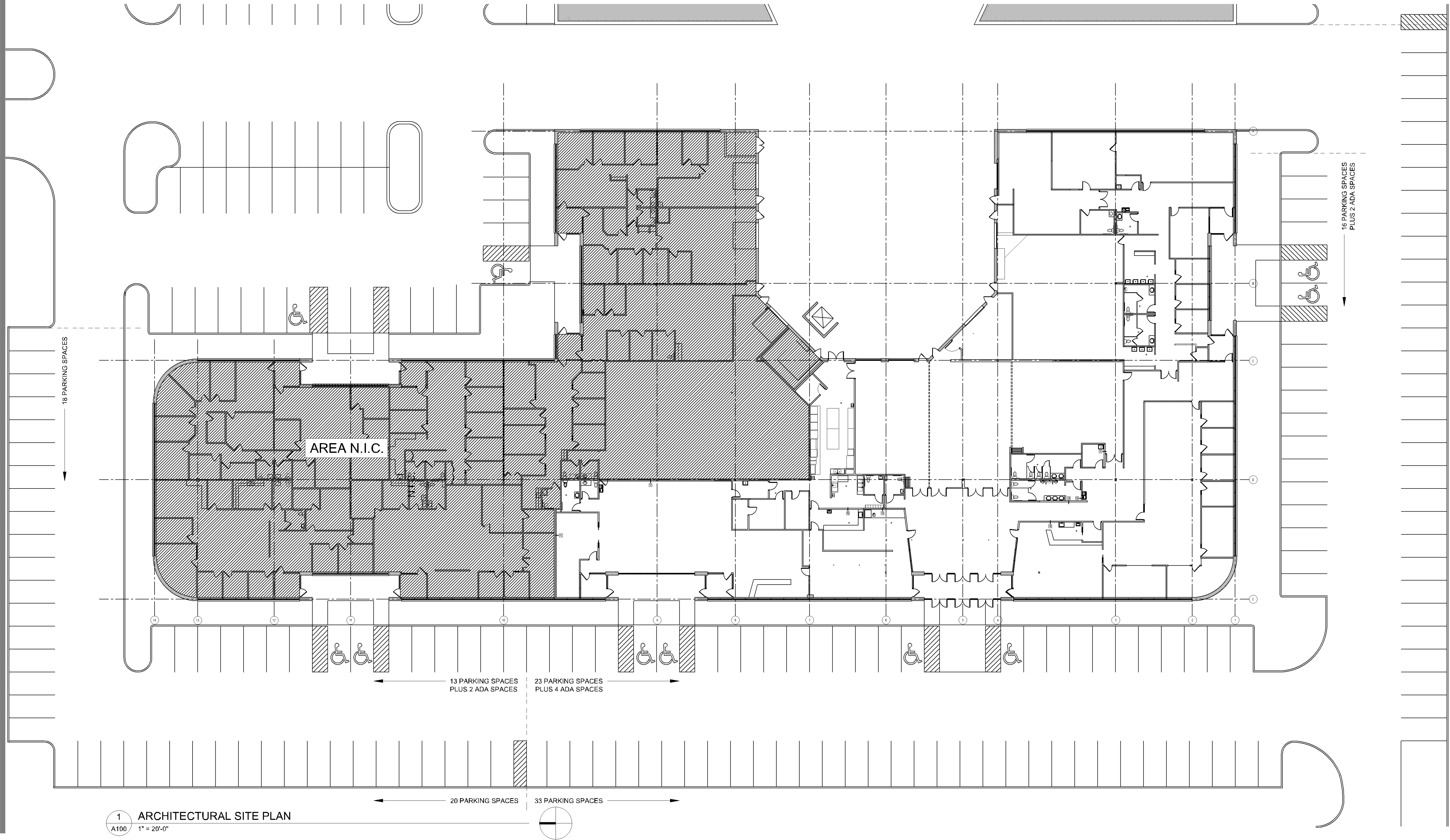
DAILY USE REQUIREMENTS FOR RENOVATED AREA:

- RESTAURANT - 13; CAFE - 9; PLAYSPACE LOUNGE - 8; PARTY ROOM - 12; OFFICE - 13; UNIVERSITY - 26
- TOTAL DAILY USE REQUIRED - 81; TOTAL AVAILABLE - 109 (INCLUDING 6 ACCESSIBLE SPACES)

EVENING/WEEKEND USE REQUIREMENTS FOR RENOVATED AREA:

- RESTAURANT BANQUET SPACE - 99; UNIVERSITY ASSEMBLY - 50
- RESTAURANT - 13; CAFE - 9; PLAYSPACE LOUNGE - 8; PARTY ROOM - 12
- TOTAL EVENING/WEEKEND USE REQUIRED - 191; TOTAL AVAILABLE - 109 (INCLUDING 6 ACCESSIBLE SPACES)
- ADJACENT TENANT PARKING - 90 SPACES (INCLUDING 4 ACCESSIBLE SPACES)
- TOTAL AVAILABLE WITH SHARED TENANT PARKING - 199 (INCLUDING 10 ACCESSIBLE SPACES)

To complete a full parking analysis, mark up the floor plan for the entire building identifying each use. (Office/Warehouse/etc.)



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AFRIQUE DEVELOPMENT

1701 AMERICAN BLVD EAST
BLOOMINGTON MN 55420

SITE PLAN

21007.00

A100

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Minnesota

Pamela Bakken Anderson

Date: xx/xx/2017 Reg. No: #####

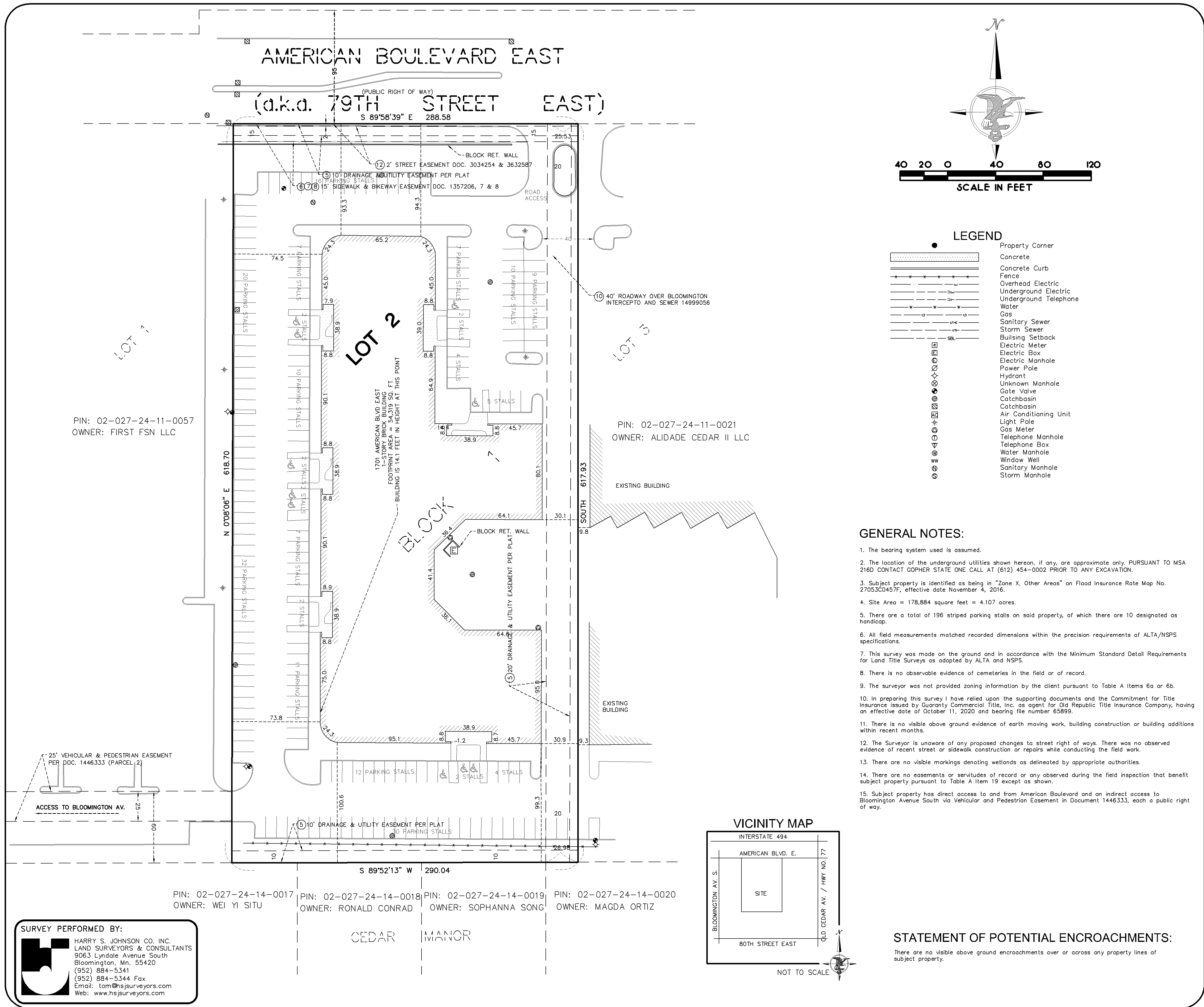
ISSUE DATE: XX XX XXXX

REVISIONS: XX XX XXXX

292 Design

292DESIGNGROUP

3533 E. LAKE STREET MINNEAPOLIS, MINNESOTA 55406 612.767.3773



LEGAL DESCRIPTION

Parcel 1:
Lot 2, Block 1, Cedar Park Addition, according to the recorded plat thereof, Hennepin County, Minnesota.

Parcel 2:
Together with appurtenant easement for vehicle and pedestrian access granted in Document No. 1446333 pursuant to Document No. 1524616.

Being Registered land as is evidenced by Certificate of Title No. 1416451.

NOTES CORRESPONDING TO SCHEDULE B:

5. Utility and drainage easement(s) over part of the Land as shown on the recorded plat of Cedar Park Addition. (AS SHOWN ON SURVEY)

6. Sidewalk and bikeway easement(s) over part of the Land in favor of City of Bloomington, as created in Document No. T1357206. (AS SHOWN ON SURVEY)

7. Sidewalk and bikeway easement(s) over part of the Land in favor of City of Bloomington, as created in Document No. T1357207. (AS SHOWN ON SURVEY)

8. Sidewalk and bikeway easement(s) over part of the Land in favor of City of Bloomington, as created in Document No. T1357208. (AS SHOWN ON SURVEY)

9. Power line easement(s) over part of the Land in favor of Northern States Power Company, as created in Document No. T1419832. (NOT ON OR TOUCHING SURVEYED PROPERTY)

10. Terms and conditions of Agreement by and between Cedar Avenue Associates and Metropolitan Waste Control Commission, dated December 18, 1980, filed January 26, 1983, as Document No. T1499056. (AS SHOWN ON SURVEY)

11. Temporary construction easement over part of the Land in favor of the City of Bloomington, as created in Document No. T2092196. (EASEMENT EXPIRED)
Note: the above easement has terminated by its terms. If it is desired that the memorial be removed from the Certificate of Title, the Office of the Examiner of Titles should be consulted as to procedure. The Company will not be responsible for any costs incurred in removing said item from the Certificate of Title. Contact our closer if you would like assistance with the above identified title clearance requirement.

12. Street easement(s) over part of the Land in favor of City of Bloomington, as created in Document No. T3034254 and T3632587. (AS SHOWN ON SURVEY)

13. Terms and conditions of City of Bloomington Resolution No. 2002-172, granting a variance, filed January 9, 2003 as Document No. T3660640. (NON-SURVEY MATTER)

14. Terms and conditions of City of Bloomington Resolution No. 2002-173, granting a variance, filed January 9, 2003 as Document No. T3660641. (NON-SURVEY MATTER)

15. Terms and conditions of City of Bloomington Resolution No. 2016-123, granting a variance, filed November 4, 2016 as Document No. T5398639. (NON-SURVEY MATTER)

16. Terms and conditions of City of Bloomington Resolution No. 2018-56, granting a variance, filed May 18, 2018 as Document No. T5532662. (NON-SURVEY MATTER)

LAND TITLE SURVEY
ALTA/NSPS
for:
CASPIAN GROUP

**SITE: 1701 AMERICAN BLVD EAST
BLOOMINGTON, MINNESOTA**

CERTIFICATION:
To 1701 American LLC, a Minnesota limited liability company, Bridgewater Bank; Old Republic Title Insurance Company and Guaranty Commercial Title, Inc.:
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 7(b1), 7(c), 8, 9, 11, 13, 16, 17, 18, 19 and 20 of Table A thereof.

The field work was completed on December 8, 2020.
Date of Plat or Map: December 9, 2020

Thomas E. Hodorff
Thomas E. Hodorff, L.S.
Minn. Reg. No. 23677

Revision History

Sheet No. 1 OF 1
Book 664
File No. 1-3-10382
Page 11
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